

MARCON ALBERT (GP) LTD.

PROJECT DESCRIPTION

SITE
The proposed development is located on a vacant site at the western edge of Port Moody's Moody Centre neighbourhood, at the intersection of the Barnet Highway and St. John's Street. The site was the former location of the Barnet Hotel which has been previously demolished.

The site is bounded by St. John's Street to the north, by Albert Street and urban forest to the east, Schoolhouse Creek South and urban forest to the south, and steeply sloping urban forest to the west. Immediately south of the site and Schoolhouse Creek, is Port Moody Secondary School. To the west of the urban forest of the site are existing single-family residences. The site is effectively separated from the adjacent urban fabric by the natural forested boundaries to the west, south and east, while the arterial nature of St. John's provides a significant separation from properties to the north.

ARCHITECTURAL EXPRESSION
Given the gateway location of the site, the project seeks to elevate the architectural expression of the development in order create a memorable western entry into Port Moody center. This memory is firmly established by the interplay of multiple colourful glazed guards that populate the north and east facades of the project. These colourful panels, change with the day as the capture, reflect or cast coloured light onto the immediate surroundings.

Upper residential levels of the development sit upon a well-defined commercial base which is located at the intersection of Albert and St. John's Streets. The commercial base is rendered in masonry which contrasts the corrugated metal cladding of the upper residential levels. The extent of this commercial occupancy is limited by the slope of the site in both the north-south and east-west directions. A glazed canopy wraps the commercial frontage, serving to further define the base while providing cover for those accessing the three commercial units. The masonry base is extended the full length of the development on both the east and north elevations by utilizing brick for the landscape walls. The expression of a strong base for the development is further accentuated by recessing and darkening the lowest level of the northern building.

Residential levels of the buildings are rendered in corrugated metal cladding with composite metal accent panels and glazed guards, both clear and coloured. The corrugated cladding is purposefully light in colour to maximize the effect of light reflections that emanate from the coloured glazing. The coloured guards and accent panels are playfully arranged to achieve interest. Each building is capped with a projecting eyebrow that provides cover for the residential balconies.

The public expression of the Architecture is consistent and extends from the riparian area at the southern boundary of the site, north to the intersection of Albert and St. John's Streets and westward to the urban forest at the western edge of the property. On the less public, forest facing or internal elevations, coloured accent panels are used to create interest rather than the coloured guards of the more public, street facing facades.

Public artwork for the project is being developed by Alex Morrison. The two sculptural pieces are located within the recess on the north elevation of Building 2 and within the small plaza at the corner of Albert and St. John's Streets.

Amenities for the development include the triangular, residential courtyard which is enclosed by the two buildings and the urban forest of the hillside. This courtyard provides both common gathering and play spaces as well as individual yards for those units that open directly to it. A small meeting room within the Building 2 opens onto the courtyard and a resident gym is located at the west end of Building 1. A large amenity room on the upper level of Building 2 also provided. This large amenity room provides access and connects with the generous public roof deck which extends the full length of the north wing of Building 2.

Throughout the proposed development, high quality, durable materials are specified. Brick, corrugated metal siding, composite metal panels, wood-like soffits and glazed guards are carefully composed to achieve the fresh, contemporary, playful expression of the Architecture.



VIEW FROM INTERSECTION OF ALBERT & ST. JOHN'S STREET TO SOUTHWEST

PROJECT STATISTICS



PROPERTY INFORMATION

Legal Description:
PLAN OF LOT 26, DISTRICT LOT 202, GROUP 1, N.W.D. PLAN 5281
PID 004 963 539

Civic Addresses:
2025 ST. JOHN'S STREET

PROJECT STATISTICS

SITE AREA		
Existing	888.1 sq. m.	27,058.6 sq. ft.
LOT COVERAGE		
Proposed	17.2%	152.2 sq. m.

SETBACKS		
	North	South
Existing	0m	1.5m
Proposed	1.5m	1.5m

AREA SUMMARY		
	Residential	Commercial
Level P1	10,172.0	4,689.0
Level 1	10,172.0	4,689.0
Level 2	10,172.0	4,689.0
Level 3	10,172.0	4,689.0
Level 4	10,172.0	4,689.0
Level 5	10,172.0	4,689.0
Level 6	10,172.0	4,689.0
Level 7	10,172.0	4,689.0
Level 8	10,172.0	4,689.0
Level 9	10,172.0	4,689.0
Level 10	10,172.0	4,689.0
Level 11	10,172.0	4,689.0
Level 12	10,172.0	4,689.0
Level 13	10,172.0	4,689.0
Level 14	10,172.0	4,689.0
Level 15	10,172.0	4,689.0
Level 16	10,172.0	4,689.0
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Level 93	10,172.0	4,689.0
Level 94	10,172.0	4,689.0
Level 95	10,172.0	4,689.0
Level 96	10,172.0	4,689.0
Level 97	10,172.0	4,689.0
Level 98	10,172.0	4,689.0
Level 99	10,172.0	4,689.0
Level 100	10,172.0	4,689.0

STORAGE SUMMARY		
Garage	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

PARKING SUMMARY		
Garage	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

VEHICLES		
Required	Provided	Excess
Residential	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

VEHICLES		
Required	Provided	Excess
Residential	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

FAR		
Allowable	2.4	2.4
Proposed	2.22	2.22

COMMON AMENITY		
Required	100	100
Proposed	100	100
Exterior	100	100
Total	300	300

BUILDING HEIGHT		
Allowable	4 Storeys	4 Storeys
Proposed	4 Storeys	4 Storeys
Building 1	6 Storeys	6 Storeys
Building 2	6 Storeys	6 Storeys

BALCONY SUMMARY		
Required	100	100
Proposed	100	100
Total	300	300

VEHICLES		
Required	Provided	Excess
Residential	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

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Required	Provided	Excess
Residential	100	100
Storage	100	100
Commercial	100	100
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Residential	100	100
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Required	Provided	Excess
Residential	100	100
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Total Parking	300	300

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Required	Provided	Excess
Residential	100	100
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Total Parking	300	300

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Required	Provided	Excess
Residential	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

VEHICLES		
Required	Provided	Excess
Residential	100	100
Storage	100	100
Commercial	100	100
Total Parking	300	300

PROJECT TEAM

OWNER/DEVELOPER
MARCON ALBERT (GP) LTD.
6661 - 18th Street, Langley, BC V3A 1H8
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ARCHITECT
SMY ARCHITECTURE INC.
Suite 200 - 1050 W 2 Street, North Vancouver, BC V7P 1J6
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CAMPBELL ENGINEERING
2475 Kingsway Avenue, Vancouver, BC V6J 1T5
(604) 681-8002

LANDSCAPE ARCHITECT
CONNECT LANDSCAPE ARCHITECTURE INC.
2205 Harbord Street, Vancouver, BC V6H 2V1
(604) 681-3300

GEOTECHNICAL ENGINEER
GEOPAC CONSULTANTS LTD.
1775 West 75th Avenue, Vancouver, BC V6P 0P2
(604) 428-0002

CIVIL ENGINEER
R.F. BINNIE & ASSOCIATES LTD.
300 - 4847 Canada Way, Burnaby, BC V5G 4E8
(604) 420-1721

ENVIRONMENTAL
KEYSTONE CONSULTANTS
320-4400 Dominion Street
Burnaby, BC V5G 4G3

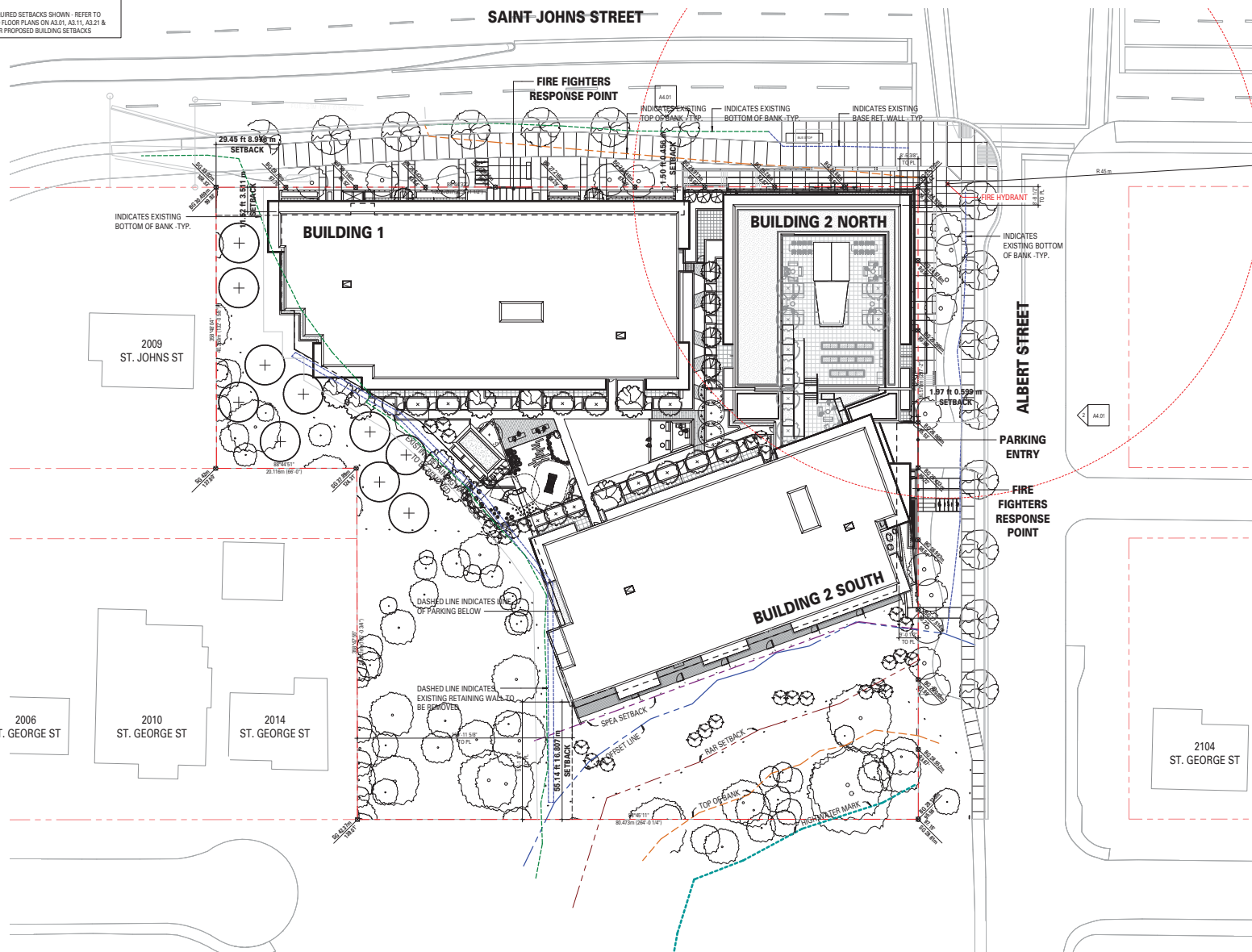
LAND SURVEYOR
BUTLER SUNDWICK & ASSOCIATES
Suite 4 - 1000-940 Avenue, Surrey, BC V4N 3E4
(604) 513-3611

PUBLIC ART CONSULTANT
BALLARD FINE ART
1241 Duchess Avenue, West Vancouver, BC V7V 1H3
(604) 992-6843

DRAWING LIST

A0.00 COVER SHEET
A0.01 ABBREVIATIONS
A0.02 PROJECT DATA & CALCULATIONS
A0.03 UNIT AREAS
A0.04 CONTEXT PLAN
A0.05 CONTEXT IMAGES
A0.06 PRECEDENTS
A0.07 PERSPECTIVES
A0.08 PERSPECTIVES
A0.09 SHADOW STUDIES
A0.10 SITE PLAN
A0.11 EXISTING GRADES
A0.12 LEVEL P4 - OVERALL
A0.13 LEVEL P5 - OVERALL
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A1.13 LEVEL P1

NOTE:
SITE REQUIRED SETBACKS SHOWN - REFER TO
GROUND FLOOR PLANS ON A3.01, A3.11, A3.21 &
A3.31 FOR PROPOSED BUILDING SETBACKS



SHIFT
ARCHITECTURE

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No.	Date	Revision Notes
A	2019/08/06	ISSUED FOR RZ/DP
Nr.	Date	Remarks/Notes

A	2019/09/06	ISSUED FOR RZ/DP
No.	Date	Revision Notes

ISSUED FOR RZ/DP - 06 SEPT 2019

Project Title
ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

MARCON

Client/Owner
MARCON ALBERT (GP) LTD.

5645 159 Street
Langley, BC V3A 1H9

SITE PLAN

Drawn By	Author
Reviewed by	Approved

Project Number
1805

<i>Pict Date</i>	<i>Issue Date</i>
2019/08/30	2019/09/06

2018/08/30	2018/03/08
Score	Score

1" = 20'-0" **A**

Sheet Number

A1.00





- ## MATERIAL LEGEND
- | | |
|--------|---|
| RF-01 | ALUMINUM WHITE - GENTLE - 16" PANEL SOLID "RAINWARE WHITE" - "SOFFIT VENT TO BE WHITE" |
| RF-02 | PAINTED ALUMINUM WHITE - GENTLE - 16" PANEL SOLID "RAINWARE WHITE" - TO MATCH BM 201-60 "PALE GARDEN" DAY'S END |
| RF-03 | PAINTED ALUMINUM WHITE - GENTLE - 16" PANEL SOLID "RAINWARE WHITE" - TO MATCH BM 201-60 "CREAMY PEARL" |
| RF-04 | PAINTED ALUMINUM WHITE - GENTLE - 16" PANEL SOLID "RAINWARE WHITE" - TO MATCH BM 204-60 "JAMAICAN ACACIA" |
| RF-05 | PAINTED ALUMINUM WHITE - GENTLE - 16" PANEL SOLID "RAINWARE WHITE" - TO MATCH BM 207-60 "VIRIDIAN GREEN" |
| RF-06 | WOODLACE CEMENTITIOUS SUFFIT - WOODSTONE RUSTIC SERIES 3.25 "SUMMER WHEAT" - "SOFFIT VENT TO BE BLACK" |
| RG-01 | GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH CLEAR GLAZING PANELS |
| RG-02 | GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY RED) |
| RG-03 | GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED, ZANGIERINE) |
| RG-04 | GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (SAPPHIRE: AQUAMARINE, 2) |
| RG-05 | GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (BLUE: SAPPHIRE, RUBY RED, SAPPHIRE, CORAL ROSE) |
| TMP-01 | PAINTED FACSCIA - TO MATCH BM DC 137 "SMOY WHITE" |
| TMP-02 | PAINTED FACSCIA - TO MATCH BM 213-30 "DAY'S END" |
| TMP-03 | PREFINISHED ALUMINUM RAIL - GENTLE S123 TO MATCH BM 213-30 "DAY'S END" |
| TMP-04 | PREFINISHED ALUMINUM RAIL 3-DIA. - GENTLE S123 S23 |

- ## MATERIAL LEGEND
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|--------|---|
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| RG-02 | GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY RED) |
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| TMP-01 | PAINTED FACSCIA - TO MATCH BM DC 137 "SMOY WHITE" |
| TMP-02 | PAINTED FACSCIA - TO MATCH BM 213-30 "DAY'S END" |
| TMP-03 | PREFINISHED ALUMINUM RAIL - GENTLE S123 TO MATCH BM 213-30 "DAY'S END" |
| TMP-04 | PREFINISHED ALUMINUM RAIL 3-DIA. - GENTLE S123 S23 |



ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:250

Drawn: KD

Reviewed: DS

Project No. 06-653

COVER SHEET & DRAWING LIST

L0.0

Albert Street Residential Development

Landscape Set: ISSUED FOR RZ/DP
September 6, 2019

LANDSCAPE DRAWING LIST

- L0.0 COVER SHEET
- L0.1 TREE MANAGEMENT PLAN
- L1.0 LAYOUT & MATERIALS - LEVEL 1
- L1.1 LAYOUT & MATERIALS - ROOF
- L1.2 ENLARGEMENT - COURTYARD LAYOUT
- L1.3 ENLARGEMENT - ROOF LAYOUT
- L2.0 GRADING PLAN - LEVEL 1
- L3.0 PLANT MATERIALS
- L5.0 DETAILS - SOFTSCAPE
- L5.1 DETAILS - HARDSCAPE
- L5.2 DETAILS - FENCES & WALLS
- L5.3 DETAILS - PLAY AREA
- L5.4 DETAILS - FURNISHINGS
- L5.5 DETAILS - PLANTERS

PROJECT TEAM

OWNER/DEVELOPER
MARCON ALBERT (GP) LTD.
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200-100 W 3 Street, North Vancouver, BC V7P 3J6
604.988.7501

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SELECTION AND LAYOUT OF ALL SITE WORKS (INCLUDING, BUT NOT LIMITED TO: HARDSCAPES, SITE FURNITURE, GROWING MEDIA, TREES, AND PLANTING) IS TO BE APPROVED BY THE CITY OF VANCOUVER PRIOR TO MATERIAL ACQUISITION AND STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SIDEWALK LOCATION AND BOULEVARD DESIGN TO BE DETERMINED BY THE GENERAL MANAGER OF ENGINEERING SERVICES PRIOR TO BUILDING OCCUPANCY.

THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND BE ISSUED AS "FOR CONSTRUCTION". EIGHT WEEKS NOTICE IS REQUESTED. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT KEVIN CAVELL AT 604-673-7773 FOR DETAILS.



TREE RETENTION / REMOVAL LEGEND

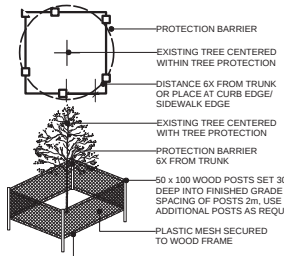
EXISTING TREE TO BE REMOVED
TO BE CONFIRMED PER ARBORIST ON-SITE
WITH CITY OF PORT MOODY ARBORIST PRIOR
TO REMOVAL



EXISTING TREE TO BE RETAINED

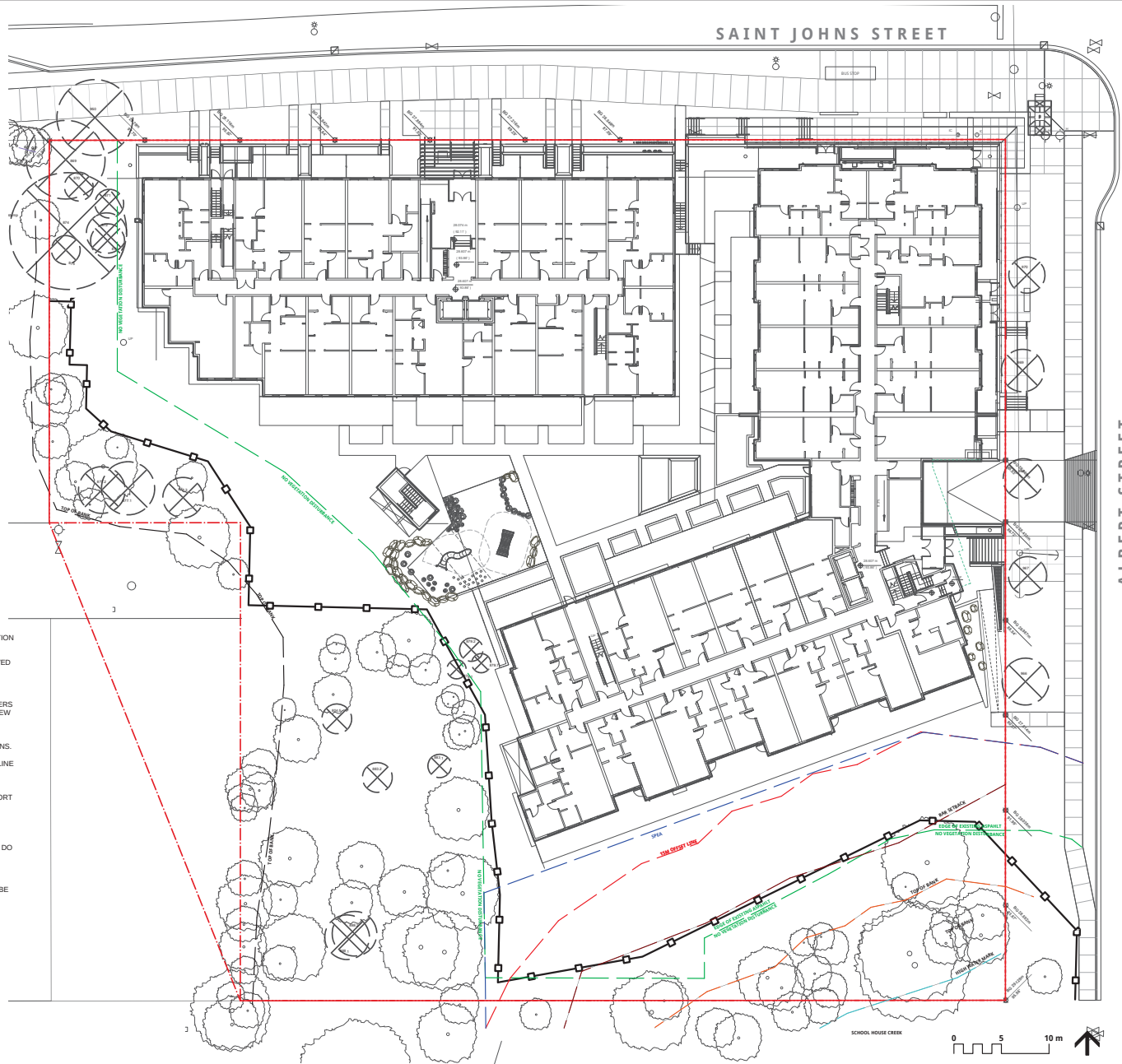


TREE PROTECTION FENCING
TREE PROTECTION FENCING TO BE INSTALLED
PER CITY OF PORT MOODY STANDARDS AND
INSPECTED BY ARBORIST PRIOR TO
CONSTRUCTION ACTIVITY



TREE PROTECTION NOTES

1. REFER TO CERTIFIED ARBORIST REPORT TO VERIFY INFORMATION REGARDING EXISTING TREES TO BE RETAINED/REMOVED AND TREE RETENTION VIABILITY.
2. INSTALL TREE PROTECTION BARRIER AROUND ALL TREES TO BE PRESERVED TO CITY OF PORT MOODY STANDARDS AND SPECIFICATIONS, SUBJECT TO REVIEW BY PROJECT ARBORIST.
3. INFORM ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS AND SUBMIT INSPECTION REPORT TO CITY OF VANCOUVER STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION / MOBILIZATION CONSTRUCTION ACTIVITY.
4. DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
5. DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES ONLY WHERE INDICATED ON PLANS.
6. ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF PORT MOODY TREE PROTECTION BY-LAWS.
7. FOR CARE AND PROTECTION OF EXPOSED ROOTS AND ROOT CURTAIN SYSTEM CONSULT PROJECT ARBORIST.
8. TUNNEL UNDER AND AROUND ALL SIGNIFICANT ROOTS BY HAND DIGGING. DO NOT CUT MAIN LATERAL ROOTS.
9. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF VANCOUVER.
10. CONTRACTOR TO CONTACT PROJECT ARBORIST, CITY ARBORIST AND/OR LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
11. THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND BE ISSUED AS "FOR CONSTRUCTION".
12. ALL SIDEWALKS BETWEEN THE CURB AND PROPERTY LINE ARE TO BE RECONSTRUCTED FULLY AT THE APPLICANT'S EXPENSE.



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OPERATIONS.

1 ISSUED FOR RZIDP 19-09-06

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200

Drawn: KD

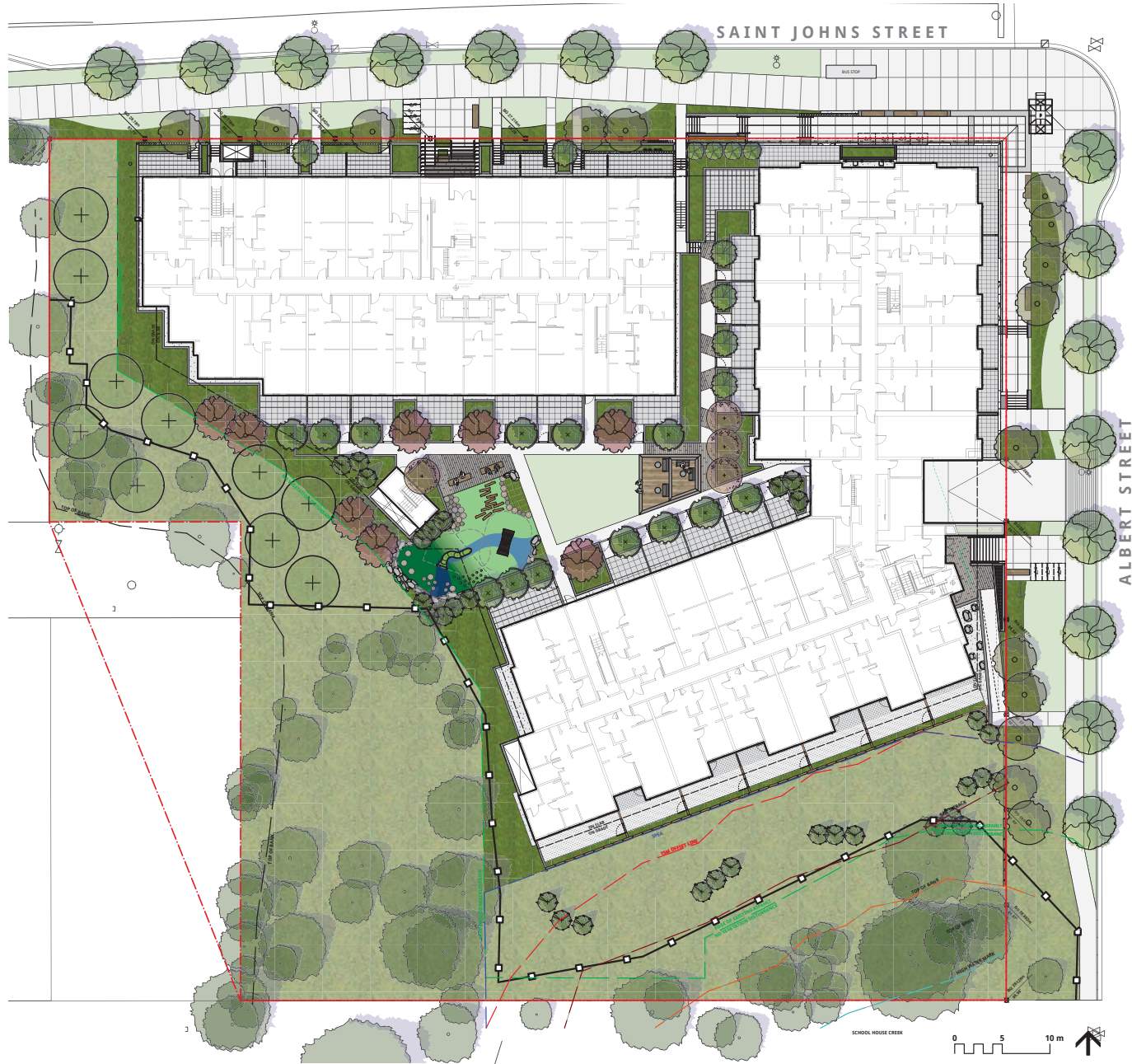
Reviewed: DS

Project No. 06-653

TREE MANAGEMENT

LAYOUT & MATERIAL LEGEND

CIP CONCRETE WALKWAY PER PLANS & DETAILS	
FEATURE UNIT PAVING PER PLANS & DETAILS	
PERMABLE UNIT PAVING PER PLANS & DETAILS	
PRIVATE PATIO SLAB PAVING PER PLANS & DETAILS	
WOOD DECK PER PLANS & DETAILS	
GRAVEL EDGING 450MM TYP. PER PLANS & DETAILS	
CIP CONCRETE RETAINING WALL PER ARCHITECTURE	
TREE PROTECTION FENCING PER CITY STANDARDS	
METAL GUARD PER ARCHITECTURE	
WOOD GUARD PER PLANS & DETAILS	
6' WOOD PRIVACY SCREEN PER PLANS & DETAILS	
EXISTING PLANTING TO REMAIN UNDISTURBED	
PROPOSED PLANTING PER PLANS & DETAILS	
PROPOSED LAWN PER PLANS & DETAILS	
CUSTOM WOOD BENCH PER PLANS & DETAILS	
BIKE RACK PER PLANS & DETAILS	
OUTDOOR FURNITURE LOCATION PER PLAN PER MARCON/INTERIORS	
EXISTING TREE TO REMAIN PER ARBORIST REPORT	
PROPOSED TREE PER PLANS & DETAILS	
PLAY AREA SURFACING PER PLANS & DETAILS	
NATURE PLAY ELEMENTS PER PLANS & DETAILS	
BOULDER RETAINING PER PLANS & DETAILS	



ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

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Reviewed: DS

Project No. 06-653

LAYOUT & MATERIALS LEVEL 1

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
LOCATION, AND ELEVATION OF UTILITIES AND /
OR CONCEALED STRUCTURES AT THE PROJECT
SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

1	ISSUED FOR RZ/DP	19-09-06
REVISIONS		

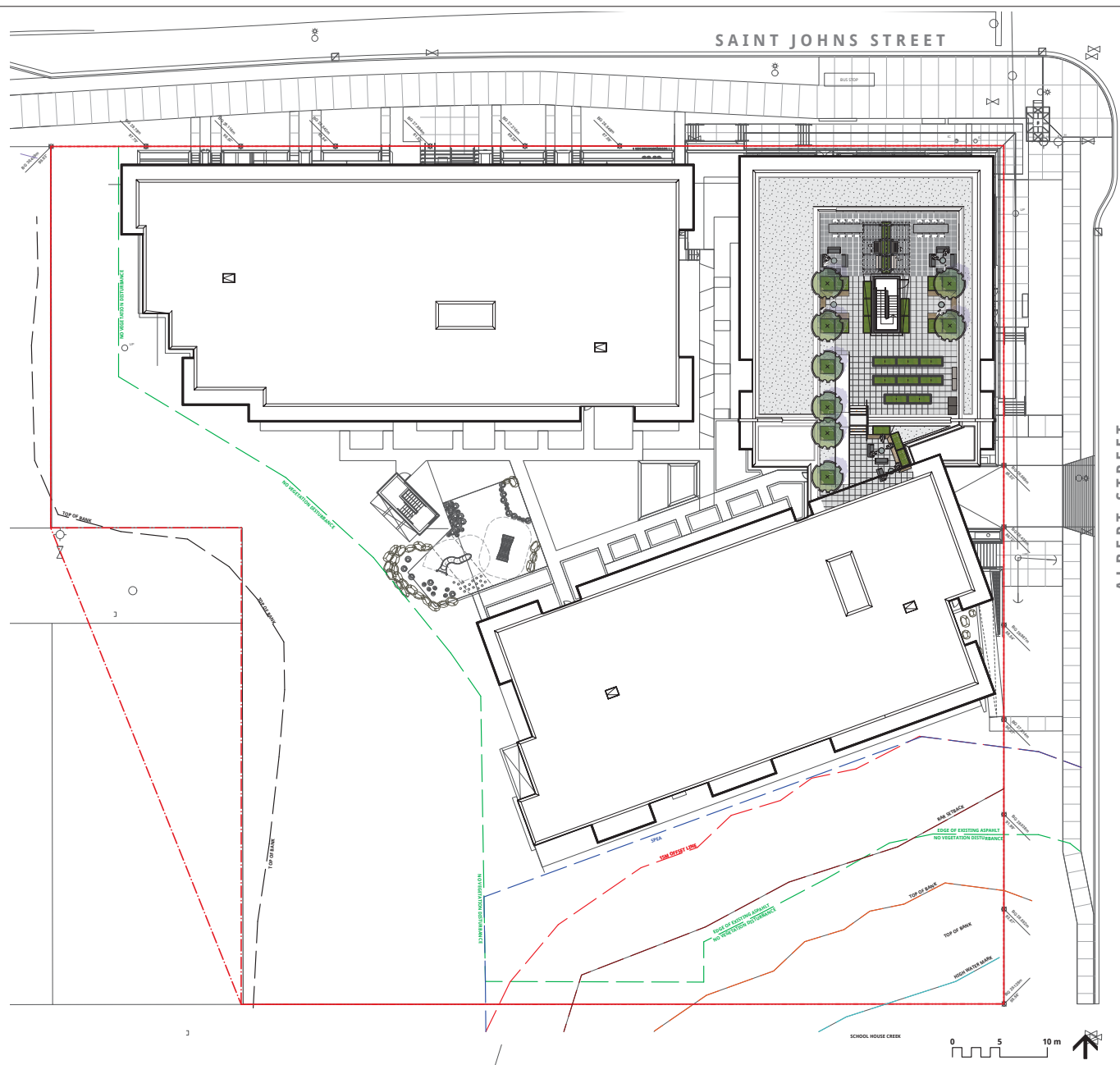
2025 Saint Johns Street
Port Moody, BC

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-653

LAYOUT & MATERIALS

ROOF

L1.1



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REVISIONS

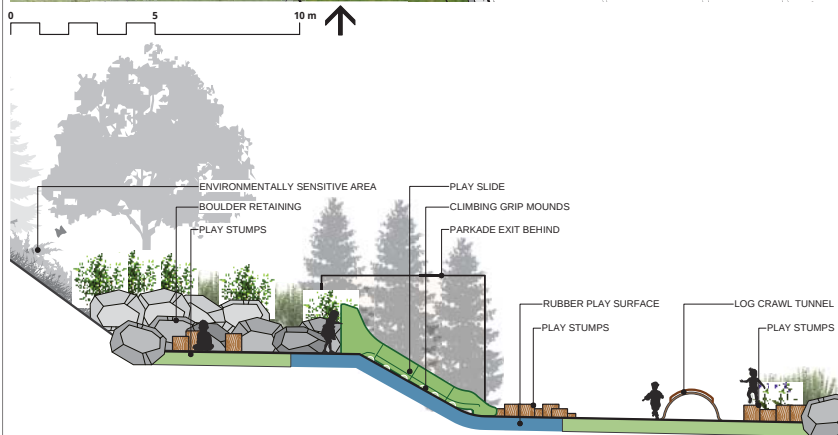
ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:75
Drawn: KD
Reviewed: DS
Project No. 06-653

ENLARGEMENT
COURTYARD LAYOUT

L1.2



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REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:75

Drawn: KD

Reviewed: DS

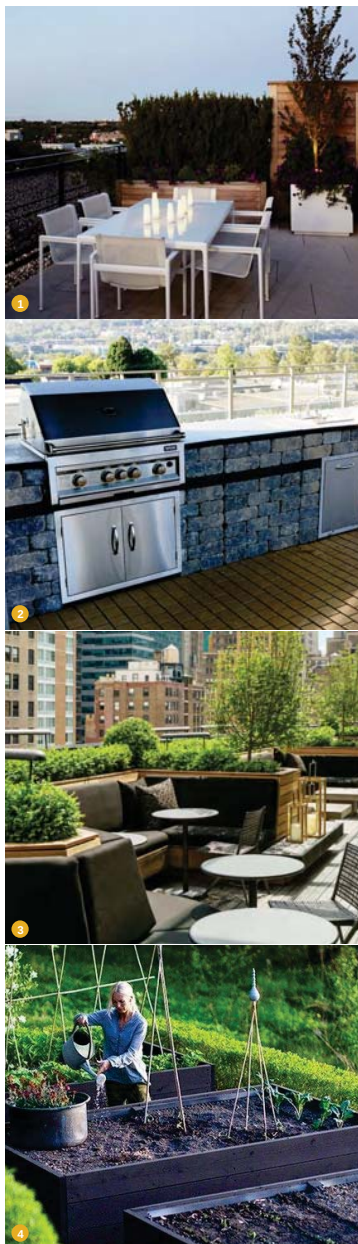
Project No. 06-653

ENLARGEMENT
ROOF LAYOUT

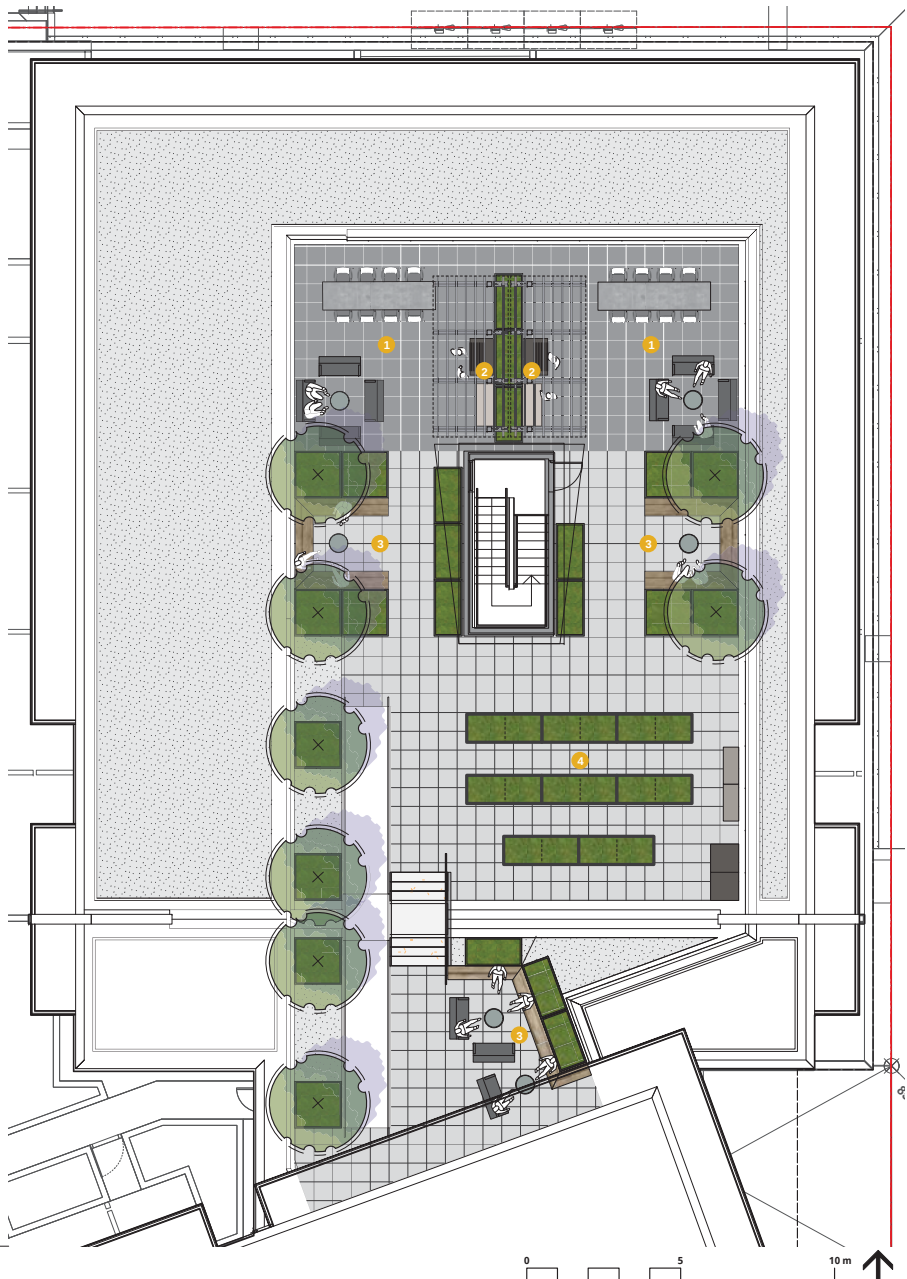
L1.3

LAYOUT & MATERIAL LEGEND

- CIP CONCRETE
PER PLANS & DETAILS
- PATIO SLAB PAVING
PER PLANS & DETAILS
- GRAVEL SURFACE
PER PLANS & DETAILS
- PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
- BBQ & COUNTER
PER PLANS & DETAILS
- CUSTOM METAL TRELLIS
PER PLANS & DETAILS
- OUTDOOR FURNITURE
LOCATION PER PLAN
PER MARCON/INTERIORS
- CUSTOM WOOD BENCH
PER PLANS & DETAILS
- TIMBER GARDEN PLANTER
PER PLANS & DETAILS
- COMPOST & WORK TABLE
LOCATION PER PLAN
PER MARCON/INTERIORS



- 1. DINING AREA
- 2. OUTDOOR KITCHEN
- 3. LOUNGE AREA
- 4. ROOFTOP GARDEN



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LANDSCAPE LEVEL 1
GRADING PLAN

L2.0

GRADING LEGEND

EXISTING GRADE

EXISTING GRADE
+TS/BS 100.00

PROPOSED GRADE BY ARCH

PROPOSED GRADE BY ARCH
+TS/BS 100.00

PROPOSED GRADE

PROPOSED GRADE
+TS/BS 100.00

TOP/BOTTOM OF STAIR

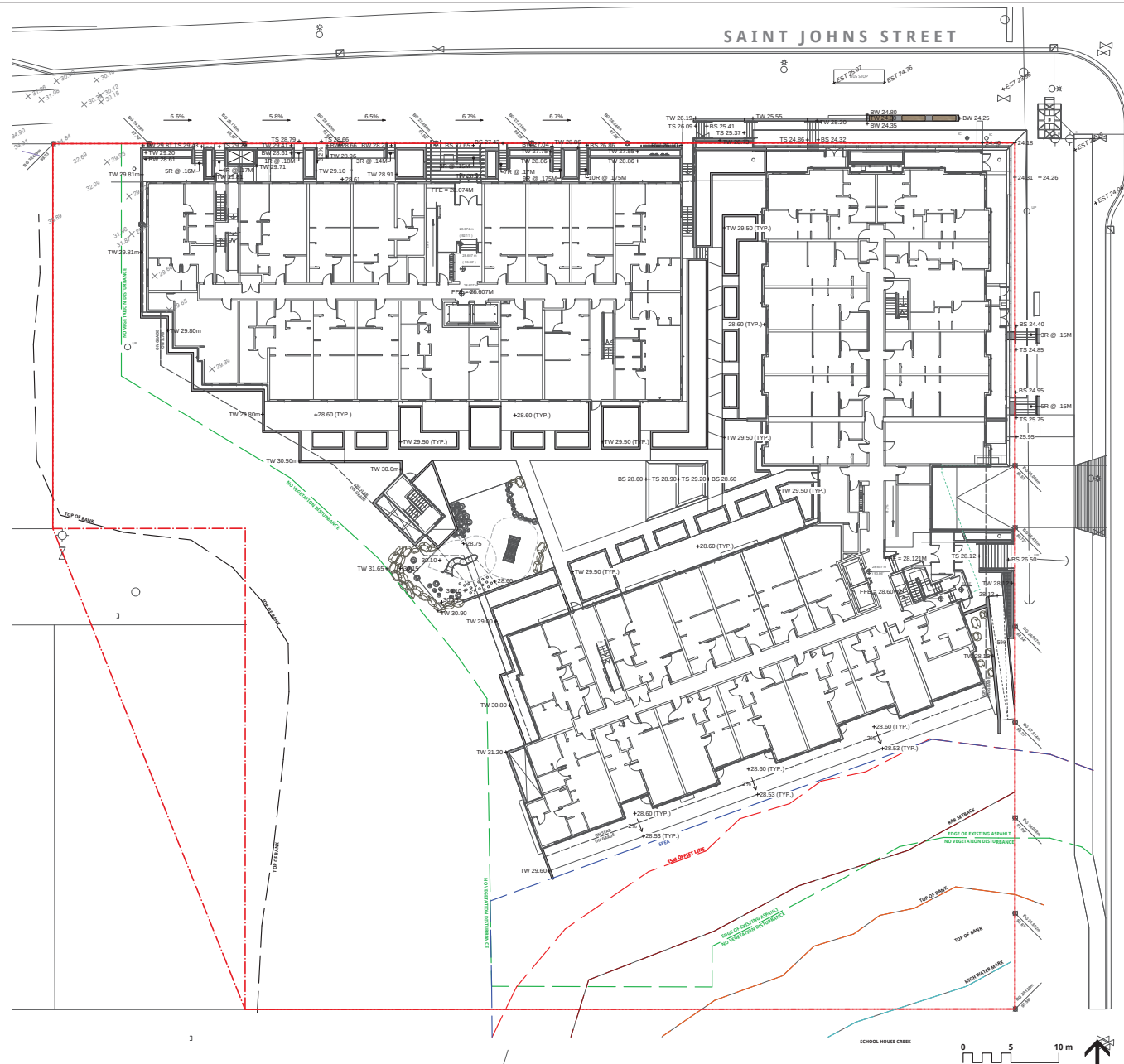
TOP/BOTTOM OF STAIR
+TS/BS 100.00

TOP/BOTTOM OF WALL

TOP/BOTTOM OF WALL
+TS/BS 100.00

SLOPE

SLOPE
2%





NATIVE & EVERGREEN LAYERS



Acer circinatum
Vine Maple



Iris tenax
Oregon Iris



Rosa gymnocarpa
Baldhip Rose



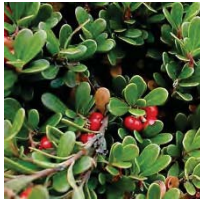
Taxus x media 'Hicksii'
Hick's Yew



ENVIRONMENTALLY SENSITIVE SPECIES



Amelanchier alnifolia
Saskatoon Berry



Arctostaphylos uva-ursi
Kinnikinnick



Malus fusca
Pacific Crabapple



Polystichum munitum
Western Sword Fern

PLANT LIST

QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

TREES

13	*Acer circinatum	Vine Maple	6cm cal., B&B	as shown
8	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7cm cal., B&B	as shown
15	Fraxinus pennsylvanica 'Prairie Spire'	Prairie Spire Ash	6cm cal., B&B	as shown
4	Liquidambar styraciflua 'Slender Silhouette'	Fastigiate Sweetgum	6cm cal., B&B	as shown
4	*Malus fusca	Pacific Crabapple	6cm cal., B&B	as shown
31	*Picea omorika	Serbian Spruce	3M height, B&B	as shown
6	Stewartia pseudocamellia	Japanese Stewartia	6cm cal., B&B	as shown
	Street Tree Per City of Port Moody		6cm cal., B&B	as shown

SHRUBS

2	*Amelanchier alnifolia	Saskatoon Berry	#2 pot	42" o.c.
5	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#5 pot	18" o.c.
5	*Cornus stolonifera	Red Osier Dogwood	#5 pot	36" o.c.
2	Cotoneaster dammeri	Little-Leaf Cotoneaster	#2 pot	24" o.c.
2	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot	18" o.c.
2	*Physocarpus capitatus	Pacific Ninebark	#2 pot	36" o.c.
2	*Polystichum munitum	Western Sword Fern	#2 pot	24" o.c.
5	*Rhododendron macrophyllum	Pacific Rhododendron	#5 pot	36" o.c.
2	*Rosa gymnocarpa	Baldhip Rose	#2 pot	36" o.c.
2	Sarcococca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c.
3	Skimmia japonica	Japanese Skimmia	#3 pot	24" o.c.
2	Stipa tenuissima	Mexican Feather Grass	#2 pot	24" o.c.
2	*Symphonocarpos albus	Snowberry	#2 pot	24" o.c.
3	Taxus x media 'Hicksii'	Hick's Yew - 1.5M height	#3 pot	20" o.c.

GROUND COVERS AND VINES

50/50mix	*Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	15" o.c.
50/50mix	Ceanothus griseus horizontalis	Creeping California Lilac	4"(10cm) pot	15" o.c.
50/50mix	Rubus calycinoides	Emerald Carpet	4"(10cm) pot	15" o.c.
50/50mix	Oxalis oreganum	Redwood Spurge	4"(10cm) pot	15" o.c.
50/50mix	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	15" o.c.

GRASSES, PERENNIALS, BULBS, AND ANNUALS

1	*Achillia millefolium	Yarrow	#1 pot	18" o.c.
1	*Dicentra formosa	Bleeding Heart	#1 pot	18" o.c.
1	*Iris tenax	Oregon Iris	#1 pot	18" o.c.

ENVIRONMENTAL SENSITIVE AREA

1	*Acer macrophyllum	Broadleaf Maple	6cm cal., B&B	as shown
1	*Pinus contorta var. contorta	Shore Pine	6cm cal., B&B	as shown

1	*Achillia millefolium	Yarrow	#1 pot	18" o.c.
2	*Amelanchier alnifolia	Saskatoon Berry	#2 pot	42" o.c.
2	*Blechnum spicant	Deer Fern	#2 pot	24" o.c.
5	*Cornus stolonifera	Red Osier Dogwood	#5 pot	36" o.c.
2	*Gautheria shallon	Salal	#2 pot	24" o.c.
2	*Lonicera involucrata	Black Twinberry	#2 pot	24" o.c.
2	*Polystichum munitum	Western Sword Fern	#2 pot	24" o.c.
2	*Physocarpus capitatus	Pacific Ninebark	#2 pot	36" o.c.
2	*Ribes sanguineum	Red-Flowering Currant	#2 pot	36" o.c.
2	*Rosa gymnocarpa	Baldhip Rose	#2 pot	36" o.c.
2	*Symphonocarpos albus	Snowberry	#2 pot	24" o.c.

* Indicates native species

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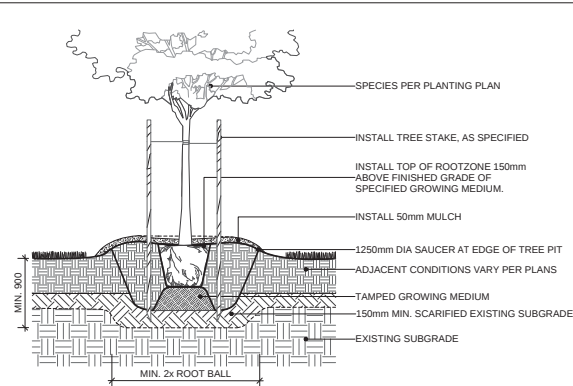
THE CONTRACTOR IS RESPONSIBLE FOR
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ALBERT STREET

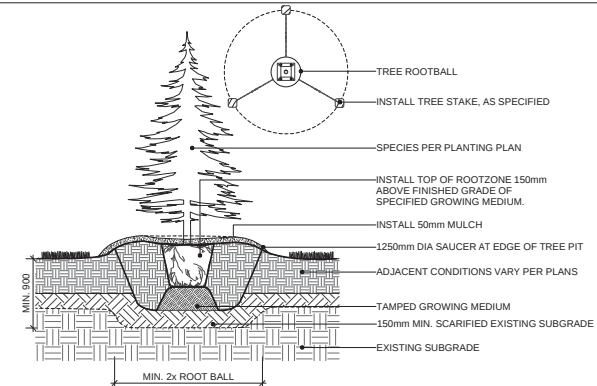
2025 Saint Johns Street
Port Moody, BC

Scale:	N/A
Drawn:	KD
Reviewed:	DS
Project No.	06-653

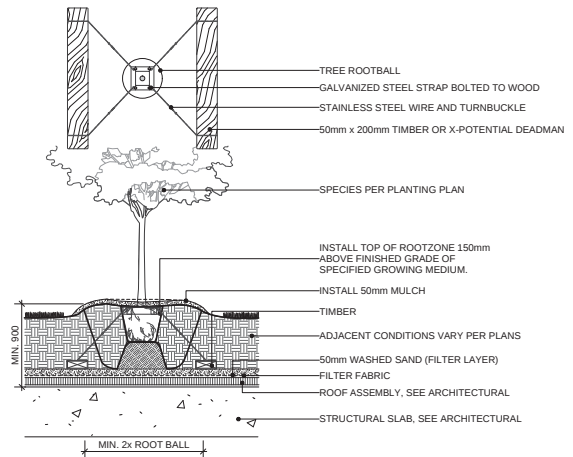
LANDSCAPE MATERIALS



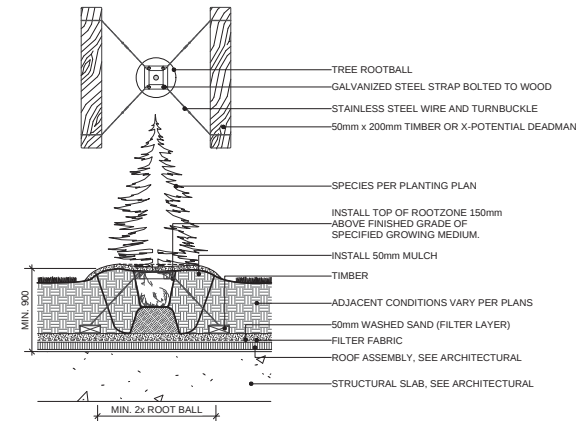
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



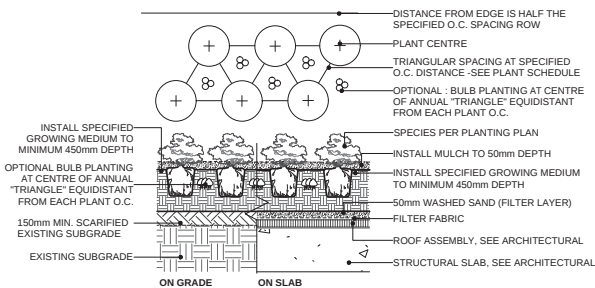
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



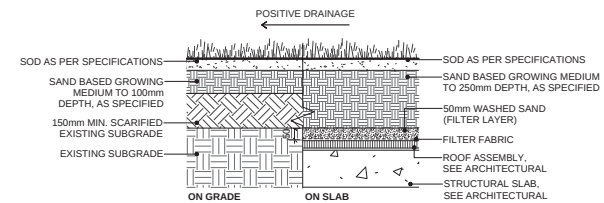
3 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



4 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



5 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)
Scale: 1:25



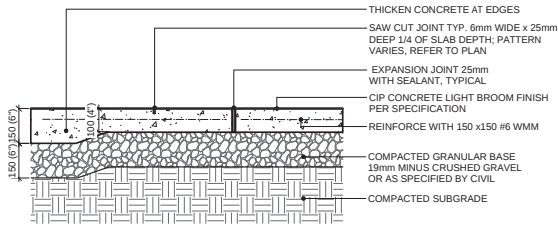
6 SOD LAWN (TYPICAL)
Scale: 1:10

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

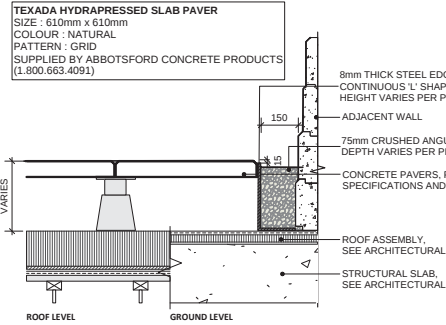
Scale:	AS SHOWN
Drawn:	KD
Reviewed:	DS
Project No.	06-653

LANDSCAPE DETAILS SOFTSCAPE



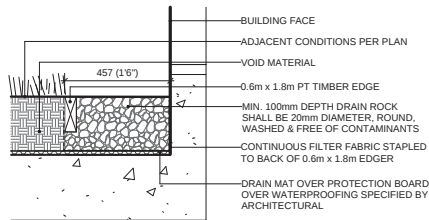
NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE
Scale: 1:10

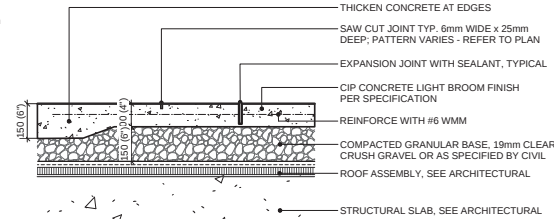


NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

4 HYDRAPRESSED CONCRETE PAVERS ON SLAB (TYPICAL)
Scale: 1:10

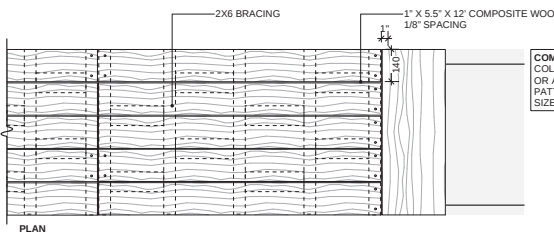
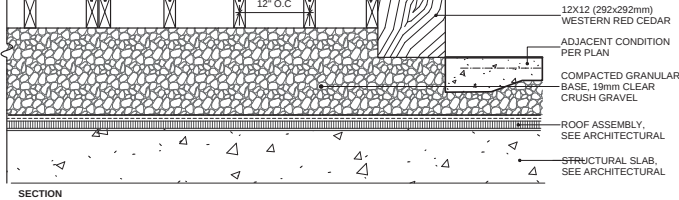
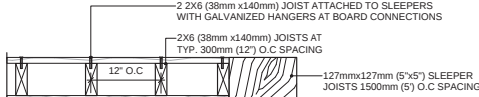
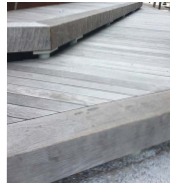


5 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON SLAB (TYPICAL)
Scale: 1:10



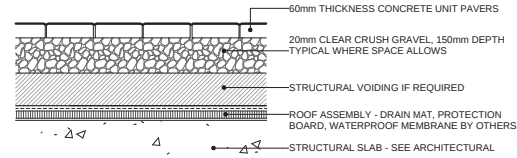
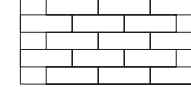
6 RAISED WOOD DECK
Scale: 1:10

UNIT PAVING CLASSIC STANDARD SERIES
SIZE: 3:1 225mm x 75mm x 60mm
BY: ABBOTSFORD CONCRETE PRODUCTS (1.800.663.4091)

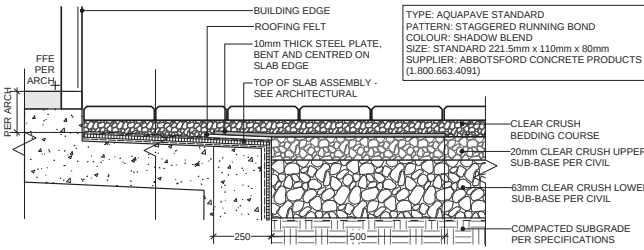


COLOUR:
NATURAL

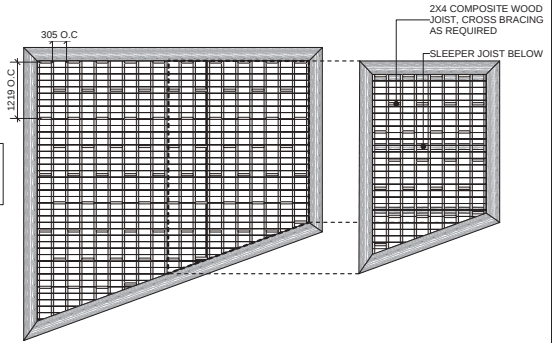
PATTERN: RUNNING BOND



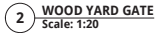
3 PEDESTRIAN UNIT PAVING ON SLAB
Scale: 1:10



7 PEDESTRIAN PAVES ON GRADE/ON SLAB TRANSITION
Scale: 1:10



6A FRAMING PLAN
Scale: 1:50



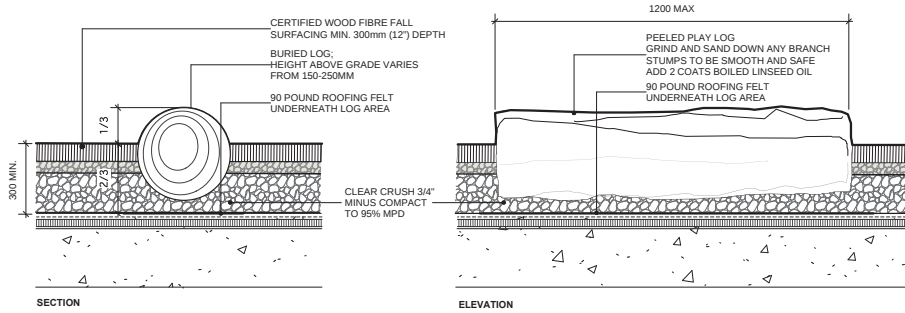
TIMBER NOTES:

1. ALL WOOD POSTS AND BOARDS TO BE CEDAR, CLEAN NO KNOTS.
2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
4. ALL CUTS TO BE SQUARE AND CLEAN.
5. ALL EXPOSED WOOD TO BE PAINTED ~~AS~~ (SOLID), COLOUR TO MATCH BUILDING METAL FLUEGEE. PROVIDE SAMPLE FOR LANDSCAPE APPROVAL BEFORE APPLICATION.
6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.



WOOD ELEMENTS NOTES:

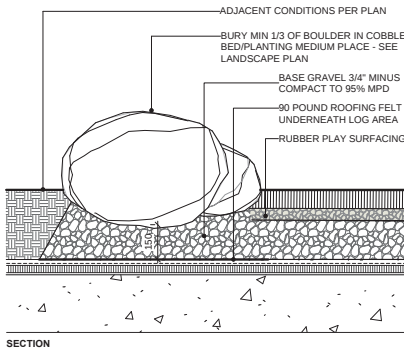
1. REMOVE BARK, SAND ALL CORNERS, EDGES, AND TIMBER SMOOTH, NO ROUGH SURFACES, SMOOTH AND FREE OF SPLINTERS.
2. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF LOG; NO DEPRESSIONS PERMITTED
3. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



SECTION

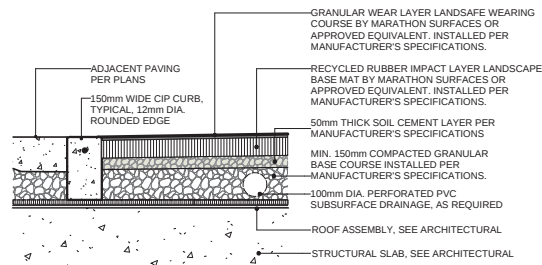
ELEVATION

1 PLAY LOGS
Scale: 1:10



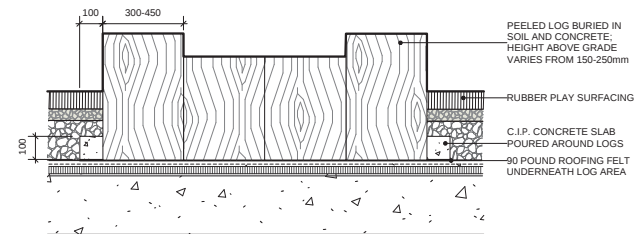
SECTION

3 PLAY AREA BOULDER EDGE
Scale: 1:10



- NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
 2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

4 RUBBER PLAY SURFACING
Scale: 1:10



2 PLAY STUMPS
Scale: 1:10



SLIDEWINDER
COLOUR: TBD
BY: LANDSCAPE STRUCTURES
1.888.438.6574



LOG CRAWL TUNNEL
COLOUR: TBD
BY: LANDSCAPE STRUCTURES
1.888.438.6574

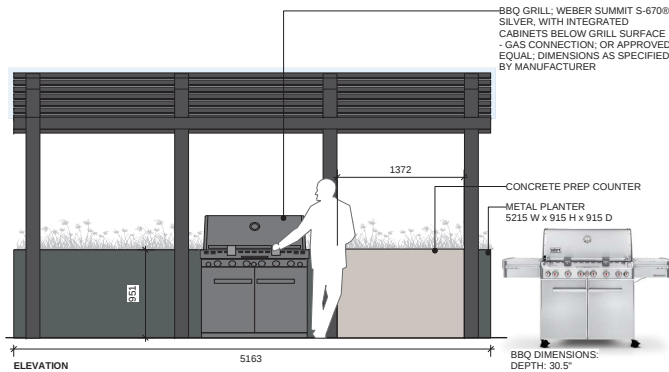
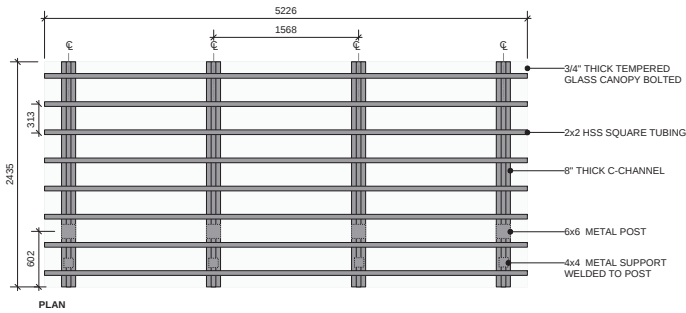
5 PLAY STRUCTURES

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

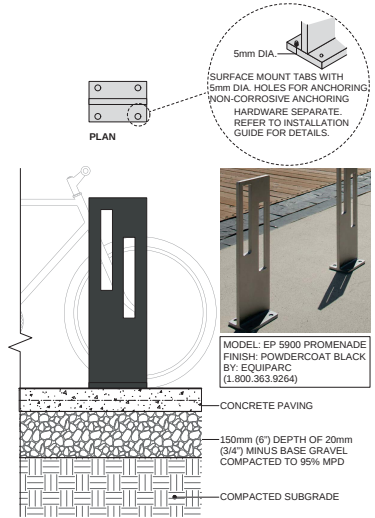
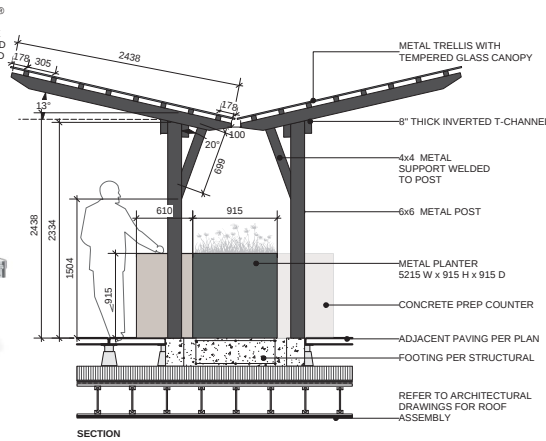
Scale:	AS SHOWN
Drawn:	KD
Reviewed:	DS
Project No.	06-653

**LANDSCAPE DETAILS
PLAY AREA**

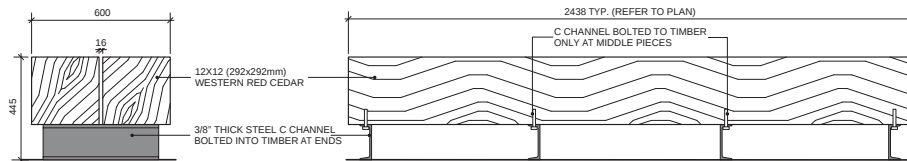


- NOTES:**
1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS OF THE METAL TRELLIS FOR REVIEW AND APPROVAL.
 2. ALL FASTENERS ARE TO BE HOT-DIPPED GALVANIZED.
 3. ALL WELDS TO BE GRIND SMOOTH.
 4. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 5. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURES INSTRUCTION.
 6. REFER TO SPECIFICATION FOR FINISH AND COLOUR OF TRELLIS STRUCTURE.

1 COVERED BBQ AND COUNTER
Scale: 1:25

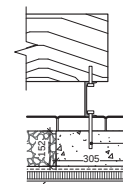


2 BIKE RACK
Scale: 1:10

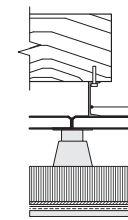


2 CUSTOM TIMBER BENCH
Scale: 1:10

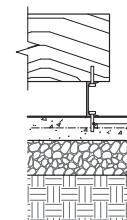
- TIMBER NOTES:**
1. LUMBER TO BE PRESSURE-TREATED CEDAR, CLEAN NO KNOTS.
 2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
 3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 4. ALL CUTS TO BE SQUARE AND CLEAN.
 5. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF BENCH; NO DEPRESSIONS PERMITTED
 6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
 7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.
 8. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



AT GROUND AMENITY



AT ROOF AMENITY



AT ENTRY PLAZA

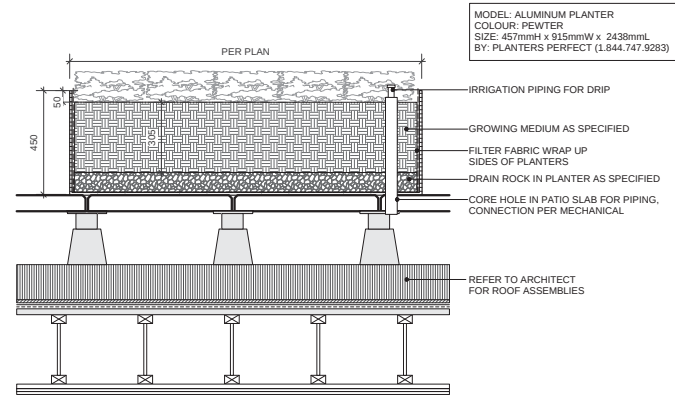
2A C CHANNEL ATTACHMENT
Scale: 1:10

ALBERT STREET

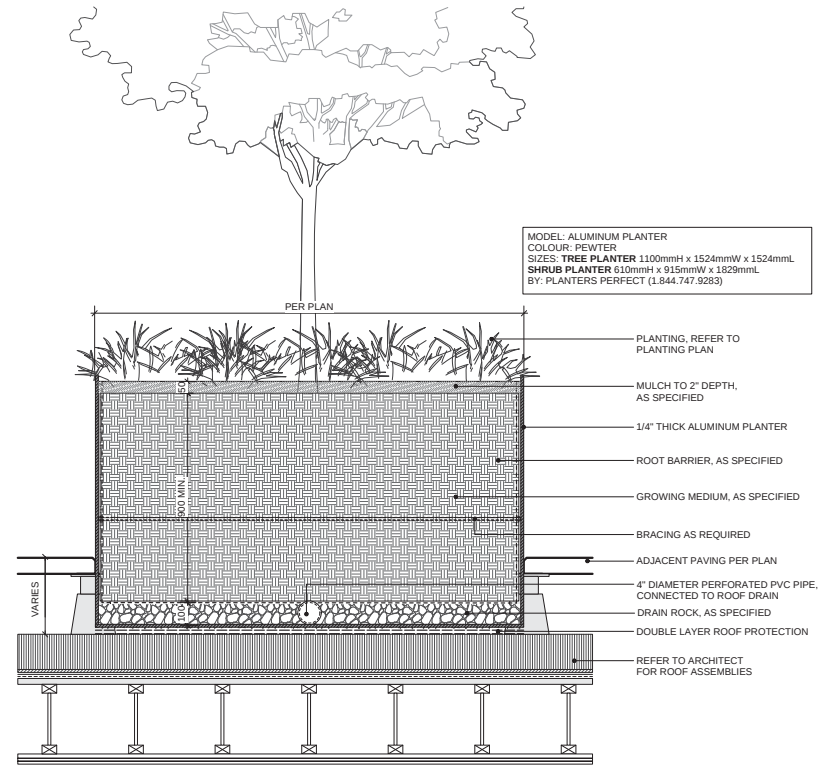
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
Drawn:	KD
Reviewed:	DS
Project No.	06-653

**LANDSCAPE DETAILS
FURNISHINGS**



1 METAL GARDEN PLANTER
Scale: 1:10



2 METAL TREE & SHRUB PLANTER
Scale: 1:10

1	ISSUED FOR RZ/DP	19-09-06
REVISIONS		

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
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LANDSCAPE DETAILS ROOF PLANTERS

