ALBERT STREET RESIDENTIAL DEVELOPMENT

PROJECT DESCRIPTION

SITE
The proposed development is located on a vacant site at the western edge of Port Moody's, Moody Centre neighbourhood, at the intersection of the Barnet Highway and St. John's Street. The site was the former location of the Barnet Hotel which has been previously demolished.

The site is bounded by St. John's Street to the north, by Albert Street and urban forest to the east, Schoolhouse Chell South and urban forest to the south, and steeply cheek South and urban forest to the south, and steeply the site and Schoolhouse Cheek, it Port Moody Socodary School. To the west of the value forest of the site are esisting single-family residences. The site is estimate forested the site are esisting single-family residences. The site is described by suprastice from the adjector than fabric by the natural forested boundaries to the west, south and consideration of the second of the control of the second of

Ancientectural expression
Given the gateway location of the sile, the project seeks to elevate the architectural expression of the selected than architectural expression of the selected than architectural expression of the selected than a selected than a

Upper mischeratial levels of the development of upper with office commercial base within in located base within in located the intersection of Albert and St. Johns Steets. The commercial base it medical massive visible contrasts the consigned make clotding of the upper misched the compact level and contrasts the compact make clotding of the upper misched the compact of the compa

Residential levels of the buildings are rendered in corrupted metal cludding with composite metal accent panels and gladen guards, both clear and colorued. The corrupted cludding is purposelly light in coloru to maximize the effect of light reflections that emanute from the colorued glazing. The colorued guards and access panels are polytikally arranged to allowe interest. Each building is capped with a projecting eyebrow that provides cover for the residential shacine.

The public expression of the Architecture is consistent and estands from the riparian area at the southern boundary of the size, morth to the intersortion of Albert and St. John's Streets and verstward to the urban forest at the evestern deep of the property. On the less public, forest facing or internal elevations, coloured accent pransia see used to receive interest starter than the coloured guards of the more public, street facing faceds.

Public artwork for the project is being developed by Alex Morrison. The two sculptural pieces are located within the recess on the north elevation of Building 2 and within the small plaze at the corner of Albert and St. Johns Streets.

Amenician for the development include the triangular, residential countyred which is enclosed by the two buildings and the useful forced of the hilliage. This countyred provides both common gailtering and play government and the provides both common gailtering and play government and the provides both common gailtering and play government and the provides and the provides and play the provides and the provides and play the provides and the provides and play the provides and play the provides and play the provides and play this play the provides and with the generous grade or old which earth the law grade provides access and contents with the generous grade or old this law generous provides and the high earth or not having of building 3. As the law grade and the high of the north who grid faileding 3.

Throughout the proposed development, high quality, durable materials are specified. Brick, corrugated met siding, composite metal panels, wood-like soffits and glazed guards are carefully composed to achieve the fresh, contemporary, playful expression of the Architecture.



VIEW FROM INTERSECTION OF ALBERT & ST. JOHN'S STREET TO SOUTHWEST

PROJECT STATISTICS

PROPERTY INFORMATION

PLAN OF LOT 92. DISTRICT LOT 202. GROUP 1. N.W.D. PLAN 52281

2025 ST. JOHN'S STREET

PROJECT STATISTICS

SITE AREA						FAR		Over / Under		-14,747.9 sq.
Existing		8088.1	sq.m.	87,059.6	sq.ft.	Allowable	2.4	19411.4	sq.m	208,943.0 sc
						Proposed	2.23	18041.3	sq.m	194,195.1 10
LOT COVERAGE						COMM	ON AMENTIY			
Proposed	17.2%	1392.2	sq.m	14,985.0	sq.ft.	Required	3.0m2/Unit	726.00	sq.m	7,814.6 sq
						Proposed	Interior	220.5	10.71	2373.0 so.
						Proposes				
							Exterior	627.9	sq.m	6,758.0 sq.
								848.4	sq.m.	9,132.0 sq.
SETBACKS		North	South	East	West	BUILDII	NG HEIGHT			
CRM2 Reg'd		0m	N/A	NA.	15m	Allowable	6 Stories			
Proposed	Feet	1.50	55.34	1.97	29.45	Proposed				
	Meters	0.456	16.807	0.599	8.976	Building 1	6 Stories	60.67 ft	or	18.49 m
						Building2	6 Stories	64.53 ft	or	19.67 m
AREA SUMMARY										
		GROSS AREA					Exclusions			GROSS AREA
	Units	Residential	Orsulation	Commercial	Lobby	68055	Amenity	ADA Units Exclusion	Total Dati	
Level 91			835.0	7 927 0		8 762 0				8.762 10.

		GROSS AREA						Exclusions				GROSS AREA	
Units	- [Residential	Circulation	Commercial	Lobby		GROSS	Amenity	ADA Units	Exclusion	Total Dict.		
Level P1			835.0	7,927.0			8,762.0					8,762	sq.ft.
Level 1		26,175.0	4,069.0		1,209.0	1,009.0	32,462.0	1,009.0	19	429	1,418.0	31,044	sq.ft.
Level 2		29,914.0	3,283.0				33,197.0		22	474	473.6	32,723	sq.ft.
Level 3		29,914.0	3,283.0				33,197.0		22	474	473.6	32,723	sq.ft.
Level 4		29,914.0	3,283.0				33,197.0		22	474	473.6	32,723	sq.ft.
Level 5		29,914.0	3,283.0				33,197.0		22	474	473.6	32,723	sq.ft.
Level 6		21,184.0	2,656.0				25,204.0	1,364.0	16	344	1,708.4	23,496	sq.ft.
Roof													sq.ft.
Totals		167,015.0	20,692.0	7,927.0	1,209.0		199,216.0	2,373.0	123	2,648	5,020.9	194,195	sq.ft.

PARKING SUMMARY												
VEHICLES	1	Vehi	icle	ı	Acce	ssible	Sma	II Car	toa	ding		v I
		Required	Provided		Required	Provided	Maximum	Provided	Required	Provided	Required	Provided
Residential		268	268		- 6	- 6	80	47	2	2	268	268
Visitor		34	34		1	1	10	4		thd		
Commercial		20	20				- 6	8		thd	4	4
Total Parking		322	322		7	7	97	59	2	2	272	272
BICYCLES		Bicycle - b	ong Term		Herizon	tal Stalls	Vertica	al Stalls	Loc	iers	Bicycle - S	hort Term

PROJECT TEAM

OWNER/DEVELOPER

MARCON ALBERT (GP) LTD. 5645 – 199th Street, Langley, BC, V3A 1H9 604) 530-5646
ARCHITECT
SHIET ADCHITECTURE INC

CAMPHORA ENGINEERING 2479 Kingsway Avenue, Vancouver, BC V6J 1T5 (604) 800.9822 LANDSCAPE ARCHITECT

CONNECT LANDSCAPE ARCHITECTURE INC. 2305 Hernlock Street, Vancouver, BC V6H 2V1 (604) 681-3303 GEOTECHNICAL ENGINEER

GEOPACIFIC CONSULTANTS LTD. 1779 West 78th Avenue, Vancouver, BC, V6P 6P2 (604) 439.0922 CIVIL ENGINEER R.F. BINNIE & ASSOCIATES LTD. 300 - 4940 Canada Way, Burnaby, BC, V5G 4K5 (604) 420-1721

ENVIRONMENTAL

DITTIED CIT	UDVICE & ACCOCIATES	
LAND SUR	/EYOR	
Burnaby, BC	V5G 4G3	

Suite 4-19089 94th Avenue, Surrey, BC, V4N 3S4 (604) 513.9611 PUBLIC ART CONSULTANT BALLARD FINE ART

DRAWING LIST

0.00	COVER SHEET	A5.02	BUILDING SECTIONS
0.01	ABBREVIATIONS	A8.01	UNITS A1, A2, A3, A4, A5, A6
0.002	PROJECT DATA & CALCULATIONS	A8.02	UNITS A7, A8, B1, B2, B3
0.003	UNIT AREAS	A8.03	UNITS 84, 85, 86, 87
0.010	CONTEXT PLAN	A8.04	UNITS B8, B9, B10, B11
0.011	CONTEXT IMAGES	A8.05	UNITS B12, C1
0.020	PRECEDENTS	A8.06	UNITS S1, S2, S3, S4, S5, S6, S7
0.031	PERSPECTIVES	Grand total:	56
0.032	PERSPECTIVES		
0.040	SHADOW STUDIES		
1.00	SITE PLAN		
1.01	EXISTING GRADES		
2.01	LEVEL P4 - OVERALL	FSR 0.00	FSR SUMMARY
2.02	LEVEL P3 - OVERALL	FSR 1.00	ALL OVERLAYS
2.03	LEVEL P2 - OVERALL	FSR 1.01	FSR OVERLAY L1
2.04	LEVEL P1 - OVERALL	FSR 1.03	FSR OVERLAY L3
2.11	LEVEL P4 PLAN - PARKING	FSR 1.04	FSR OVERLAY L4
2.12	LEVEL P3 PLAN - NORTH	FSR 1.05	FSR OVERLAY L5
2.13	LEVEL P3 PLAN - SOUTH	FSR 1.06	FSR OVERLAY L6
2.14	LEVEL P2 PLAN - NORTH	FSR 1.07	FSR OVERLAY P1
2.15	LEVEL P2 PLAN - SOUTH	Grand total:	8
2.16	LEVEL P1 PLAN - NORTH		
2.17	LEVEL P1 PLAN - SOUTH		
3.01	LEVEL 1		
3.02	LEVEL 2		
3.03	LEVEL 3		
3.04	LEVEL 4		

ARCHITECTURE

No.	Date	Revision Notes
	I	
1	2019/09/06	ISSUED FOR RZ/DP

FOR RZ/DP - 06 SEPT 2019

ALBERT STREET

MARCON

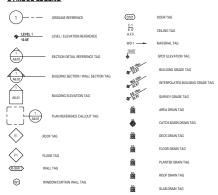
MARCON ALBERT (GP) LTD. 5645 199 Street Langley, BC V3A 1H9 COVER SHEET

A0.00



VIEW OF BUILDING 2 ENTRY FROM ALBERT STREET

SYMBOL LEGEND



ABBREVIATIONS

ACT AD AFF	Acoustic Celling Tile	FTG	Footing	PROP	Proposed
	Acoustic Ceiling Tile Area Drain	FURN	Footing Furnishing/Furniture	PROP	Proposed Pressure treated
	Area Drain Above Finished Floor	runn	rumality rumture	PTD	Pressure treated Painted
à	Aggregate	GA	Gauge	PVC	Polyvinyl chloride
J	Air Handling Unit	GALV	Glavanized	PWR	Power
or ALUM	Aluminum	GEN	Generator		
NUN	Annunciator	GI	Galvanized Iron	QTY	Quantity
IOD IOD	Anodized	GL	Glass	QU	Square
PROX	Approximate/Approximately	GLB	Glass Block or GL BLK		
RCH	Architecture/Architectural	GRD/FL	Ground Floor	RB	Rubber Base
JTO	Automatic	GWB	Gypsum Wall Board	- NO	Reflected Collins Non
JX	Automatic	GWG	Georgian Wire Glass	RCP RD	Reflected Ceiling Plan Roof Drain
	· · · · · · · · · · · · · · · · · · ·	GYP	Georgian wire Glass Gypsum	RECIRC	Recirculate
		GIP	Gypsum	RECT	Recirculate
LC .	Board	HB HB	Hose Bibb	RECI	Rectangle Reference
	Balcony				
	Barrier Free Building Grade	HC	Handicapped	REFR	Refrigerator
3	Building Grade	HDR	Header	REINF	REITHORCEG
.DG	Building	HDWD	Hardwood	REINF/CONC	Reinforced Concrete
K	Block	HM	Hollow Metal	REINF/ST	Reinforced Steel
M	Bench Mark	HOR	Horizontal	REPL	Replace
)W	Bottom of Wall	HSG	Housing	REQD	Required
	Bedroom	HT	Height	RET	Return
MT	Basement	HW	Hot water	REV	Reverse
		HWY	Highway	RFG	Roofing
W	Complete With	HYD	Hydrant	RI	Rigid Insulation
to C	Centre to Centre	HZ	Horizontal	RM	Room
ιB	Cabinet			RND	Round
N	Cavity	IBG	Interpolated Building Grade	RO	Rough Opening
	Catch Basin	ID ID	Inside Diameter	RTU	Roof Top Unit
IL	Ceiling	ILLUM	Illuminate	RUB	Rubber
R	Ceramic	INCL	Include/including	RWL	Rainwater Leader
>	Cost in place	INFO	Information		
	Construction/Control Joint	INSUL	Insulate(ion)	5	South
	Centre Line	IRR	Irregular	S/ST	Stainless Steel
.05	Closet		V	SAM	Self-Adhered Membrane
.R	Clear/Clearance	JB	Junction Box	SAN	Sanitary
NP NP	Composite Metal Panel	JT Tt	Joint	SCHED	Schedule
ALI	Concrete Masonry Unit		****	SCHEM	Schematic
IAX	Cozxial	K/D	Kiln/Dried	SCUP	Scupper
IAX IL	Column	- 40	quinu	SD SCUP	Shower Drain
MM	Communication	- -	Length	SD/BL	Snower Urain Sand Blast
IMM IMP	Communication Composite	LAB	Length Laboratory	SD/BL SECT.	Sand Blast Section
INC		LAM		SECT.	
	Concrete		Laminate/Laminated		Survey Grade
ONST	Construction	LAV	Lavatory	SGL	Single
ONT	Continuous	LEV	Level	SIM	Similar
ONTR	Contractor	LG	Laminated Glass	SK	Sketch
ORR	Corrugated	UN	Linear	SP	Spandrel
T	Carpet	UNO	Linoleum Floor	SPEC	Specification
\$	Cabinet	UNO/8	Linfoleum Base	SPHER	Spherical
NJ	Commercial Retail Unit	LINO/FL	Linoleum Floor	22	Stainless Steel
	Ceramic Tile	LR	Living Room	ST	Street
TR .	Centre	LTG	Lighting	ST	Steel of STL
N	Cold Water	LWR	Lower	STD	Standard
ΝP	Composite Wood Panel			STOR	Storage
		MAINT	Maintenance	STRUCT	Structural
BL.	Double	MATL	Material	SUB	Substitute
ET	Detail	MAX	Maximum	SUSP	Suspend
D	Deck Drain	MECH	Mechanical	SYM	Symmetrical
	Drinking Fountain	MED	Medium	SYS	System
A	Diameter	MEMB	Membrane		.,
AG	Diagonal	MER	Meridian	T&G	Tongue and Groove
M.	Dimension	MEZZ	Mezzanine	T/0 or T.O.	Top Of
M.	Dimension	MEZZ	Manufacture	TR	Tile Rase
T .	Department	MH	Manhole	TEL	Telephone
NG		MIN		TEL COMM	Telecommunication
NO.	Drawing		Minimum		
		MISC	Miscellanceous	TEMP	Temperature
W	East/West or E-W	MSNRY.	Masonry	TG	Tempered Glass
	For Example	MT	Metal	THR	Threshold
	Elevation (Above Datum)	MUN	Municipality	TLG	Tempered and Laminated Glass
c	Electrical			TOC	Top of Concrete
C EV	Elevation (View)	N	North	TOF	Top of Finish
C EV EV.	Elevation (View) Elevator	N/S	North/South	TOF	Top of Finish Top of Finished Floor
C EV EV. MERG	Elevation (View) Elevator Emergency	N/S NEG	North/South Negative	TOFF TOFF TOL	Top of Finish Top of Finished Floor Tolerance
C EV EV. MERG	Elevation (View) Elevator Emergency	N/S	North/South Negative	TOF	Top of Finish Top of Finished Floor Tolerance
C EV EV. MERG MR	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure	N/S NEG NIC NO.	North/South Negative Not in Contract Number or #	TOF TOFF TOL TOW TV	Top of Finish Top of Finished Floor Tolerance Top of Wall Television
C EV EV. MERG MR IC	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure Engineering	N/S NEG NIC NO.	North/South Negative Not in Contract Number or # Nominal	TOF TOFF TOL TOW	Top of Finish Top of Finished Floor Tolerance Top of Wall Television
C EV EV. MERG MR IC IG	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure Engineering Equal	N/S NEG NIC NO.	North/South Negative Not in Contract Number or #	TOF TOFF TOL TOW TV TYP	Top of Firish Top of Firished Floor Tolerance Top of Wall Television Typical
C EV EV. MERG MR IC IG	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure Engineering Equal	N/S NEG NIC NO. NOM NTS	North/South Negative Not in Contract Number or # Nominal	TOF TOFF TOL TOW TV	Top of Firish Top of Firished Floor Tolerance Top of Wall Television Typical
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EV. HERG IR C G UIV UPT	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure Engineering Equal Eadvalent Equipment	N/S NEG NIC NO. NOM NTS	North/South Negative Not in Contract Number or # Nominal NTS Overall	TOF TOFF TOL TOW TV TVP U/G U/S	Top of Firished Floor Top of Firished Floor Tolerance Top of Wall Television Typical Underground Underground
C EV EV	Elevation (View) Elevator Emergency Elevator Machine Room Endosure Engineering Equal Equal Eaulvalent Equipment Excalator	N/S NEG NIC NO. NOM NTS O/A OBS	North/South Negative Not in Contract Number or # Norminal NTS Overall Obsolete	TOF TOFF TOL TOW TV TYP U/G U/S ULT	Top of Rinish Top of Rinished Floor Tolerance Top of Wall Fletwiston Typical Underground Underground Underground
C EV EV. MERG MR IC IG L L L L L L L L L L L L L L L L L L	Elevation (View) Elevator Emergency Elevator Macline Room Enclosure Engineering Equal Equipment Equipment Escalator Escharace	N/S NEG NIC NO. NOM NTS O/A OBS OC	North/South Negative Not in Contract Number or # Norrinal NTS Overall Obsolete On Centre	TOF TOF TOL TOW TV TVP U/G U/S ULT UNFIN	Top of Finish Top of Finished Floor Tolerance Top of Wall Television Typical Underground Underside Ultimate Ultimate
C EV EV. EV. MERG MR IC IG L LUIV LUIV CL T IST.	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure Engineering Equal Estavalent Escalator Estringe Estringe	N/S NEG NIC NO. NOM NTS O/A OBS OC	North/South Negative Not in Contract Number or # Normal NTS Overall Obsolete On Centre Octagon	TOF TOFF TOL TOW TV TV TYP U/G U/S U/S UNT UNFIN	Top of Rinds Top of Rinds Floor Tolerance Top of Wall Helevision Typical Underground Underside Utherside Uthristed Uthristed
C EV EV. MERG MR IC IG L L L L L L L L L L L L L L L L L L	Elevation (View) Elevator Elevator Elevator Nachine Room Endosure Engineering Equal Esuvator Esudator Esudator Estimate Existing Experience	N/S NEG NIC NO. NOM NTS O/A OBS OC OCT OD	North/South Negative Not in Centract Number or 8 Normal NTS Overall Obsolete On Centre Octagen Octagen Octagen	TOF TOF TOL TOW TV TVP U/G U/S ULT UNFIN	Top of Finish Top of Finished Floor Tolerance Top of Wall Television Typical Underground Underside Ultimate Ultimate
C EV EV. MERG MR IC IG L L L L L L L L L L L L L L L L L L	Elevation (View) Elevator Emergency Elevator Machine Room Enclosure Engineering Equal Estavalent Escalator Estringe Estringe	N/S NEG NIC NO. NOM NTS O/A OBS OC OCT OD OFS	North/South Negative Not in Contract Number or # Normal NTS Overall Obsolete On Centre Octagen Outside Dameter Outside Dameter Outside Dameter Outside Dameter	TOF TOF TOF TOU TOU TOU TO TO TOP U/G U/S U/S ULT UNEN UND	Top of Rinde Floor Top of Rinde Floor Tolerance Top of Wild Television Typical Underground Underside Unferside
C. C. EV EV EV. MERG MR MC MG L L L L L L L L L L L L L L L L L L	Elevation (View) Elevator Elevator Elevator Elevator Elevator Elevator Endosure Estantare	N/S NEG NIC NO. NOM NTS O/A OBS OC OCT OD OFS OPNG	North/South Negative Net a Contract Number or # Normal Normal NTS Overall Obsolete On Centre Obsolete On Centre Obsolete Obsolete On Centre Obsolete Overall Obsolete Orden	TOF TOF TOE TOU TOW TV TV TYP U/G U/S U/S ULT UNNIV UNNO V8	Top of finish Top of finishe Flor Tolerance Top of Wall Top of Wall Television Typical Underside Ultimate Ultim
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EV. IERG IR C G I UNIV UNIV F T T T T	Elevation (Mewa) Elevator Elev	N/S NEG NIC NO. NOM NTS O/A OBS OC OCT OD OFS OPNG	North/South Negative Net a Contract Number or # Normal Normal NTS Overall Obsolete On Centre Obsolete On Centre Obsolete Obsolete On Centre Obsolete Overall Obsolete Orden	TOF TOF TOE TOW TV TV TVP U/G U/S U/S UIT UNEN UNIV UNIV UNIO V8 VCT VENT	Top of Finish Floor Top of Finish Floor Top of Finish Floor Top of Wald Top of Wald Television Typical Underground Vapor Barrier Vapor Barrier Vapor Barrier Vapor Granter Vapor Granter
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V. ERIG R C C G G UIV UPT L T T O F O O O F O O O F O	Elevation (Verla) Elevation (Verla) Elevation Verla Elevation Verla Elevation Verla Elevation Verla Elevation Verla Elevation Verla Elevation Elev	N/S NEG NIC NO NO NOM NTS O/A OBS OC OCT OD OFS OPPIG	North/South Negative Not in Contract Norther or at Norther or at Norther or at Norther Doesalt Doselete Doselete Doselete Oxidate Oxid	TOF TOF TOL TOW TV TV TP U/G U/S U/S UNS UNIV UNIV UNIV VENT VENT VENT	Top of Finish Poor Top of Finish Poor Top of Finish Poor Top of Finish Poor Top of Wall Theorem Theore
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ERG R C C G G UIV UIPT CIL T ST. D F O F O F S S S S S S S S S S S S S S S	Bleadfor (Mew) Devator Energency Evenue Machine Room Evenue Machine Room Evenue Machine Room Engeneering Eggel Eggel East-olert Eggel East-olert Eggel Essenter Essenter Essenter Essenter Essenter Exercise Exercise Fronted Glass Facet to Exer Fronted Glass Facet to Exerc Fronted Glass Facet to Exer Fronted Glass Facet to Exerc Fronted Glass Facet to Exer Fronted Glass Fronted Glass Fronted Glass Front	N/S NEG NIC NIC NIC NO	Northy North Northy North Northy North Northy North Northy North Northy North Northy N	TOF TOF TOL TOW TV TV TYP U/G U/S UUT UNFN UNNV UNNO V8 V8 VCT VENT VEST VEST VEST	Top of Finish Poor Toble From Toble From Toble From Toble From Toble From Toble From Topical Underground Underground Underground Underground Underground Understell U
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C EV EV EV MERIG MR IC G IG L L L L L L T T T T T T T T T T T T T	Broston (Verla Brostor Emergence Emergence Emergence Engence	N/S NEG NO. NO. NO. NOM NTS O/A OBS OC OC OF OP OP OPP OPP PWD PP PWD PP PWOR PP PKG	North/Such North N	TOF TOF TOL TOW TO TOW TV TP TP U/G U/S U/S U/S UNS UNIV UNIO UNIV UNIO VB VCT VENT VENT VEST VEST VFL VOL W	Top of Finish Floor Top of Finished Understand Very Composed tile Very Composed
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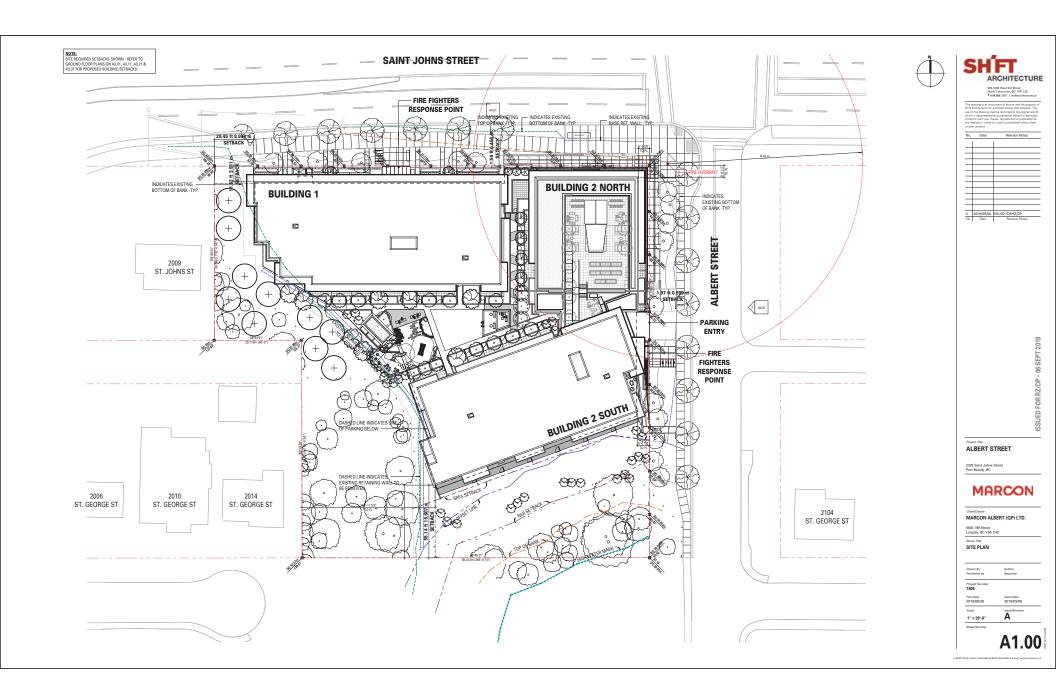
Project Title
ALBERT STREET

MARCON

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Sheet Title
ABBREVIATIONS

A0.01





VIEW FROM NE (SAINT JOHNS ST.)



VIEW FROM NW (SAINT JOHNS ST.)



200,1000 West 3rd Street North Vancouver, BC V7P 3J8

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Project Title
ALBERT STREET

2025 Saint Johns Stre Port Moody, BC

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Chient/Owner
MARCON ALBERT (GP) LTD.
5645 199 Street
Langley, BC V3A 1H9

Sheet Title
PERSPECTIVES

Project Number 1805

Plot Date 2019/08/30

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VIEW FROM NW (SAINT JOHNS ST.)



VIEW FROM SE (ALBERT STREET)

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Project Title
ALBERT STREET

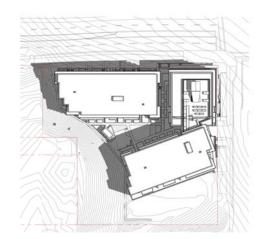
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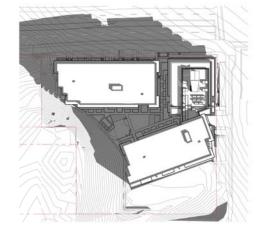
5645 199 Street Langley, BC V3A 1H9

Sheet Title
PERSPECTIVES

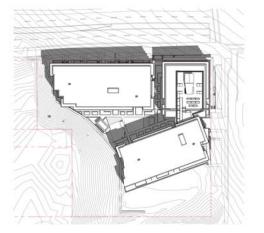
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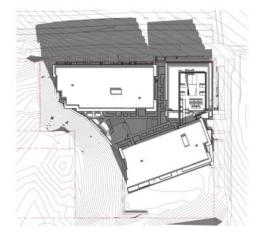
1 SHADOW STUDY - JUNE 21st (10am)



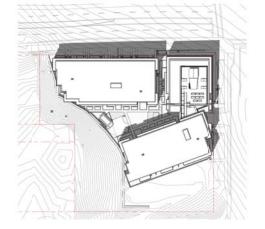
4 SHADOW STUDY - SEPT / MARCH 21st (10am)



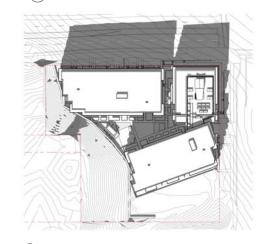
2 SHADOW STUDY - JUNE 21st (12pm)



5 SHADOW STUDY - SEPT / MARCH 21st (12pm)



3 SHADOW STUDY - JUNE 21st (2pm)



6 SHADOW STUDY - SEPT / MARCH 21st (2pm)



Project Title
ALBERT STREET

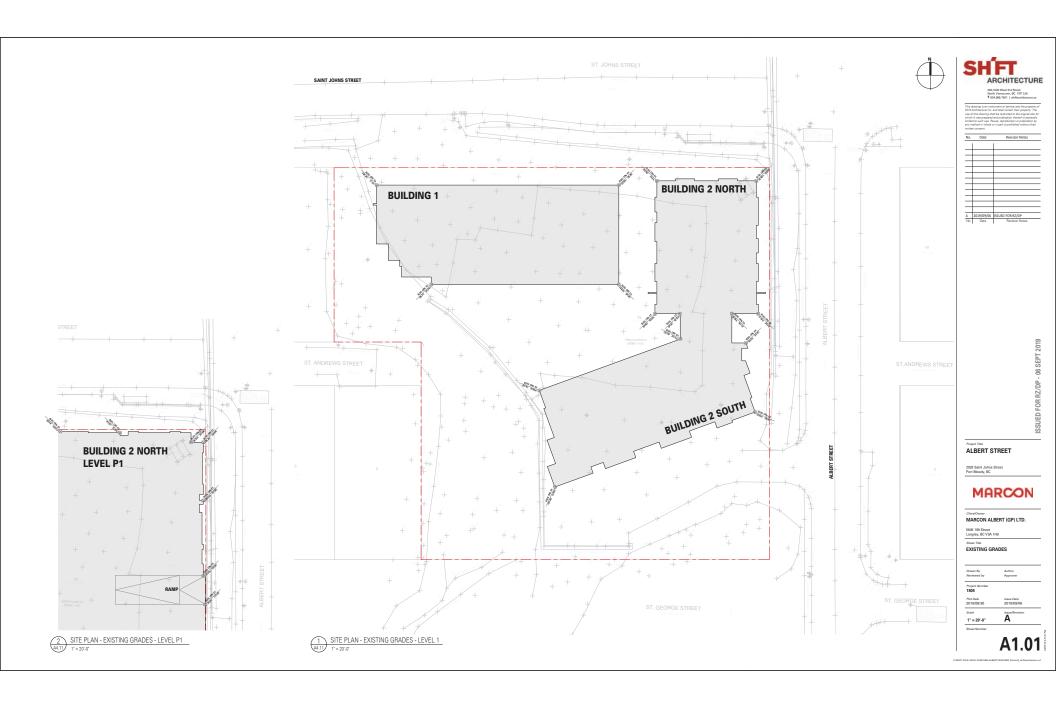
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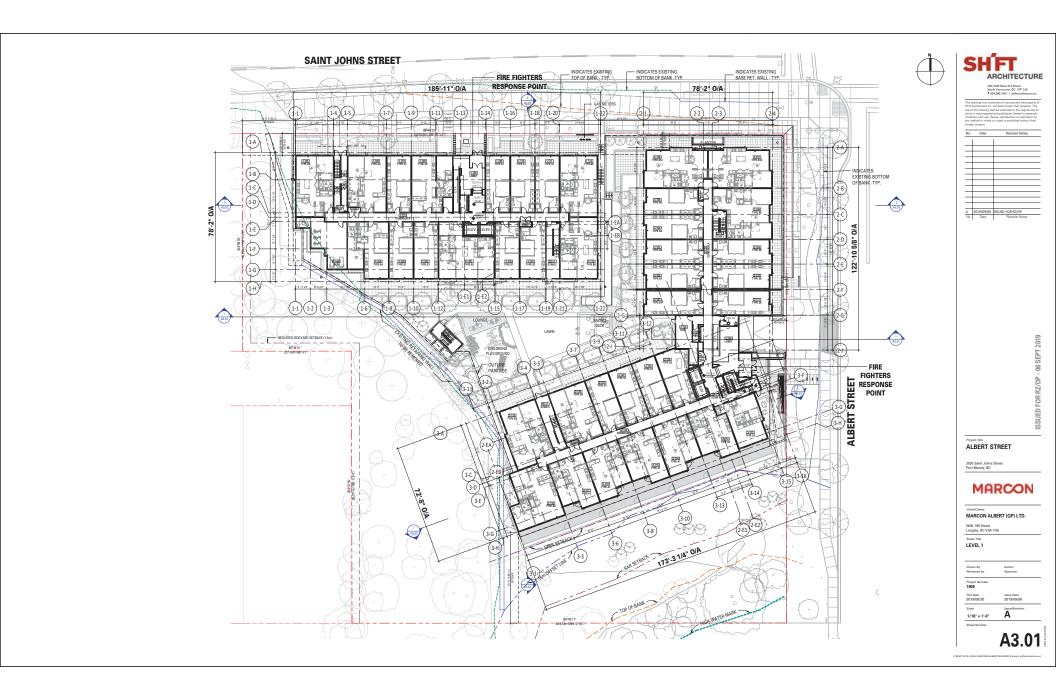
Client/Owner
MARCON ALBERT (GP) LTD.

5645 199 Street Langley, BC V3A 1H9 Sheet Title SHADOW STUDIES

Scale temperature A

A0.040







BUILDING 2





1 STREETSCAPE - NORTH A1.00 1/16" = 1'-0"



No.	Date	Revision Notes
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A.	2019/09/06	ISSUED FOR RZ/DP
No.	Date	Revision Notes

ALBERT STREET

ISSUED FOR RZ/DP - 06 SEPT 2019

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STREETSCAPES

Project Number

1/16" = 1'-0"

A4.01



CL-01* CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM OC-117 'SIMPLY

- CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAY'S CL-02
- CL-04* PREFINISHED ALUMINIUM CLADDING PANEL AL13 SD337 'PEACH' CL-05* PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD341 'CORNELL RED'
- CL-06* PREFINISHED ALUMINIUM CLADDING PANEL AL13 PAINT TO MATCH BM 648
 'KOKOPELLI TEAL'
 CL-07* PREFINISHED ALUMINIUM CLADDING PANEL AL13 SD343 'FRENCH BLUE'
- CL-08 7/8" CORRUGATED METAL CLADDING 5616 'CAMBRIDGE WHITE'
 CO-01 ARCHITECTURAL CONCRETE C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBBLESTONE GREY MS-82'
- DW-00 WINDOW GLAZING CLEAR
- DW-01 VINYL WINDOW C/W LOW-E DOUBLE GLAZING BLACK DW-02 PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK
- DW-03 ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING BLACK
- DW-04 PAINTED WOOD OR FIRBEGLASS ENTRY DOOR BLACK
- DW-05 2X4 COMB FACE WOOD TRIM PAINTED TO MATCH WINDOW/DOOR FIN-01 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE'
- FIN-02 PREFINISHED ALUMINUM FLASHINGS MAKIN METALS SRI 35 'REGENT GREY' GL-01 FROSTED GLAZING PANEL
- MA-01 BRICK NORMAN MODULE, 1/3 BOND PACIFIC CLAY DARK IRONSPOT SMOOTH FINISH
- MM-01 PAINTED METAL TO MATCH BM OC-117 'SIMPLY WHITE'
- MM-02 PAINTED METAL TO MATCH BM 2133-30 'DAYS END PS-01 PRIVACY SCREEN (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY'
- PS-02 TRANSLUCENT GLASS

MATERIAL LEGEND

- RF-01* ALUMINUM SOFFIT GENTEK 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE' PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'-
 - TO MATCH BM 2017-60 'PALE DAFFODIL'
- RF-03 PAINTED ALUMINUM SOFFIT GENTEK 16" 4 PANEL SOLID 'RAINWARE WHITE'
 TO MATCH BM 2012-60 'CREAMY PEACH'
- TO MATCH BM 2012-00 CREAM FEACH.

 PANITED ALLOWING SOFTH GERRIES 15" 4 PANIE SOLD RAINWARE WHITE-TO MATCH BM 2004-00 WANGOM AGUA!

 PANITED ALLOWING SOFTH GERRIES 15" 4 PANIE SOLD RAINWARE WHITE-TO MATCH BM 2004-00 WHOMILL WINGS:

 WOODLIES CEMBRITHOUS SOFTH FUH-ODODING RUSTIC SERIES 5.25" SUMMER WHOM: SOFTH VENT TO BE BLACK.
- RG-01 GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 'ANTHRACITE GREY' WITH CLEAR GLAZING PANELS
- GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 ' ANTHRACITE GREY' WITH RG-02 TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY RED)
- GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 ' ANTHRACITE GREY' WITH
- TEMPERED TRANSPARENT GLAZING PANELS (RED: RUISY RED x2, TANGERINE)
 GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 ' ANTHRACITE GREY' WITH
 TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2)
- GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 ' ANTHRACITE GREY' WITH

 RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED, SAPHIRE, CORAL ROSE)
- TMP-01 PAINTED FASCIA TO MATCH BM OC-117 'SIMPLY WHITE'
 TMP-02 PAINTED FASCIA TO MATCH BM 2133-30 'DAY'S END'
- TMP-03 PREFINISHED ALUMINUM GUTTER GENTEK 'SLATE' 523 TO MATCH BM 2133-30 'DAY'S END'
- TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. GENTEK 'SLATE' 523
- * DENOTES MATERIALS NOT SHOWN ON RENDER. REFER TO A.4.11-A4.24 BUILDING ELEVATION SHEETS.

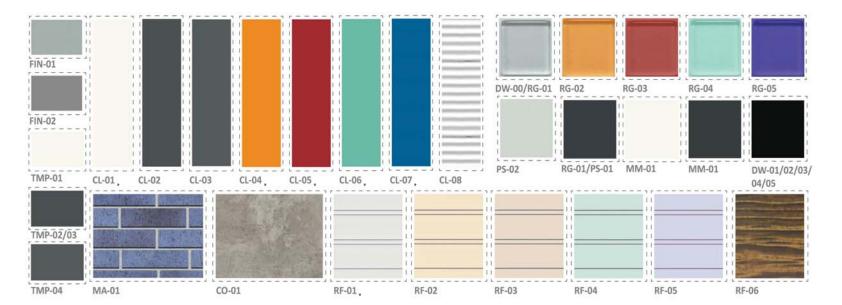


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ALBERT STREET

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CL-01 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM OC-117 'SIMPLY WHITE'

CL-02 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAY'S END'

CL-03 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD330 'SLATE'

CL-04 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD337 'PEACH'
CL-05 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD341 'CORNELL RED'

CL-06 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 - PAINT TO MATCH BM 648 'KOKOPELLI TEAL'

CL-07 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD343 'FRENCH BLUE'

CL-08 7/8" CORRUGATED METAL CLADDING - 5616 'CAMBRIDGE WHITE'

CO-01 ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBBLESTONE GREY MS-82'

DW-00 WINDOW GLAZING - CLEAR

DW-01 VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
DW-02 PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK

DW-03 ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK

DW-04 PAINTED WOOD OR FIRBEGLASS ENTRY DOOR - BLACK DW-05 2X4 COMB FACE WOOD TRIM PAINTED TO MATCH WINDOW/DOOR

FIN-01 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE'

FIN-02 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 35 'REGENT GREY'

GL-01 FROSTED GLAZING PANEL

MA-01 FINISH

FINISH

MA-101 FINISH

MM-01 PAINTED METAL - TO MATCH BM OC-117 'SIMPLY WHITE'

MIM-02 PAINTED METAL - TO MATCH BM 2133-30 'DAYS END

PS-01 PRIVACY SCREEN (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY'

PS-02 TRANSLUCENT GLASS

MATERIAL LEGEND

RF-01 ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE'

VENI TO DECEMBER 2

PARTICLE ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID "RAINWARE WHITE"TO MATCH BM 2017-60 PALE DAFFODIL"

PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID "RAINWARE WHITE"TO MATCH BM 2012-60 CREAMY PEACH"

TO MATCH BM 2012-60 CREAMY PEACH"

RF-04 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'TO MATCH BM 2048-60 'JAMAICAN AQUA'

RF-05
PAINTED ALUMNIUM SOFFT - GENTEC - 16" 4 PANEL SOUD 'RAINWARE WHITE'TO MATCH BM 2057-50 'WINDMLL WINGS'
WOODLIKE CEMENTITIOUS SOFFT - WOODTONE RUSTIC SERIES 5.25" 'SUMMER
WHEAT '- SOFFT VENT TO BE BLACK'

RG-01 CLEAR GLAZING PANELS

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH CLEAR GLAZING PANELS

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY WITH RG-02 TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY RED)

RG-03

GUARDAL (ALUMINUM) - POWDER COAT - RAL 7015 ' ANTHRACITE GREY WITH TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED 32, TANGERINE)

GUARDAL (ALUMINUM) - POWDER COAT - RAL 7015 ' ANTHRACITE GREY WITH TRANSPARENT GLAZING PANELS (RED: RUBY RED 32, TANGERINE)

TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2)

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH

RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED, SAPHIRE, CORAL ROSE)

TMP-01 PAINTED FASCIA - TO MATCH BM OC-117 'SIMPLY WHITE' TMP-02 PAINTED FASCIA - TO MATCH BM 2133-30 'DAY'S END'

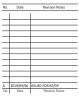
TMP-03 PREFINISHED ALUMINUM GUTTER – GENTEK 'SLATE' 523 TO MATCH BM 2133-30 'DAY'S END'

TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. – GENTEK 'SLATE' 523



B1 - EAST ELEVATION

SHFT ARCHITECTURE



ALBERT STREET

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B1 - ELEVATIONS

Project Numbe 1805

1/8" = 1'-0"

A4.11



CL-01 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM OC-117 'SIMPLY WHITE'

CL-02 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAY'S END' CL-03 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD330 'SLATE'

CL-04 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD337 'PEACH'
CL-05 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD341 'CORNELL RED'

CL-06 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 - PAINT TO MATCH BM 648 'KOKOPELLI TEAL'

CL-07 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD343 'FRENCH BLUE'

CL-08 7/8" CORRUGATED METAL CLADDING - 5616 'CAMBRIDGE WHITE'

CO-01 ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBBLESTONE GREY MS-82'

DW-00 WINDOW GLAZING - CLEAR

DW-01 VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
DW-02 PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK

DW-03 ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK

DW-04 PAINTED WOOD OR FIRBEGLASS ENTRY DOOR - BLACK

DW-05 2X4 COMB FACE WOOD TRIM PAINTED TO MATCH WINDOW/DOOR

FIN-01 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE' FIN-02 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 35 'REGENT GREY'

GL-01 FROSTED GLAZING PANEL

MA-01 FINISH

FINISH

MA-101 FINISH

MM-01 PAINTED METAL - TO MATCH BM OC-117 'SIMPLY WHITE'

MIM-02 PAINTED METAL - TO MATCH BM 2133-30 'DAYS END

PS-01 PRIVACY SCREEN (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY'

PS-02 TRANSLUCENT GLASS

MATERIAL LEGEND

RF-01 ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE'

VENI TO DECEMBER 2

PARTICLE ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID "RAINWARE WHITE"TO MATCH BM 2017-60 PALE DAFFODIL"

PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID "RAINWARE WHITE"TO MATCH BM 2012-60 CREAMY PEACH"

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PAINTED ALUMNIUM SOFFT - GENTEC - 16" 4 PANEL SOUD 'RAINWARE WHITE'TO MATCH BM 2057-50 'WINDMLL WINGS'
WOODLIKE CEMENTITIOUS SOFFT - WOODTONE RUSTIC SERIES 5.25" 'SUMMER
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TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2)

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED, SAPHIRE,

CORAL ROSE) TMP-01 PAINTED FASCIA - TO MATCH BM OC-117 'SIMPLY WHITE'

TMP-02 PAINTED FASCIA - TO MATCH BM 2133-30 'DAY'S END'

TMP-03 PREFINISHED ALUMINUM GUTTER – GENTEK 'SLATE' 523 TO MATCH BM 2133-30 'DAY'S END'

TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. – GENTEK 'SLATE' 523









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B1 - ELEVATIONS

Project Number

1/8" = 1'-0"

A4.12



CL-02 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 23 END'

CL-03 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD330 'SLATE'

CL-04 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD337 'PEACH' CL-05 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD341 'CORNELL RED'

'KOKOPELLI TEAL' CL-07 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD343 'FRENCH BLUE'

CL-08 7/8" CORRUGATED METAL CLADDING - 5616 'CAMBRIDGE WHITE' CO-01 ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBBLESTONE GREY MS-82'

DW-00 WINDOW GLAZING - CLEAR

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DW-02 PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK DW-03 ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK

DW-04 PAINTED WOOD OR FIRBEGLASS ENTRY DOOR - BLACK

DW-05 2X4 COMB FACE WOOD TRIM PAINTED TO MATCH WINDOW/DOOR FIN-01 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE'

FIN-02 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 35 'REGENT GREY' GL-01 FROSTED GLAZING PANEL

MA-01 BRICK - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK IRONSPOT - SMOOTH FINISH

MM-01 PAINTED METAL - TO MATCH BM OC-117 'SIMPLY WHITE'

MM-02 PAINTED METAL - TO MATCH BM 2133-30 'DAYS END PS-01 PRIVACY SCREEN (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY

PS-02 TRANSLUCENT GLASS

MATERIAL LEGEND RF-01 ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE'

RF-02 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE' TO MATCH BM 2017-60 'PALE DAFFODIL'

RF-03 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PAINEL SOLID 'RAINWARE WHITE'TO MATCH BM 2012-60 'CREAMY PEACH' RF-04 TO MATCH SHAPE CONTINUE OF THE GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'
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THE GENTEK - 16" 4 PANEL

TO MATCH BM 2048-60 'JAMAICAN AQUA' RF-05 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOL TO MATCH BM 2067-60 'WINDMILL WINGS'

RF-06
WOODLIKE CEMENTIONS OS SOFTT - WOODTONE RUSTIC SERIES 5.25" 'SUMMER WHEAT' - 'SOFTTI VENT TO BE BLACK'
GUARDRALI (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH 11 GRAPME GAMER'

CLEAR GLAZING PANELS GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH

RG-02 TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN

LIGHT RURY RED) RG-03 TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED x2, TANGERINE)

RG-04 GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2)

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED. SAPHIRE. CORAL ROSE)

TMP-01 PAINTED FASCIA - TO MATCH BM OC-117 'SIMPLY WHITE'

TIMP-02 PAINTED FASCIA - TO MATCH BM 2133-30 'DAY'S END'

TIMP-03 PREFINISHED ALUMINUM GUTTER – GENTEK 'SLATE' 523 TO MATCH BM 2133-30
'DAY'S END'

TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. – GENTEK 'SLATE' 523

SHFT ARCHITECTURE

2019/99/06 ISSUID FOR 82/DP D. Ditte Revision Vitras	D.	Date	Revision Notes
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	T	2019/09/06	ISSUED FOR RZ/DP
	0.	Date	Revision Notes

ALBERT STREET

ISSUED FOR RZ/DP - 06 SEPT 2019

MARCON

MARCON ALBERT (GP) LTD.

5645 199 Street Langley, BC V3A 1H9 B2 - NORTH - ELEVATIONS

Project Numb 1/8" = 1'-0"

A4.21

T.O. PARAPET 45.02 m 147.72 ft ROOF BLDG 2 44.83 m 147-0 3/4* 43.91 m 144'-0 3/4" 40.85 m 134'-0 1/4" 37.79 m128-11 3/4* 4 34.73 m113'-11 1/4" 31.67 m103'-10 3/4" Z8.61 m 93°-10 1/4" PARKING ENTRY — DW-03 24.34 m 79-10 1/4*



- CL-01 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM OC-117 'SIMPLY
- CL-02 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 23 END'

 CL-03 PREFINISHED ALUMINIUM CLADDING PANEL AL13 SD330 'SLATE'
- CL-04 PREFINISHED ALUMINIUM CLADDING PANEL AL13 SD337 'PEACH'
- CL-05 PREFINISHED ALUMINIUM CLADDING PANEL AL13 SD341 'CORNELL RED'
- CL-06 'KOKOPELLI TEAL'

 CL-06 'KOKOPELLI TEAL'
- CL-07 PREFINISHED ALUMINIUM CLADDING PANEL AL13 SD343 'FRENCH BLUE'
 CL-08 7/8" CORRUGATED METAL CLADDING 5616 'CAMBRIDGE WHITE'
- CO-01 ARCHITECTURAL CONCRETE C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBBLESTONE GREY MS-82'

- DW-00 WINDOW GLAZING CLEAR
 DW-01 VINYL WINDOW C/W LOW-E DOUBLE GLAZING BLACK
- DW-02 PATIO DOOR C/W LOW-E DOUBLE GLAZING BLACK DW-03 ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK
- DW-04 PAINTED WOOD OR FIRBEGLASS ENTRY DOOR BLACK
 DW-05 2X4 COMB FACE WOOD TRIM PAINTED TO MATCH WINDOW/DOOR
- FIN-01 PREFINISHED ALUMINUM FLASHINGS MAKIN METALS SRI 80 'CAMBRIDGE WHITE'
 FIN-02 PREFINISHED ALUMINUM FLASHINGS MAKIN METALS SRI 35 'REGENT GREY'
- GL-01 FROSTED GLAZING PANEL MA-01 BRICK - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK IRONSPOT - SMOOTH FINISH
- MM-01 PAINTED METAL TO MATCH BM OC-117 'SIMPLY WHITE' MM-02 PAINTED METAL - TO MATCH BM 2133-30 'DAYS END
- PS-01 PRIVACY SCREEN (ALUMINUM) POWDER COAT RAL 7016 'ANTHRACITE GREY'
- PS-02 TRANSLUCENT GLASS

MATERIAL LEGEND

- RF-01 ALUMINUM SOFFIT GENTEK 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE'
- RF-02 PAINTED ALUMINUM SOFFIT GENTEK 16" 4 PANEL SOLID 'RAINWARE WHITE' TO MATCH BM 2017-60 'PALE DAFFODIL'
- RF-03 PAINTED ALUMINUM SOFFIT GENTEK 16" 4 PANEL SOLID 'RAINWARE WHITE'.
 TO MATCH BM 2012-60 'CREAMY PEACH'
- RF-04 TO MATCH BM 2048-60 'JAMAICAN AQUA'

 TO MATCH BM 2048-60 'JAMAICAN AQUA'

- TO NATO BM 2018-09 DIAMICAN PAGIN.

 PANITED ALLAMOMA SPRITT. CERENCE: 1.5° 4 PANIEL SOLID THANNAME WHITE-TO NATO FEM 2015-09 THAN THE ALLAMOMA SPRITT. SPRITT SHARE THE ALLAMOMA SPRITT SHARE THAN THE ALLAMOMA SPRITT SHARE THE ALLAMOMA SPRITT SHARE THE ALLAMOMA SPRITT SHARE THE ALLAMOMA SPRITT SHARE THE SHARE THAN THAN THE SHARE THAN THAN THE SHARE THAN THAN THE SHARE THAN THE
- GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 'ANTHRACITE GREY' WITH

 RG-02 TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT RURY RED)
- RG-03 TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED x2, TANGERINE)
- RG-04 GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 ' ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2)
- GUARDRAIL (ALUMINUM) POWDER COAT RAL 7016 ' ANTHRACITE GREY' WITH RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED. SAPHIRE. CORAL ROSE)
- TMP-01 PAINTED FASCIA TO MATCH BM OC-117 'SIMPLY WHITE'
- TIMP-02 PAINTED FASCIA TO MATCH BM 2133-30 'DAY'S END'

 TIMP-03 PREFINISHED ALUMINUM GUTTER GENTEK 'SLATE' 523 TO MATCH BM 2133-30
 'DAY'S END'
- TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. GENTEK 'SLATE' 523



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ISSUED FOR RZ/DP - 06 SEPT 2019

ALBERT STREET

MARCON

MARCON ALBERT (GP) LTD. 5645 199 Street Langley, BC V3A 1H9

B2 - NORTH - ELEVATIONS

Project Numb

1/8" = 1'-0"

A4.22

B2 - SOUTH ELEVATION (NORTH)





CL-01 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM OC-117 'SIMPLY WHITE' CL-02 CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAY'S END'

CL-03 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD330 'SLATE'

CL-04 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD337 'PEACH'
CL-05 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD341 'CORNELL RED'

CL-06 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 - PAINT TO MATCH BM 648 'KOKOPELLI TEAL'

CL-07 PREFINISHED ALUMINIUM CLADDING PANEL - AL13 SD343 'FRENCH BLUE'

CL-08 7/8" CORRUGATED METAL CLADDING - 5616 'CAMBRIDGE WHITE'

CO-01 ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBBLESTONE GREY MS-82'

DW-00 WINDOW GLAZING - CLEAR

DW-01 VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
DW-02 PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK

DW-03 ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK DW-04 PAINTED WOOD OR FIRBEGLASS ENTRY DOOR - BLACK

DW-05 2X4 COMB FACE WOOD TRIM PAINTED TO MATCH WINDOW/DOOR

FIN-01 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE'

FIN-02 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 35 'REGENT GREY'

GL-01 FROSTED GLAZING PANEL

MA-01 PROSTED GOLDING PARKET.

MA-01 PRINCE - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK IRONSPOT - SMOOTH
FINISH

MM-01 PAINTED METAL - TO MATCH BM OC-117 'SIMPLY WHITE'

MIM-02 PAINTED METAL - TO MATCH BM 2133-30 'DAYS END

PS-01 PRIVACY SCREEN (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY'

PS-02 TRANSLUCENT GLASS

RF-01 ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE'

VENI TO DECEMBER 2

PARTICLE ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID "RAINWARE WHITE"TO MATCH BM 2017-60 PALE DAFFODIL"

PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID "RAINWARE WHITE"TO MATCH BM 2012-60 CREAMY PEACH"

TO MATCH BM 2012-60 CREAMY PEACH"

RF-04 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'TO MATCH BM 2048-60 'JAMAICAN AQUA'

IO MAILE BM. 2018-50 JAMAILLAN ALUN'

PAINTED ALUMINUM SOFTI - GENTEC - 161" 4 PAINEL SOLID "RAINWARE WHITE'TO MATCH BM. 2057-50 "WINDMLL WINGS"

WOODLIKE CEMENTITIOUS SOFTI - WOODTONE RUSTIC SERIES 5.25" SUMMER
WHEAT: "SOFTI VENT TO BE BLACK"

RG-01 CLEAR GLAZING PANELS

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH CLEAR GLAZING PANELS

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY WITH RG-02 TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY RED)

RG-03

GUARDAL (ALUMINUM) - POWDER COAT - RAL 7015 ' ANTHRACITE GREY WITH TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED 32, TANGERINE)

GUARDAL (ALUMINUM) - POWDER COAT - RAL 7015 ' ANTHRACITE GREY WITH TRANSPARENT GLAZING PANELS (RED: RUBY RED 32, TANGERINE)

TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2)

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH

RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED, SAPHIRE,

CORAL ROSE) TMP-01 PAINTED FASCIA - TO MATCH BM OC-117 'SIMPLY WHITE'

TMP-02 PAINTED FASCIA - TO MATCH BM 2133-30 'DAY'S END'

TMP-03 PREFINISHED ALUMINUM GUTTER – GENTEK 'SLATE' 523 TO MATCH BM 2133-30 'DAY'S END'

TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. – GENTEK 'SLATE' 523



SHFT ARCHITECTURE No. Outre Revit

A 2019/09/05 ISSUED FOR INC.

No. Outre Revi

ALBERT STREET

ISSUED FOR RZ/DP - 06 SEPT 2019

MARCON

MARCON ALBERT (GP) LTD. 5645 199 Street Langley, BC V3A 1H9

B2 - SOUTH - ELEVATIONS

Project Number 1/8" = 1'-0"

A4.23

B2 - EAST ELEVATION (SOUTH)





FIN-01 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE'
FIN-02 PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 35 'REGENT GREY' MA-01 BRICK - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK IRONSPOT - SMOOTH FINISH

MM-01 PAINTED METAL - TO MATCH BM OC-117 'SIMPLY WHITE' MM-02 PAINTED METAL - TO MATCH BM 2133-30 'DAYS END

PS-01 PRIVACY SCREEN (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY

PS-02 TRANSLUCENT GLASS

MATERIAL LEGEND

RF-01 ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE'- 'SOFFIT VENT TO BE WHITE'

RF-02 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PANEL SOLID 'RAINWARE WHITE' TO MATCH BM 2017-60 'PALE DAFFODIL'

RF-03 PAINTED ALUMINUM SOFFIT - GENTEK - 16" 4 PAINEL SOLID 'RAINWARE WHITE'TO MATCH BM 2012-60 'CREAMY PEACH' RF-04 TO MATCH BM 2048-60 'JAMAICAN AQUA'

TO MATCH BM 2048-60 'JAMAICAN AQUA'

TO NATO BM 2018-09 DIAMICAN PAGIN.

PANITED ALLAMOMA SPRITT. CERENCE: 1.5° 4 PANIEL SOLID THANNAME WHITE-TO NATO FEM 2015-09 THAN THE ALLAMOMA SPRITT. SPRITT SHARE THE ALLAMOMA SPRITT SHARE THAN THE ALLAMOMA SPRITT SHARE THE ALLAMOMA SPRITT SHARE THE ALLAMOMA SPRITT SHARE THE ALLAMOMA SPRITT SHARE THE SHARE THAN THAN THE SHARE THAN THAN THE SHARE THAN THAN THE SHARE THAN THE

GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH

RG-02 TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT RURY RED)

RG-03 TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED x2, TANGERINE)

RG-04 GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE x2) GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 ' ANTHRACITE GREY' WITH

RG-05 TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPHIRE, RUBY RED. SAPHIRE. CORAL ROSE)

TMP-01 PAINTED FASCIA - TO MATCH BM OC-117 'SIMPLY WHITE'

TIMP-02 PAINTED FASCIA - TO MATCH BM 2133-30 'DAY'S END'

TIMP-03 PREFINISHED ALUMINUM GUTTER – GENTEK 'SLATE' 523 TO MATCH BM 2133-30
'DAY'S END'

TMP-04 PREFINISHED ALUMINUM RWL 3 DIA. – GENTEK 'SLATE' 523



T.O. EAVE 46.84 m 153.66 ft

900F 47.57 m 156'-0 3/4"

46.65 m 153'-0 3/4"

R00F BLDG 2 44.83 m 147-0 3/4*

43.91 m 144-03/4*

LEVEL 5 40.85 m 124:0 1/4*

_____LEVEL 4 37.79 m123'-11 3/4"

34.73 m113'-11 1/4"

31.67 m103'-10 3/4"

2 B2 - SOUTH ELEVATION (SOUTH)

SHFT ARCHITECTURE



ISSUED FOR RZ/DP - 06 SEPT 2019

ALBERT STREET

MARCON

MARCON ALBERT (GP) LTD. 5645 199 Street Langley, BC V3A 1H9

B2 - SOUTH - ELEVATIONS

Project Number

1/8" = 1'-0"

A4.24

Albert Street Residential Development

Landscape Set: ISSUED FOR RZ/DP September 6, 2019

LANDSCAPE DRAWING LIST

L0.0 COVER SHEET

L0.1 TREE MANAGEMENT PLAN

L1.0 LAYOUT & MATERIALS - LEVEL 1

L1.1 LAYOUT & MATERIALS - ROOF

L1.2 ENLARGEMENT - COURTYARD LAYOUT

L1.3 ENLARGEMENT - ROOF LAYOUT

L2.0 GRADING PLAN - LEVEL 1

L3.0 PLANT MATERIALS L5.0 DETAILS - SOFTSCAPE

L5.1 DETAILS - HARDSCAPE

L5.2 DETAILS - HARDSCAPE

L5.2 DETAILS - FENCES & WALLS

L5.3 DETAILS - PLAY AREA

L5.4 DETAILS - FURNISHINGS

L5.5 DETAILS - PLANTERS

PROIECT TEAM

OWNER/DEVELOPER

MARCON ALBERT (GP) LTD.

5645-199th Street, Langley, BC V3A 1H9

5045-199(I) Street, Langley, BC V3A 1F

ARCHITECT

SHIFT ARCHITECTURE INC.

200-100 W 3 Street, North Vancouver, BC V7P 3J6

604.988.750

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WITHING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIEY THE TRUE EXISTING CONDITIONS, ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLECT OF THIS ADVICE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SELECTION AND LAYOUT OF ALL SITE WORKS (INCLUDING, BUT NOT LIMITED TO: HARDSCAPES, SITE FURNITURE, GROWING MEDIA, TREES, AND PLANTING) IS TO BE APPROVED BY THE CITY OF VANCOUVER PRIOR TO MATERIAL ACQUISITION AND STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SIDEWALK LOCATION AND BOULEVARD DESIGN TO BE DETERMINED BY THE GENERAL MANAGER OF ENGINEERING SERVICES PRIOR TO BUILDING OCCUPANCY.

THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND BE ISSUED AS "FOR CONSTRUCTION". EIGHT WEEKS NOTICE IS REQUESTED. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL PLANS RECEIVE "FOR CONSTRUCTION" APPROPVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT KEYIN CAPILLAT FOR 4473-7773 FOR DETAILS.



Connect

2305 Hemlock St, Vancouver BC, V6H 2V1 T 604 681 3303 F 604 681 3307

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
LOCATION, AND ELEVATION OF UTILITIES AND /
OR CONCEALED STRUCTURES AT THE PROJECT

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND FOR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFINING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSONS, OF ITS INTENTION TO CARRY OUT IT OPERATORS,

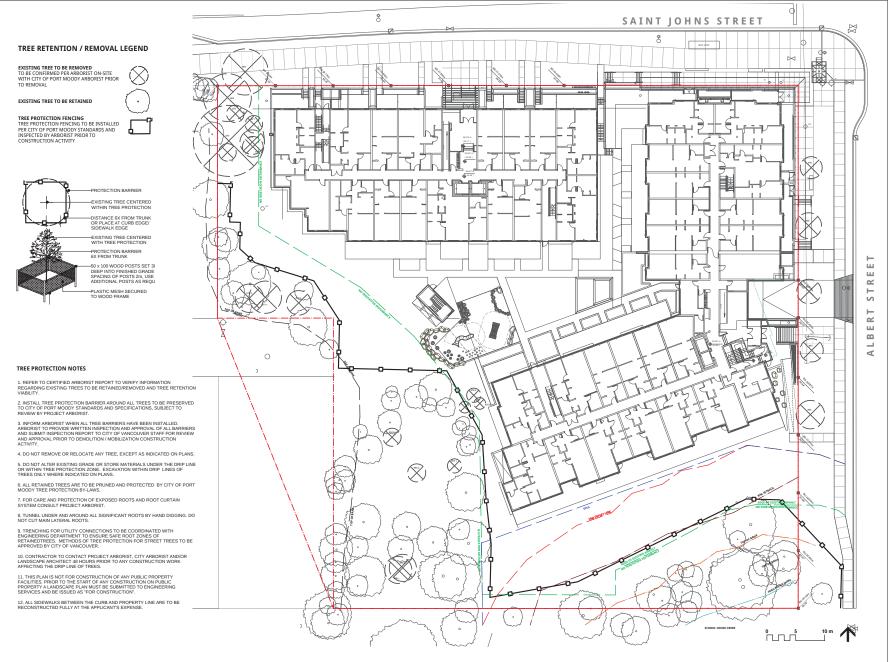
ALBERT STREET

2025 Saint Johns Street Port Moody, BC

Scale:	1:25
Drawn:	KI
Reviewed:	DS
Project No.	06-65

COVER SHEET & DRAWING LIST

L0.0



2305 Hemlock St, Vancouver BC, V6H 2V1 T 604 681 3303 F 604 681 3307 www.connectla.ca

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
LOCATION, AND ELEVATION OF UTILITIES AND /
OR CONCEALED STRUCTURES AT THE PROJECT
SITE

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND FOR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFINING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSONS, OF ITS INTENTION TO CARRY OUT IT OPERATORS,

ALBERT STREET

2025 Saint Johns Street Port Moody, BC

ISSUED FOR RZ/DP

REVISIONS

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-653

TREE MANAGEMENT

L0.1



2305 Hemlock St, Vancouver BC, V6H 2V1 T 604 681 3303 F 604 681 3307 www.connectla.ca

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ALBERT STREET

2025 Saint Johns Street Port Moody, BC

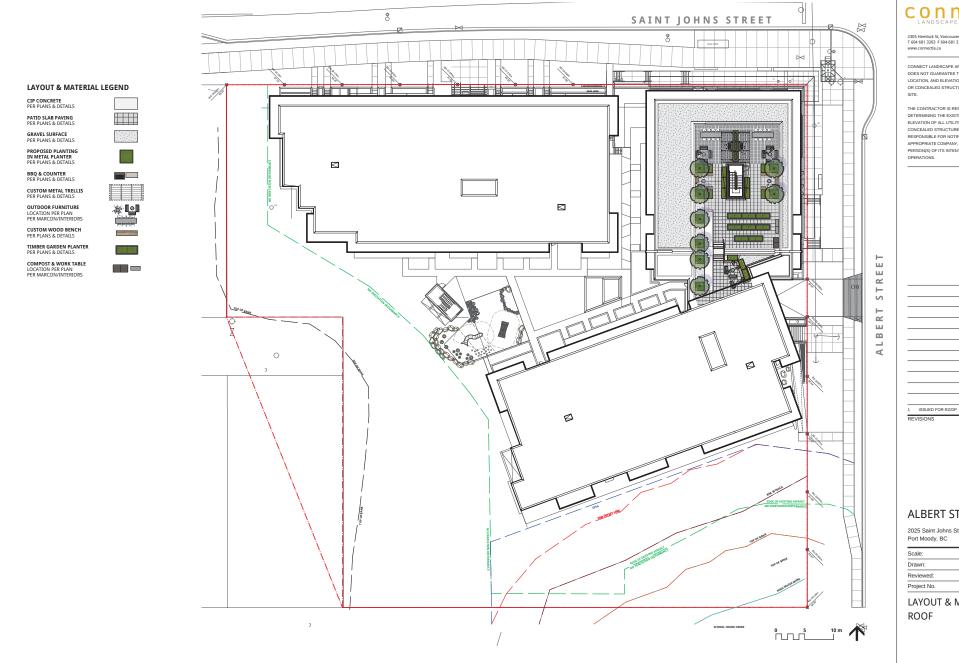
ISSUED FOR RZ/DP

REVISIONS

Scale:	1:200
Drawn:	KE
Reviewed:	DS
Project No.	06-653

LAYOUT & MATERIALS LEVEL 1

L1.0



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ALBERT STREET

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Scale:	1:200
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LAYOUT & MATERIALS ROOF

L1.1



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ENLARGEMENT COURTYARD LAYOUT

LAYOUT & MATERIAL LEGEND

CIP CONCRETE PER PLANS & DETAILS

PATIO SLAB PAVING PER PLANS & DETAILS

GRAVEL SURFACE PER PLANS & DETAILS

PROPOSED PLANTING IN METAL PLANTER PER PLANS & DETAILS

BBQ & COUNTER PER PLANS & DETAILS

CUSTOM METAL TRELLIS PER PLANS & DETAILS

OUTDOOR FURNITURE LOCATION PER PLAN PER MARCON/INTERIORS

CUSTOM WOOD BENCH PER PLANS & DETAILS

TIMBER GARDEN PLANTER PER PLANS & DETAILS

COMPOST & WORK TABLE LOCATION PER PLAN PER MARCON/INTERIORS







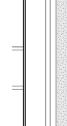








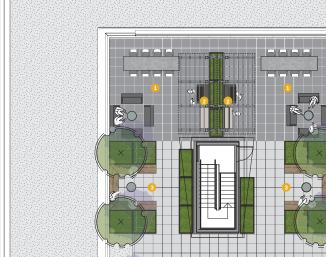


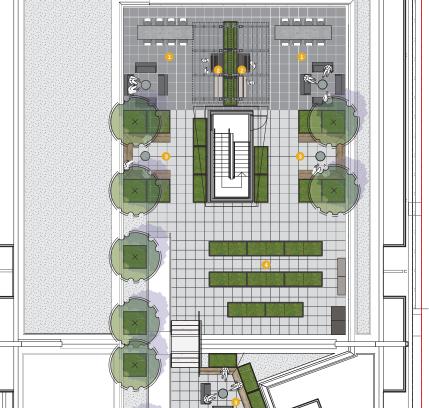














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ROOF LAYOUT

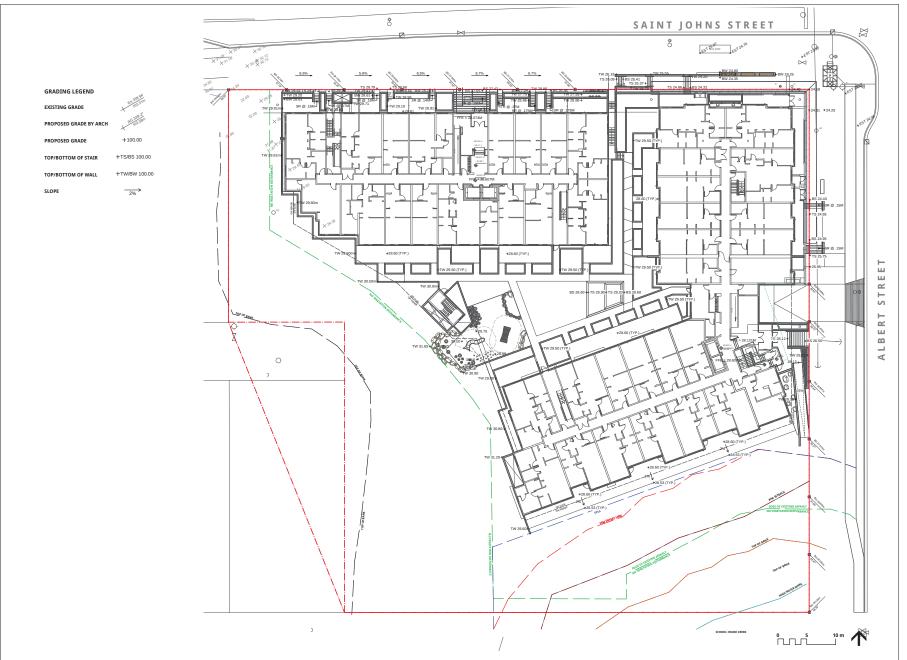
L1.3



2. OUTDOOR KITCHEN

3. LOUNGE AREA

4. ROOFTOP GARDEN



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LANDSCAPE LEVEL 1 GRADING PLAN







Acer circinatum Vine Maple



Rosa gymnocarpa



Oregon Iris



Taxus x media 'Hick



ENVIRONMENTALLY SENSTIVE SPECIES



Amelanchier alnifolia



Malus fusca Pacific Crabapple



olystichum Munitum

PLANT LIST

	PLANT LIST				
	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	TREES				
The same of the sa	IREES				
~	13	*Acer circinatum	Vine Maple	6cm cal., B&B	as shown
	8	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7cm cal., B&B	as shown
Jo Va	15	Fraxinus pennsylvanica 'Prairie Spire'	Prairie Spire Ash	6cm cal., B&B	as shown
	4	Liquidambar styraciflua 'Slender Silouette'	Fastigiate Sweetgum	6cm cal., B&B	as shown
	4	*Malus fusca	Pacific Crabapple	6cm cal., B&B	as shown
Jan 19	31	*Picea omorika	Serbian Spruce	3M height, B&B	as shown
San Janes	6	Stewartia pseudocamellia	Japanese Stewartia	6cm cal., B&B	as shown
5		Street Tree Per City of Port Moody		6cm cal., B&B	as shown
	SHRUBS				
m)		*Amelanchier alnifolia	Saskatoon Berry	#2 pot	42" o.c
1		Buxus microphylla 'Winter Beauty'	Korean Boxwood	#5 pot	18" o.c
	<u> </u>	*Cornus stolonifera Cotoneaster dammerii	Red Osier Dogwood Little-Leaf Cotoneaster	#5 pot #2 pot	36" o.c 24" o.c
	₩	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot #2 pot	24 O.C 18" O.C
	۵	*Physocarpus capitalus	Pacific Ninebark	#2 pot	36" o.c
	聯	*Polystichum munitum	Western Sword Fern	#2 pot	24" o.c
	M	*Rhododendron macrophyllum	Pacific Rhododendron	#5 pot	36" o.c
	<u>©</u>	*Rosa gymnocarpa	Baldhip Rose	#2 pot	36" o.c
	9	Sarcoccocca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c
	•	Skimmia japonica	Japanese Skimmia Mexican Feather Grass	#3 pot #2 pot	24" o.c 24" o.c
	⊕	Stipa tenuissima *Symphoricarpus albus	Snowberry	#2 pot #2 pot	24" o.c 24" o.c
	M	Taxus X Media 'Hicksii'	Hick's Yew - 1.5M height	#2 pot #3 pot	24 o.c 20" o.c
	_		Thores few 1.5m reight	no por	20 0.0
	GROUND (COVERS AND VINES			
	,,*	*Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	15" o.c
	7 V V	Ceanothus griseus horizontalis	Creeping California Lilac	4"(10cm) pot	15" o.c
	▼ ▼ ▼ 50/50mix	Rubus calycinoides	Emerald Carpet	4"(10cm) pot	15" o.c
	50/50mix	Oxalis oreganum Pachysandra terminalis	Redwood Spurge Japanese Spurge	4"(10cm) pot 4"(10cm) pot	15" o.c 15" o.c
	GRASSES	PERENNIALS, BULBS, AND ANNUALS			
		*Achillia millefolium	Yarrow	#1 pot	18" o.c
	•	*Dicentra formosa	Bleeding Heart	#1 pot	18" o.c
	•	*Iris tenax	Oregon Iris	#1 pot	18" o.c
Jan Sand	ENVIRONM	MENTAL SENSITIVE AREA			
		*Acer macrophyllum	Broadleaf Maple	6cm cal., B&B	as shown
		*Pinus contorta var. contorta	Shore Pine	6cm cal., B&B	as shown
_	₩ .	*Achillia millefolium	Yarrow	#1 pot	18" o.c
	\otimes	*Amelanchier alnifolia	Saskatoon Berry	#2 pot	42" o.c
	#\@ @ #@\	*Blechnum spicant	Deer Fern	#2 pot	24" o.c
	S	*Cornus stolonifera	Red Osier Dogwood	#5 pot	36" o.c
	<u>©</u>	*Gautheria shallon	Salal Black Torishara	#2 pot	24" o.c
	œ.	*Lonicera involucrata *Polystichum munitum	Black Twinberry Western Sword Fern	#2 not	24" o.c 24" o.c
	*	*Physocarpus capitalus	Pacific Ninebark	#2 pot	24 O.C 36" O.C
	×	*Ribes sanguineum	Red-Flowering Currant	#£ µUl	36" o.c
	\approx	*Rosa gymnocarpa	Baldhip Rose	#2 pot	36" o.c
	**	*Symphoricarpus albus	Snowberry	#2 pot	24" o.c
	•				

* Indicates native species

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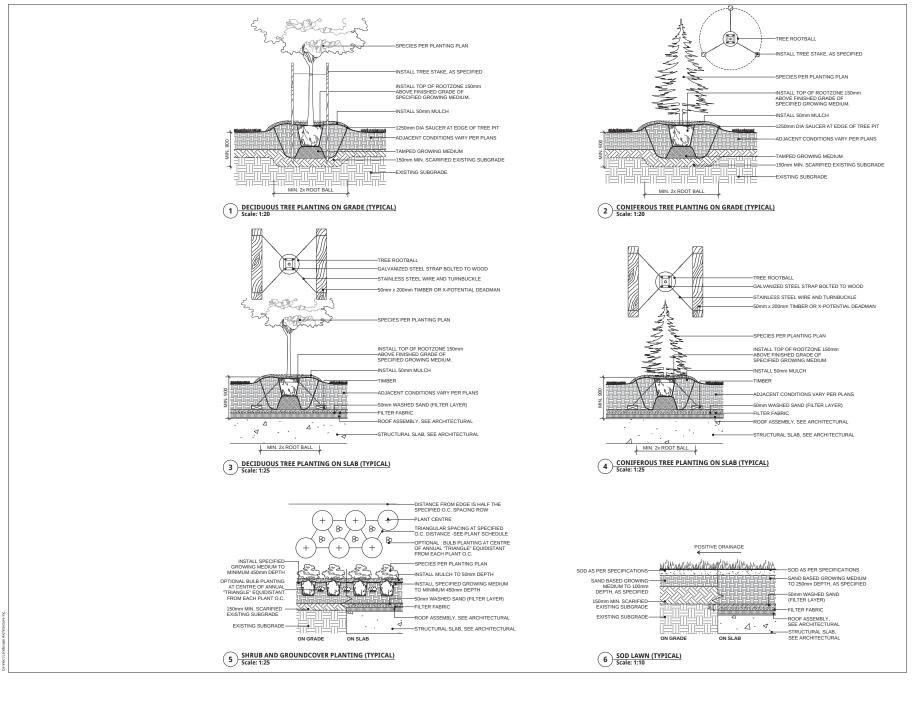
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LANDSCAPE MATERIALS



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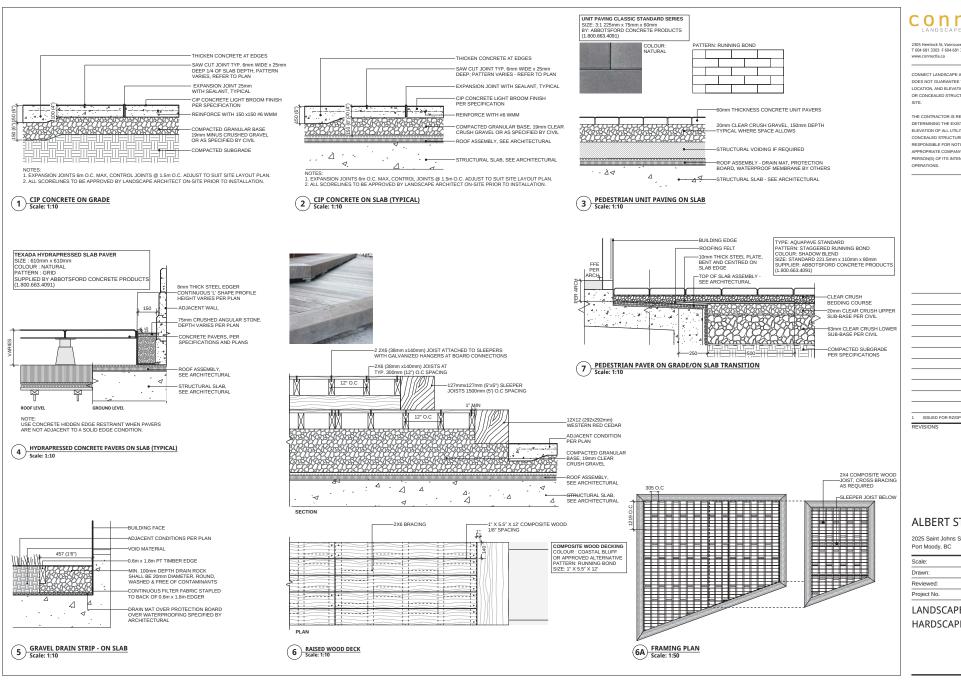
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LANDSCAPE DETAILS SOFTSCAPE

L5.0



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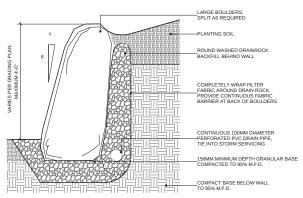
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LANDSCAPE DETAILS HARDSCAPE

L5.1



519 -GATE LATCH - PAINTED BLACK -100mm x 100mm ROUGH CUT POST -38mm x 89mm CROSS PICKET -38mm x 140mm FENCE PICKETS

TIMBER NOTES:

- TIMBER NOTES:

 1. ALL WOOD POSTS AND BOARDS TO BE CEDAR, CLEAN NO KNOTS.

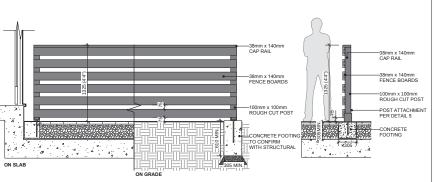
 2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
- 3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 4. ALL CUTS TO BE SQUARE AND CLEAN.
- 4. ALL COTS TO BE SQUARE AND CLEAN.

 5. ALL EXPOSED WOOD TO BE PAINTED (SOLID), COLOUR TO MATCH BUILDING METAL FILIGREE. PROVIDE SAMPLE FOR LANDSCAPE APPROVAL BEFORE APPLICATION.
- APPROVAL BEFORE APPLICATION.

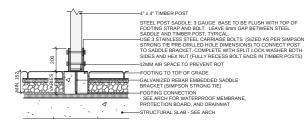
 6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.

 7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.

2 WOOD YARD GATE Scale: 1:20



WOOD GUARDRAIL
Scale: 1:20



5 TIMBER POST ATTACHMENT, ON SLAB

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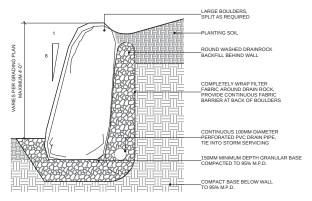
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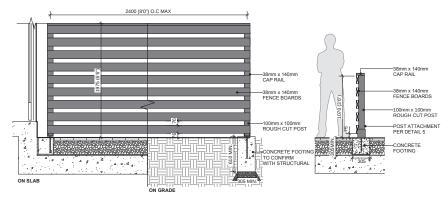
LANDSCAPE DETAILS **FENCES**

L5.2

19-09-06



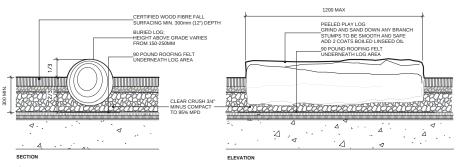
1 BOULDER RETAINING WALL
Scale: 1:10



WOOD PRIVACY SCREEN
Scale: 1:20

WOOD FLEMENTS NOTES:

- I. REMOVE BARK, SAND ALL CORNERS, EDGES, AND TIMBER SMOOTH, NO ROUGH SURFACES, SMOOTH AND FREE OF SPLINTERS.
- 2. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF LOG; NO DEPRESSIONS PERMITTED
 3. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL
- EDGES ARE FINISHED PRIOR TO ASSEMBLY.

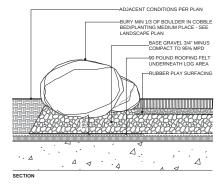


PEELED LOG BURIED IN SOIL AND CONCRETE; HEIGHT ABOVE GRADE VARIES FROM 150-250mm -RUBBER PLAY SURFACING C.LP. CONCRETE SLAB POURED AROUND LOGS 90 POUND ROOFING FELT UNDERNEATH LOG AREA A . A . A . A . A . . .

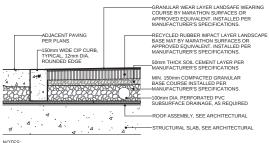
PLAY STUMPS
Scale: 1:10

300-450





3 PLAY AREA BOULDER EDGE Scale: 1:10



NOTES.

1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.

2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.











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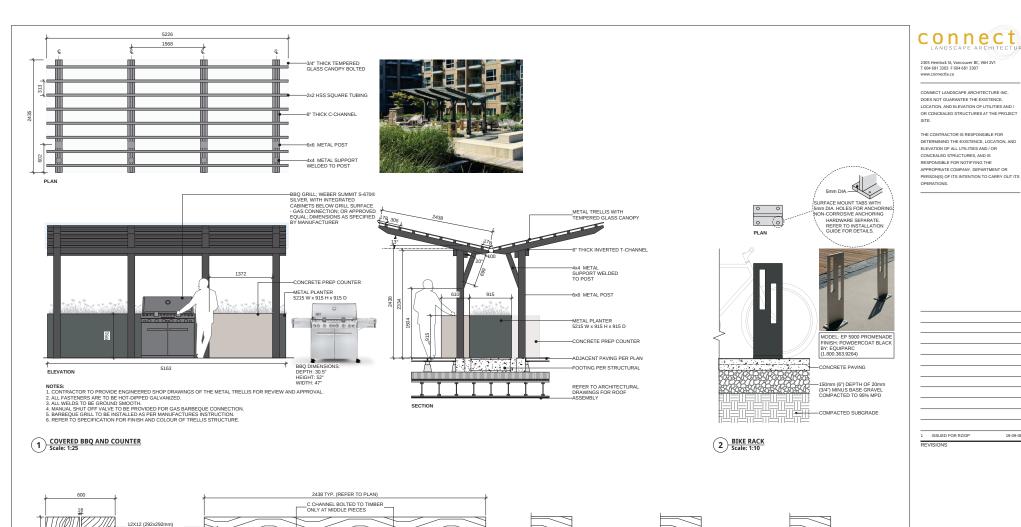
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LANDSCAPE DETAILS PLAY AREA



MOUNTED THROUGH UNIT PAVERS TO CIP CONCRETE HIDDEN BASE

AT ROOF AMENITY

AT GROUND AMENITY

2A C CHANNEL ATTACHMENT Scale: 1:10



ISSUED FOR RZ/DP

2025 Saint Johns Street

MOUNTED TO CIP CONCRETE PAVING WITH MACHINE BOLT

AT ENTRY PLAZA

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LANDSCAPE DETAILS **FURNISHINGS**

2 CUSTOM TIMBER BENCH Scale: 1:10

ARE FINISHED PRIOR TO ASSEMBLY.

3/8" THICK STEEL C CHANNEL

TIMBER NOTES:

1. LUMBER TO BE PRESSURE-TREATED CEDAR, CLEAN NO KNOTS. 2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
4. ALL CUTS TO BE SQUARE AND CLEAN.

BOLTED INTO TIMBER AT ENDS

4. ALCOTS TO BE SQUARE AND LEDM.

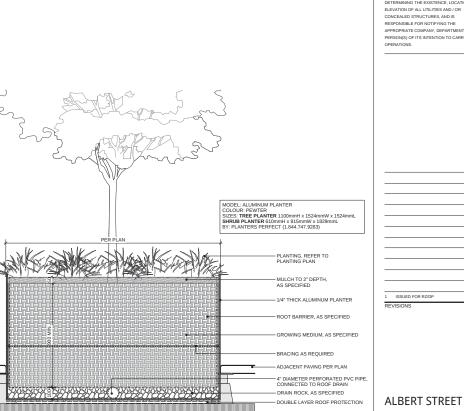
5. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF BENCH; NO DEPRESSIONS PERMITTED

6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAIVINGS.

7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO GISS OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.

8. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES

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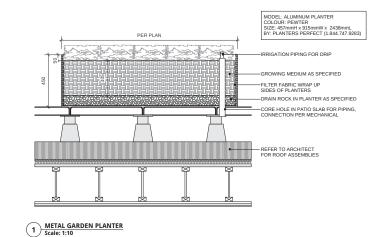
- REFER TO ARCHITECT FOR ROOF ASSEMBLIES

Scale:	AS SHOWN
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LANDSCAPE DETAILS **ROOF PLANTERS**

L5.5

19-09-06



2 METAL TREE & SHRUB PLANTER Scale: 1:10

