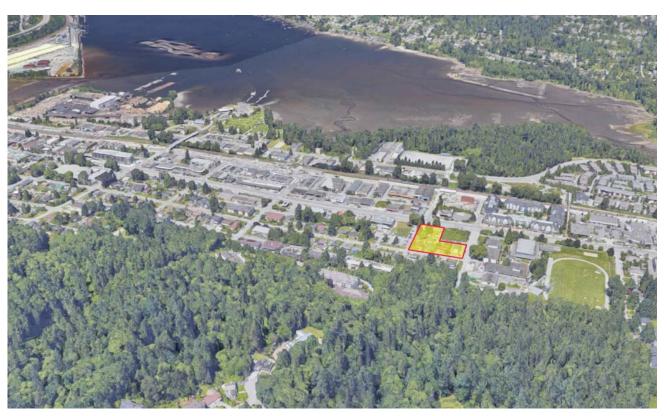
ST. JOHNS RESIDENTIAL DEVELOPMENT

ISSUED FOR RZ/OCP AMENDMENT

PORT MOODY

OCTOBER 15, 2019



SHEET LIST

ARCHITECTURAL

- COVER
- 2. PROJECT STATISTICS
- SITE PLAN
- 4. ORTHOPHOTO
- SITE CONTEXT PHOTOS
- 6. SITE PLAN
- 7. PRELIMINARY CODE ANALYSIS
- 8. UNIT BREAKDOWN
- 9. PARKING LEVEL 1 & 2 PLAN
- 10. BUILDING A LEVEL 1 FLOOR PLAN
- 11. BUILDING A LEVEL 2-6 FLOOR PLAN
- 12. BUILDING B LEVEL 1 FLOOR PLAN
- 13. BUILDING B LEVEL 2 FLOOR PLAN
- 14. BUILDING B LEVEL 3 FLOOR PLAN
- 15. BUILDING B LEVEL 4-5 FLOOR PLAN
- 16. BUILDING B LEVEL 6 FLOOR PLAN
- 17. BUILDING A NORTH & SOUTH ELEVATIONS
- 18. BUILDING A COURTYARD ELEVATIONS
- 19. BUILDING B NORTH & SOUTH ELEVATIONS
- 20. WEST ELEVATIONS
- 21. EAST ELEVATIONS
- 22. MATERIAL BOARD
- 23. BUILDING SECTION
- 24. PERSPECTIVE RENDERING
- 25. PERSPECTIVE RENDERING
- 26. PERSPECTIVE RENDERING
- 27. PERSPECTIVE RENDERING
- 28. PERSPECTIVE RENDERING
- 29. PERSPECTIVE RENDERING



BUILDING A 6 STOREY MIXED USE (CRM2)

BUILDING B

6 STOREY APARTMENT (RM8)

SUMMARY

6 FLOORS

Ó	IIE	
	POST DEDICATION (LANE INCLUDED)	22,752 S.F.
	PROPOSED F.A.R. (LESS DAYCARE)	2.80
	DENSITY DOES NOT INCLUDE OUTDOOR WALKWAYS	

AREA	GROSS	NET	UNITS
LEVEL -1	12,283 S.F.	9,331 S.F.	
LEVEL -2 to 6 (5flrs @ 12,298)	61,490 S.F.	51,985 S.F.	90 UNITS
BLDG GROSS	73,773 S.F.	61,316 S.F.	90 UNITS
LESS DAYCARE GROSS	9,934 S.F.		

F.A.R. GROSS 63,839 S.F.

PARKING REQUIRED

MARKET STRATA		UNITS	REQ.		
1 BI	ED/STUDIO	1.0 / UNIT	32	32	
2/3	B BED	1.35 / UNIT	5	7	
VIS	ITOR	.2 / UNIT	37	7	
MAR	KET REN	TAL			
DW	ELLINGS	1.0 / UNIT	32	32	
VIS	ITOR	.2 / UNIT	32	6	
BELO	OW MAR	KET			
DW	ELLINGS	0.8 / UNIT	21	17	
VIS	ITOR	.1 / UNIT	21	2	
RES	TOTAL		90 UNITS	126 \$	STALLS
CHIL	D CARE	3.0 / 1,001	9,331 S.F.	28	
REQ	. PARKIN	G TOTAL		154 \$	STALLS

SUMMARY 6 FLOORS SITE

oli E	
PRE DEDICATION	36,133 S.F.
PROPOSED F.A.R. (LESS AMENITY)	2.80

AREA	GROSS	NET	UNITS
LEVEL -1	19,274 S.F.	11,371 S.F.	21 UNITS
LEVEL -2	18,264 S.F.	16,465 S.F.	11 UNITS
LEVEL -3	18,550 S.F.	16,673 S.F.	27 UNITS
LEVEL -4 & 5 (2flrs @ 17,160)	34,320 S.F.	30,600 S.F.	42 UNITS
LEVEL -6	15,417 S.F.	13,581 S.F.	19 UNITS
BLDG GROSS	105,825 S.F.	88,672 S.F.	120 UNITS
LESS AMENITY AREA	3,782 S.F.		
F.A.R. GROSS	101,413 S.F.		

PARKING REQUIRED

MARKET STRATA		UNITS	REQ.
1 BED/STUDIO	1.0 UNIT	72	72
2 / 3 BED	1.35 UNIT	48	65
VISITOR	.2 UNIT	120	24
RES TOTAL		120 UNITS	161 STALLS

COMBINED PROJECT

PARKING

REQUIRED PARKING
CHILD CARE

PARKING PROVIDED

LEVEL -P1

CHILD CARE

RESIDENTIAL

VISITOR

LEVEL -P2

PROVIDED

PROVIDED SHORT TERM

REQUIRED
SHORT TERM

LONG TERM

LONG TERM

TOTAL

LOADING REQUIRED

ACCESSIBLE (INCLUDED IN COUNTS)

ACCESSIBLE (INCLUDED IN COUNTS)

RESIDENTIAL

VISITOR

TOTAL

SUMMARY

AREA	
SITE AREA	58,885 S.F.
BUILDING A+B (LESS DAYCARE & AMENITY)	165,252 S.F.
TOTAL SITE F.A.R.	2.80
SETBACKS	
A - NORTH (FRONT)	2.31M
A - EAST (SIDE)	0.07M
A - WEST (SIDE)	2.06M
B - SOUTH (FRONT)	5.98M
B - EAST (SIDE)	5.64M
B - WEST (SIDE)	2.10M
	1.51M
B - NORTH (REAR)	1.01101
UNITS	1.51W
	21 UNITS
UNITS	
UNITS * AFFORDABLE RENTAL (10%)	21 UNITS
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%)	21 UNITS 32 UNITS
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%) MARKET STRATA	21 UNITS 32 UNITS 157 UNITS
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%) MARKET STRATA TOTAL UNITS	21 UNITS 32 UNITS 157 UNITS 210 UNITS
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%) MARKET STRATA TOTAL UNITS AMENITY AMENITY REQ. 3m2/UNIT 32.3s.f./UNIT	21 UNITS 32 UNITS 157 UNITS
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%) MARKET STRATA TOTAL UNITS AMENITY AMENITY REQ. 3m2/UNIT 32.3s.f./UNIT AMENITY PROVIDED	21 UNITS 32 UNITS 157 UNITS 210 UNITS
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%) MARKET STRATA TOTAL UNITS AMENITY AMENITY REQ. 3m2 / UNIT 32.3s.F. / UNIT AMENITY PROVIDED INDOOR	21 UNITS 32 UNITS 157 UNITS 210 UNITS 6,781 S.F.
UNITS * AFFORDABLE RENTAL (10%) * MARKET RENTAL (15%) MARKET STRATA TOTAL UNITS AMENITY AMENITY REQ. 3m2/UNIT 32.3s.f./UNIT AMENITY PROVIDED	21 UNITS 32 UNITS 157 UNITS 210 UNITS

* RENTAL UNITS WOULD BE INDIVIDUAL	STRATA UNITS WITH A 25 Y	YEAR COVENANT TO REMAIN RENTAL
------------------------------------	--------------------------	--------------------------------



6 SPACES / BUILDING

6 SPACES / BUILDING

28 STALLS

248 STALLS

39 STALLS

315 STALLS

(8 STALLS)

136 STALLS

28 STALLS

68 STALLS

40 STALLS

(8 STALLS)

164 STALLS

315 STALLS

1 STALLS

2 STALLS

315 SPACES

327 SPACES







BULLER AND ST. ANDREWS LOOKING SOUTHWEST



CORNER OF BULLER AND ST. GEORGE LOOKING WEST

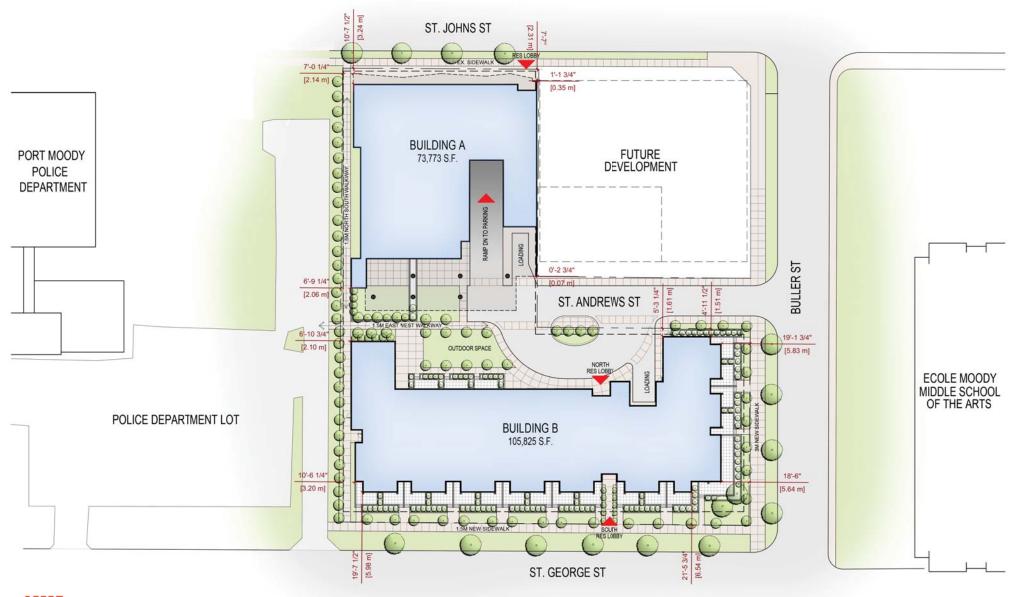


ST. GEORGE FACING SOUTH



CORNER OF ST. JOHN AND BULLER LOOKING WEST





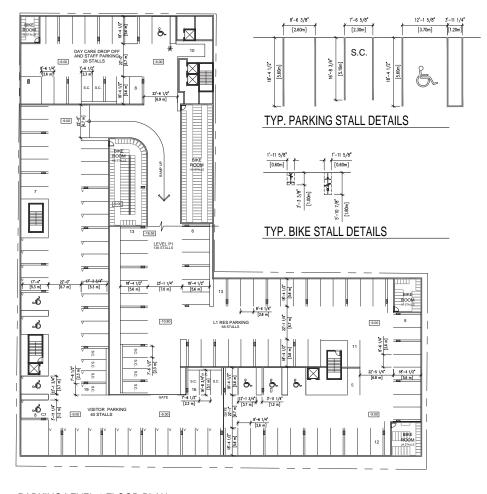


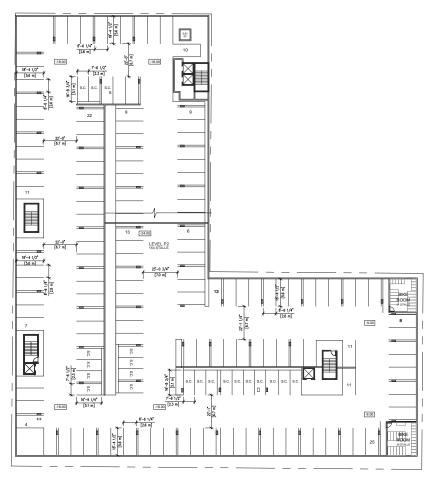
PROPOSED RESIDENTIAL DEVELOPMENT

SITE PLAN

British Columbia Building Code, 2	BCBC Reference	
TYPE OF PROJECT	■ New	
BASIS OF CODE ANALYSIS	Part 3 Part 9	
BUILDING AREA	m² (ft²)	1.4.1.2 (defined terms)
MAJOR OCCUPANCIES	GROUP "A2" = ASSEMBLY GROUP 'C" = RESIDENTIAL	3.1.2.1
MULTIPLE OCCUPANCY FIRE SEPARATIONS	■ Yes □ No	3.1.3.1
FIREWALLS	Yes No	3.1.10.2.(2)
FIRE SEPARATIONS & CLOSURES	# hour (Refer to plans and schedules)	3.1.8.4
FIRE RATINGS OF SUITE CLOSURES	N/A	3.1.8.10
NUMBER OF STOREYS	BUILDING A= 6 BUILDING B= 6	3.2.1.1
NUMBER OF STREETS	BUILDING A= 1 BUILDING B= 3	3.2.2.10 & 3.2.5
BUILDING CLASSIFICATION	Group 'A', Division 2, up to 6 Storeys, any area, sprinklered Group 'C', up to 6 Storeys, Sprinklered	3.2.2.24 3.2.2.50
PERMITTED CONSTRUCTION Group 'A2' Group 'C'	☐ Combustible ☐ Non-combustible ☐ Both ☐ Combustible ☐ Non-combustible ☐ Both	3.2.2.27.2 3.2.2.50.2
FIRE RESISTANCE RATINGS (FRR)	Group 'A2': 1 Hour FRR (floors, mezzanines and loadbearing support) Group 'C': 1 Hour FRR (floors, roof, mezzanine, load bearing support)	3.2.2.24.2 3.2.2.50.2
FIRE ALARM REQUIRED	Yes No	3.2.4.1
ACCESS ROUTE DESIGN	Yes No	3.2.5.6
STANDPIPE REQUIRED	Yes No	3.2.5.8
AUTOMATIC SPRINKLER REQUIRED	Yes No	3.2.5.12
FIRE DEPARTMENT CONNECTION	Yes No	3.2.5.15.(2)
LIGHTING & EMERGENCY POWER SYSTEMS	■ Yes No	3.2.7
SEPARATION OF SUITES	1 hour	3.3.1.1
SEPARATION OF PUBLIC CORRIDORS	∏ Yes ■ No	3.3.1.4
TWO EGRESS DOORWAYS PROVIDED	■ Yes No	3.3.1.5
JANITOR ROOM FIRE SEPARATION	0 hour FRR	3.3.1.21.(3)
STORAGE GARAGE SEPARATIONS	N/A	3.3.5.6
EXITS (NUMBER)	2 min. required (4 proposed)	3.4.2.1.(1)







PARKING LEVEL 1 FLOOR PLAN

PARKING LEVEL 2 FLOOR PLAN







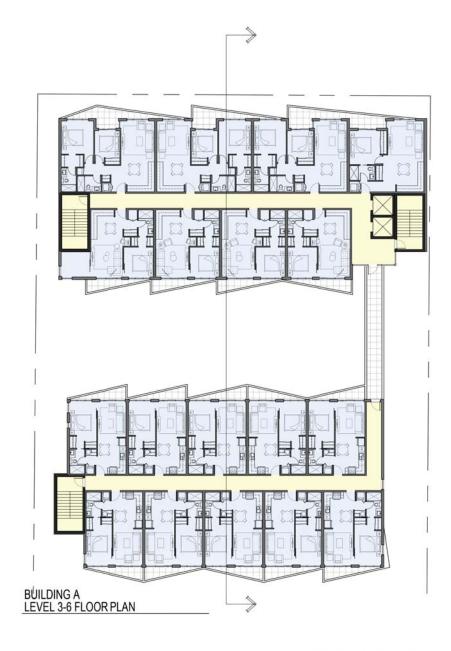
PROPOSED RESIDENTIAL DEVELOPMENT

BUILDING A - LEVEL 1 FLOOR PLAN

ST JOHN'S STREET, PORT MOODY

OCTOBER 15, 2019







PROPOSED RESIDENTIAL DEVELOPMENT

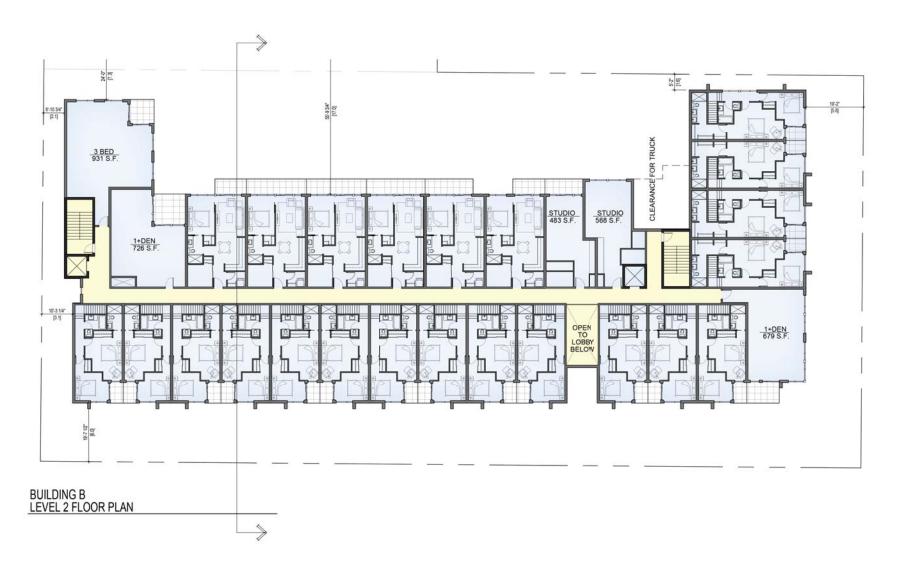
BUILDING A - LEVEL 2-6 FLOOR PLAN

ST JOHN'S STREET, PORT MOODY

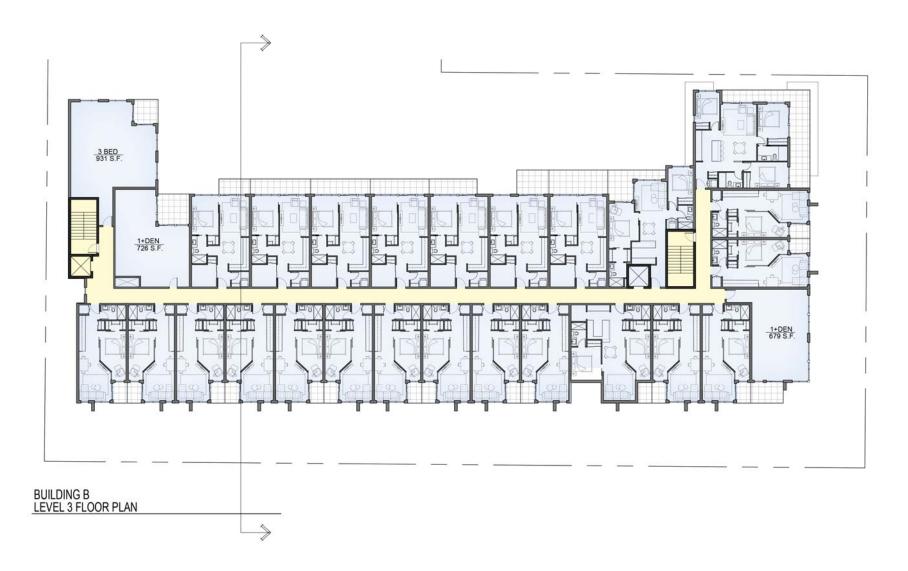
OCTOBER 15, 2019



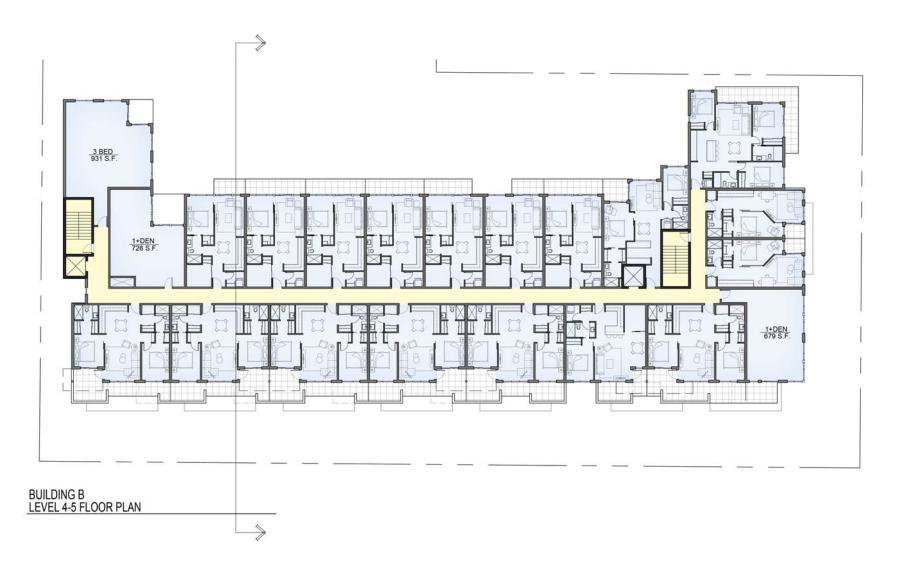




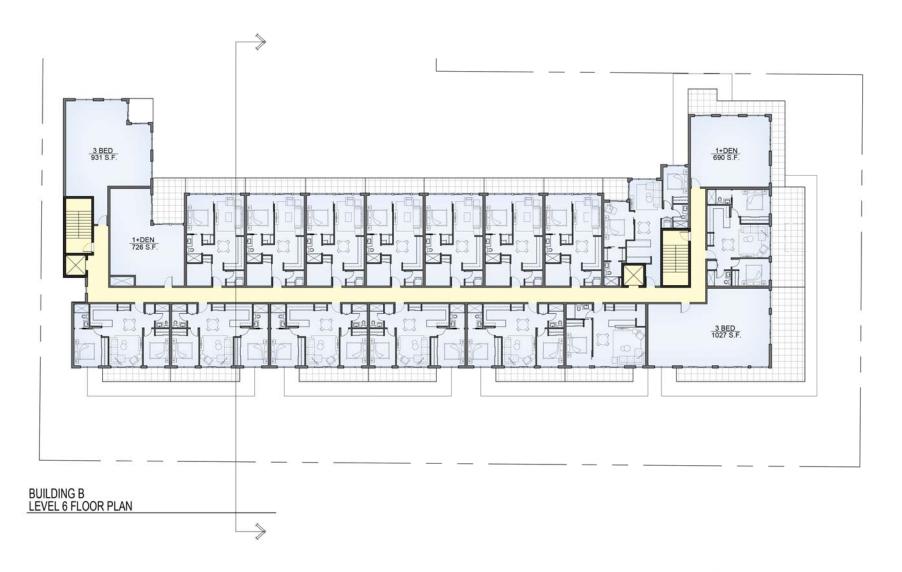










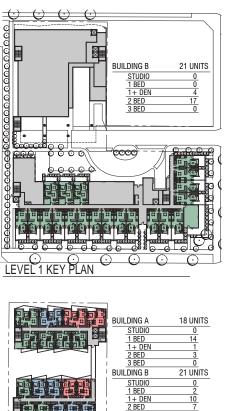


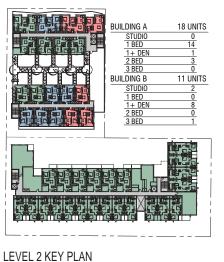


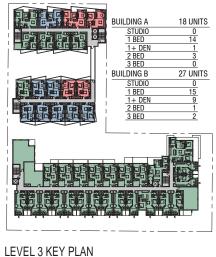
AFFORDABLE HOUSING	21 UNITS
BUILDING A	21 UNITS
STUDIO	0_
1 BED	16
1+ DEN	0
2 BED	5
3 BED	0
BUILDING B	0 UNITS
STUDIO STUDIO	0_
1 BED	0
1+ DEN	0
2 BED	0
3 BED	0

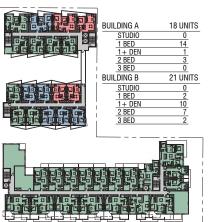
MARKET RENTAL	32 UNITS
BUILDING A	32 UNITS
STUDIO	0
1 BED	27
1+ DEN	0
2 BED	5
3 BED	0
BUILDING B	0 UNITS
STUDIO STUDIO	0
1 BED	0
1+ DEN	0
2 BED	0
3 BED	0

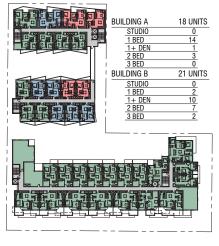
MARKET STRATA	157 UNITS
BUILDING A	37 UNITS
STUDIO STUDIO	0
1 BED	27
1+ DEN	5
2 BED	5
3 BED	0_
BUILDING B	120 UNITS
STUDIO	2
1 BED	20
1+ DEN	50
2 BED	39
3 BED	9













LEVEL 4 KEY PLAN

LEVEL 5 KEY PLAN

LEVEL 6 KEY PLAN



PROPOSED RESIDENTIAL DEVELOPMENT



BUILDING A - NORTH ELEVATION



BUILDING A - SOUTH ELEVATION





BUILDING A COURTYARD - NORTH ELEVATION



BUILDING A COURTYARD - SOUTH ELEVATION





BUILDING B - SOUTH ELEVATION



BUILDING B - NORTH ELEVATION





BUILDING A & B - WEST ELEVATION





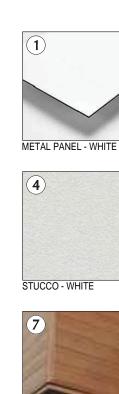
BUILDING A - EAST ELEVATION



BUILDING B - EAST ELEVATION





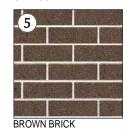














EIFS - DARK GREY



-WOODGRAIN



WOODGRAIN















SCREEN -YELLOW/ORANGE/RED



(8)(9)

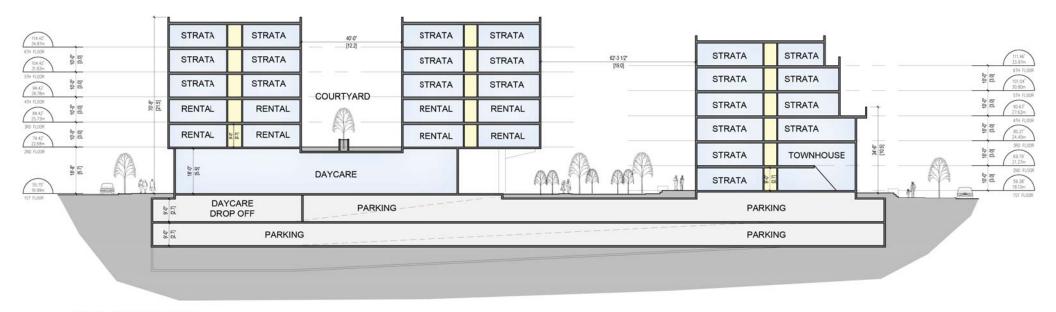
(3)

(6)

(12)(10)(7)



CLEAR/BLACK



NORTH-SOUTH SECTION





ST JOHNS STREET LOOKING SOUTHEAST





BULLER & ST ANDREWS LOOKING SOUTHWEST













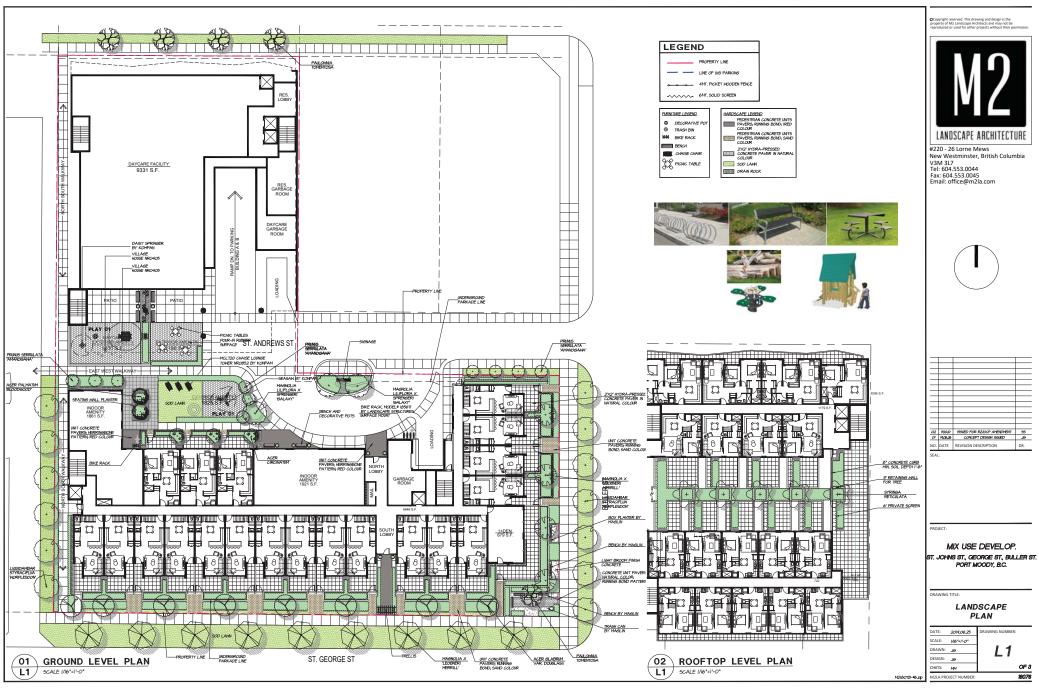


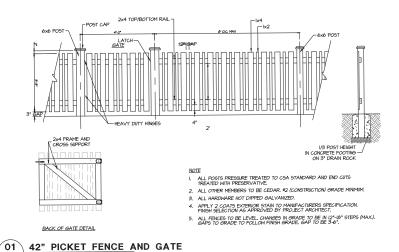
ST ANDREWS STREET LOOKING WEST













02 MAGLIN PLANTER L1 SCALE NTS







03 BACKLESS CANTILEVER BENCH L1 SCALE NTS

L1 SCALE NTS

04 RECYCLE TRASH CAN CONTAINER L1 SCALE NTS

05 LEAF SHAPE BIKE RACK (SURFACE MOUNT) L1 SCALE NTS



#220 - 26 Lorne Mews #220 - 26 Lorne Mews New Westminster, British Columbia V3M 3L7 Tel: 604.553.0044 Fax: 604.553.0045 Email: office@m2la.com



=						
=						
=						
=						
=						
=						
=						
02	NUOJO	ISSUED FOR RZ/OCP AMENDMENT	55			
01	PLO6,26	CONCEPT DESIGN ISSUED	.16			
NO.	DATE	REVISION DESCRIPTION	DR.			
SEAL:						

PROJECT:

MIX USE DEVELOP. ST. JOHNS ST., GEORGE ST., BULLER ST. PORT MOODY, B.C.

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 2014.06.25 SCALE: 1/16"=1"-0" L2 DRAWN: Jg DESIGN: JG

M2LA PROJECT NUMBER:

19078

PART ONE GENERAL REQUIREMENTS .1 CCOC Duc 2 LATEST EDITION Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Doo 2 B.C. Landscape Standard, LATEST EDITION, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, jointly, All werk and maherial shall need standards as set and in the B.C. Landscape Standard unless supersected by this specification or as directed by Landscape Architect with written instruction. 4 STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, LATEST EDITION: Prepared by the Irrigation Industry Association of British Columbia 5 MUNICIPAL BYLAWS AND ENGNEERING SPECIFICATIONS WHERE NOTED. J. A current first more than one north) test for all growing modus to be used on this site is required. Provide and pay for testing by an independent testing facility gre-approachly the Landscape Architect. Deliver graving modus test results to Landscape Architect for review and approach prior in placement. Befor to Section 3.4 Growing Middle Testing for explaining and provided and provide 2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification. 1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect 2 Submittals to consist of product sample or manufacturer's product description. Indice the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe contraction as its necessary in their continue to confirm conformance to the class and specifications. Contact Depart Specimentative to promote for other observation at the unconsumer on a recessary in more opinion recommence for the plans and specifications. Contact Owners Representative to arrange for site observation at the appropriate intens. Allow him days notice. Observation schedule may include but will not be limited to the following: 1.1 Start light Handling, General Contract Prior to any site distribution, a meeting with the general contractor to review tree preservation issues, general Landscape issue and montiopid requirements. 12. Starts (Sigh Revinds, Landscape Contract Id separate). At the start of wank with Owner's Representative, Site Superindendent and Landscape Contractor, a meeting is to be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results 13. Pages (St Vish 1 in above extended per security of the sec .1 Unless otherwise instructed in the Contract Document, the preparation of the subgrade shall be the responsibility of the General Contractor: Placement of growing medium constitutes acceptance at the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor. 2. All wank and superinferedence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities. 3 A site visit is required to become familiar with site conditions before bidding and before start of work. A Confirm location of all services before preceeding with any work. 5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans 5. Take appropriate measures to avoid environmental damage. Do not dump any waste materials into varier bodies. Conform with all federal, provincial and local state addelines. J. Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repair are to be considered order to final accentance. # Where new work connects with existing, and where existing work is altered, make good to match existing undisturbed condition. .1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion. 2 Refer to individual sections for specific warranties. PART TWO SCOPE OF WORK 1 SCOPE OF WORK .1 Other conditions of Contract may apply. Confirm Scope of Work at time of tender. Work includes supply of all related items and performing all operations necessary to consists of the following: 3. Reviews of Contine Trees where shows an directory. 2. Points Ordering not Leveluce to Directory. 2. Points Ordering not Leveluce to Directory. 3. Long and placement of growing market. 3. Long and Economic ordering with the Section of the Spool. 3. Long and Economic and self-limits in send-requirements of self-limits. 4. Properties of Leveluces, Long of place records and parties; 4. Properties of Leveluces, Long of place and cold and parties; 4. Properties of Leveluces. 4. Leveluces. 4 personner or wift motion. ce of planted and seeded/sodded areas until accepted by Owner. PRICE: Extebishment Maintenance, Section 3.11. to Work other than this list, not specified by Landscape Architect.

	ING MEDIUM FOR LEVEL 2 GROOMED AND LEV tion Textural Class: "Loamy Sand" to "Sand			
Applications	Low Traffic Areas. Trees and Large Shrubs	High Traffic Lawn Areas	Planting Areas and Planters	
Growing Medium Types	a	2H	29	
Testure	Percent Of Dry Weight of Total Growing Medium			
Coarse Gravel: larger than 25mm	0 - 1%	0 - 1%	0 - 1%	
All Grave) larger than 2nm	0 - 5%	0 - 5%	0 - 5%	
	Percent Of Dry Meight of Growing Medium Excluding Gravel			
Sand: larger than 8.05mm smaller than 2.0mm	50 - 80%	70 - 9934	40 - 80%	
Sät: larger than 8,002mn snaller than 8,05mn	11 - 25X	0 - 15%	10 - 25X	
Clay: snaller than 0.002mm	0 - 25N	0 - 15%	0 - 25N	
Clay and S&I Combined	nzeinum 35%	maximum 15%	nesinus 35%	
Organic Content (coast):	3 - 10%	3 - 5%	10 - 20%	
Organic Content Onterior3	3 - 5%	3 - 5%	15 - 20%	
Acidity (pH):	6.0 - 7.0	6.0 - 7.0	45-65	

- 2 Fertilizer: An organic and/or inorganic compound combining Mitrogen (M), Phosphate (25), and Potash (soluble 2) in proportions required by soil test.
- 3 Line Ground agricultural linestone. Heet requirements of the B.C. Landscape Standard.
- A. Organic Additive: Commercial compost product to the requirements of the B.C. Landscape Standard, LATEST EDITION and pre-approved by the Landscape Architect. Recommended suppliers: Yardsorks. The Answer Carden Products. Fracer Richmond Solls & Fibre. Stream Prosents Management.
- 5 Send: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard.
- 5. Compashed Bark Match: 10mm (3/0") minus Fir/Heolock bark chips and fines, free of chunis and sticks, dark brown in colour and free of all soil, stones, reafs or other extraoeous matter. Fresh orange in colour bark will be rejected.
- 3. Herbicides and Prestricides: If used, most conform to all federal, previncial and local statutes. Appliers most haid current licenses issued by the appropriate authorities in
- Drainage Piping if required Schedule 48 PVC naninal sizes.
- .11 Plant Material. To the requirements of the B.C. Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free musery. Provide ground of certification.
- 35 Supplier and installers of segmental block valls to previde engineered drawings for all valls signed and scaled drawings for all valls, includes an expension of valls callectively in excess of 12m, installations must be reviewed and signed off by Certified Professional Engineer; include coast of engineering services in Carden exist.
- Ji. Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

- SETENTION OF DISTANCTIFIES

 1. Prior is not year on site protect individual Priors or plant groupings indicated an entained on Landscape plans as vegetation reflection areas.

 2. It is used instance the Landscape Architect will nightess or areas in remain. Discuss these reflection areas at a start-up seeding with the Landscape Architect.
- 2 A structed barrier must be installed to delineate clearing boundaries. Refer to structed barrier detail. If detail not provided, constructing installed to delineate clearing boundaries.
- 3 No machine travel through or within vegetation retention areas or under crowns of trees to be retained is allowed
- A Do not steckpile soil, construction materials, or excavated materials within vegetation retention areas.

- J No escapations, drain or service trenches nor any other disruption shall be permitted within vegetation reter the Landscape Architect
- Fig. dissign is calling segritation introded for preservation will be risklych to evaluation by an IS.A. Certified Arberini using the "Gode for Peacl Approisa", IA/ISST contents.
 Registering planting of equivalent scale to the distributions will be registed. The coal of the evaluation and of the registerated guidance planting will be the respectably of the Goderal Centralize and the personal responsible for the distributions.
- .10 In municipalities with specific tree referition/replacement bylaws ensure compliance to bylaw
- .II In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commercia
- INVALS.

 I Ensure subgrade is prepared to conform to depths specified in Section 15, Growing Medium Supply, below. Where pilothing is indicated close to existing trees, prepare includes a planting and policy parties are parties and policy parties are parties and policy parties and policy parties are parties and parties are parties are parties are parties and parties are p
- 2 On slopes in excess of 31 trench subgrade across slope to '50nm (61) minimum at 15m (5 ft.) intervals minimum. 3 Scarify the online subgrade immediately prior to placing growing medium. Re-cutivate where vehicular traffic results in compaction during the construction proor finance that all placeting areas are smoothly continued after finit consuction to finished grades.
- A. Elminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradests defined by the B.C. Landscape Standard.
- 5. Construct swales true to line and grade, smooth and free of sags or high points. Minimum slope 2%, maximum side slages W.W. Ass
- .6 Slope not to exceed the following maximums: Rough Grass 31, Layon 4-1, Landscape plantings 21.
- 3 Finished self-mulch elevation at building to comply with nunicipal requirements.
- 8 Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch. LANDSCAPE DRAINAGE
 1. Related Work: Growing medium and Finish Grading, Grass areas, Trees Strubs and Groundcovers, Planters, Crib Walls.

- 2 Veri Include Sin Feshi grafing and surface chairupe. Includining of any divisiony systems detailed on landscape plans. Neide Carlo bearin shown on inedecape proceedings on any confirm recognition of the systems. In the carlo bearin shown on inedecape proceedings of the composition of the systems of the systems provided by the composition of the systems of the responsible for deeper cased.
 3 Partier devices to the first festion 12, the signal support parties and the responsible for deeper cased.
- 3. Execution and bacifilling in accordance with engineering delats and specifications.
 32. Lay drains on propored bad, true to line and grade with invertis smooth and free of sags or high points. Ensure barrel of each pipe is in contact with bad throughout full.
- ivert.

 To General Impaigned of shall and provad in out trans threatment of the Common Impaigned of shall and provad in out trans of the Common Impaigned on the Common Impaig

- 3.11 Assure positive drainage. 3.12 Back fill remainder of trench as indicated. 3.13 Protect subdrains from finalation during installation.
- GROWING MEDIUM TESTING
- Submit representative sample of growing medium proposed for use on this project to an independent laboratory. Provide heat results to Landscape Architect prior to database. Test results he folder
- placing. Test results to include:

 11. Physical properties, 3 content of gravel, seed, skt, clay and organics.

 12. Addity file and quantiles of time or sulphur required to bring within specified range.

 13. Matrinel levels of principle and trace elements and recommendations for required soll amendments.
- PRENT yet for the performance of the Contract. Do not load, transport or spread groving medium when it is so wet that its structure is likely to b
- 2 Supply all growing medium administress as required by the sail test. Amended growing medium must meet the specification for growing
- various areas.
 2.1 Theroughly mix required amendments into the full depth of the growing medium.
 2.2 Special mixes may be required for various situations. Refer to drawing notes for instructions.
- Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (ISOmm), over unfrazen subgrade free or standard varier.

teeth of reethall , width shall be at least twins the width of the reet hall with source shared

- A. Minimum depths of growing medium placed and compacted to 80%. A.1. On-grade

- Add.
 A 10 150 150 170 -
- 5 Hanually spread growing medium/planting soil around existing trees, shrubs and obstacles.
- .6 In perimeter seeded grass areas, feather growing medium out to nothing at edges and blend int
- 3 Finished grades shall conform to the elevations shown on landscape and site plans. 4 DUICH COTCC FOCT CCCUMC
- . General Rough press areas are noted on the drawings as "Rough Grass", Treat all areas defined as rough grass between all property lines of the project including all believes to long the rough grass between all property lines of the project including all believes to long the rough gr

- Preparation of Surfaces: To B.C. Landscape Standard Class 3 Areas (Bough grass) Section 7.113
 Clean existing sail by mechanical means of debris over 58mm in any dimension.
 Rauphly grade purfaces to allow for maintenance specified and far positive drainage.
- 3. Time of Seeding: Seed from early spring (generally April Int) to late fall (September 15th) of each year. Further extensions may be obtained on concurrence of the Landscape
- A. Seed Sppty & Teating. All seed must be obtained from a recognized seed supplier and shall be No. 1 grass obsture delivered in containers bearing the following inf A.1. Analysis of the seed mixture. A.2. Percentage of each seed have

- A. recording of east less type.

 See Michael A. Microsophi of force.

 185 (records fill of fil
- 6 Fertilizer: Mechanical seeding Apply a complete synthetic slaw-release fertilizer with maximum 35% valter soluble nitrogen and a formulation ratio of 18-18-19 55% sulphur urea coalect, 102 injustification ratio greateder.
- 3 Seeding Apply need at a rate of 100x/H (100bs /acre) with a mechanical spreader. Incorporate used jobs the top V/L" Ment) of soil and liabity connect
- .8 Acceptance Provide adequate protection of the seeded areas until conditions of acceptance have been net. Comply with Section 3.7 Hydroseeding

- HYDROSECONG

 .1 May be used as an alternate to mechanical seeding in rough grass areas. 2 Nay not be used in areas of lawn unless pre-approved by the Landscape Architect prior to bidding.

- A. Protection: Essure that fertilizer in solution does not come in centact with the foliage of any trees, shrubs, or other succeptible segetation. Do not spray seed or mulch on objects on legaciest for going years. Protect entiting site explained, readurys, fundezosing, reference points, nonments, markers and structures from damage. Where containables mocern, some seeding such as suitaffication and by an assura papered by the strategar Architect.
- 5. Much shall consist of virgin wood fibre or recycled paper fibre designed for hydraulic seeding and dyed for ease of monitoring application. If using recycled paper in for wood fibre substitute use 195% by weight Contem to B.C. Landscape Standard for much requirements.
- .6 Water: Shall be free of any impurities that may have an injurious effect on the success of seeding or may be harmful to the or
- J. Equipmen: Use industry standard hydraulic seeder/muldive equipment with the task volume certified by an identification plate or stricke affined in plain view on the equipment. The hybraulic seeder/muldive shall be captible or stricken application in shir the material links a benogenous sturry and to maintain the starry in a hemogenous stude will be supplied. The ordinary propose agree processor and account in the supplied or services of subrespited press.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3 Application Parts
 3.1 Seed Michae: 08 Seigha IIIS last Jacob
 3.2 Seed Michae: 08 Seigha IIIS last Jacob
 3.2 Fertiliser: 101 Sept 1080 But Jacob
 3.4 Caustin Wild Hower Mic. Where specified, apply 091 bas/acrol (IV4 lb. 1 lb. of grass seed)
 3.4 Caustin Wild Hower Mic. Where specified, apply 091 bas/acrol (IV4 lb. 1 lb. of grass seed) letes: At the line of Tender provide a complete chart of all components of the nix proposed including mulch, tackifler, water etc. Sloped sites require tackifler. Fortilizer:
- .84.1. At the time of Tender provide a complete chart of all components of the nix propos.
 84.2. Fertilizer:
 84.2.1. Rough Crass: If a soil analysis is available, comply with results.
 84.2.1. The behave between the soul analysis is available; comply with results.
- 3 Accurately measure the quantities of each of the naterials to be charged into the task either by mass or by a commonly accepted system of mass-calibrated volumessurements. The naterials shall be added to the task visible it is being filled with value; in the following sequence; seed, refrider. Thoroughly mix into a homogenous Affect charging, add so value or or other naterial to the sinkers. On a classes share in the face for more than for other both or (in bluers.)
- .19 Distribute sturry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surface
- .11 Clean up. Remove all materials and other debris resulting from seeding operations from the job site.
- 33 Acceptance of the Bough Gross Areas Proper generation of all specified gross species in the respectability of the Landscape Contractor. The gross shall be reasonably with collabolity with many appears due for their species and sold in reasonably free of verest In-SEL Landscape Shoulder, Scrive IT Memberson cover 64 Species species and their species of the

- Growing Medium: Compty with Section 22.1, Growing Medium. Prior to sodding, request an inspection of the finished grade, and depth and condition of graving medium by the Landousew Arthritist?
- 3 Time of Sadding: Sad from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
- A Sed Supply: Conform to all conditions of B.C. Landscape Standard, Section 8, B.C. Standard for Turfgrass Sed.
- 5 Specified Turferous by area: Befor to Table 2 below

TABLE 2 SPE	PECIFED TURFGRASS BY AREA					
Area	Description	Quality Grade	Major Species			
CLASS 1	Lave, all areas noted on drawings as lave in urban development sites including boulevard grass	No. 1 Premium	Kentucky Blue for sun, Fescues for shade			
CLASS 2	Grass - public parks, industrial and institutional sites	No. 2 Standard	same			
CLASS 3	Rough Grass	see hydroseeding				

- 6 Line: The line shall be as defined in Section 223, Materials. Apply at nates recommended in required soil test. Refer to Section 3.4 for method.
- 3. Fertilizer. Refer to Section 222 Materials. Apply specified fertilizer at rates shown in the required soil test. Apply with a mechanical spreader. Cutificate into growing medium 44 hours prior to scoting. Apply separately from line.
- 3. Sedding: Prepare a smooth, firm, even surface for laying sed. Lay sod staggered with sections closely butted, without overlapping or gaps, smooth and even with adjining areas and real lightly. Maker to obtain moisture penetration of 3" to 4" (1" Main). Comply with requirements of BC Landscape Standard Section 8, BC Standard for Turfgrass Sun
- 3. Note the same hope and reserve handed by after saded and confine for 60 days after Sadestraid Conglistion and set accepted by the baser. Protect coded areas from danger with response yet for a foreign Concess complet han spage and less for large for the foreign reserved from 60 days. The Child and in this set accessary is considered upon fix expert and a fixed or protection. Set in the Child and in this set accessary is considered upon fixed protection. Set of a single for it benefits of the cold of 20 days for the consideration protection. Set of set appear and on the protection in the consideration of the consideration in protection. Set of 20 days for the consideration is protected.
- 38 Acceptance of Lava Areas: The buf shall be reasonably well established, with no apparent dead upon or bare sports and shall be reasonably fine of weeds to B.C. Landscape Shadon's, Section 13 Nationabase Level 2 Upopuration. Use herbidoles in recessary for weed reserval unless where conditions of contract forbid their use. After the launch to be not all where this, zero smelling the condition above will be taken serve by the Owder.

- 2 Obtain approval of Landscape Architect for Layout and preparation of planting prior to commercement of planting operations.
- 3 Hake edge of beds with smooth clean defined lines.
- 4. The of Platting.
 4.1. Real three, thresh and groundcreers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of starts to their new location.
- Statedo
 Stated
- Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site.
- J Availability.

 3.1 Area of search includes the Lover Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area.

 3.2 Supply proof of the availability of the specified plant material within 30 days of the avail of the Contract.
- A Southistion.

 All Obtain writter approved of the Landscape Architect prior to making any solutivations to the specified earlieral. Non-approved substitutions will be rejected.

 All Assists and instance of Seps prior to delivery for respect to substitution.

 All Malance annuals and substitutions of annuals are substitution.

 All Malance annuals are substitutions of annuals annual annuals are substitutions.

 All Malance annuals are substitutions and annuals are substitutions.
- abone grade.
 3.2 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting rock or underground/overhead services are
- encountered.
 33 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect. 38 Exception:
 31. Tress and large shrube: Except a saccer shaped free pit to the depth of the rootball and to at least twice the width of the rootball. Assure that finished grade is at the eighted posts the free was green at.
- .11 Drainings of Planting Holes:
 .11 Province of Planting Holes:
 .12 Province change of planting pils where required is: on Singed conditions, break not the side of the planting pil to allow drainings down slope; and in flat conditions, according to the change of planting below is limited.
- 12 Planting and Fertilizing Procedures.
 12.1 Plant all trees and shrinks with the croot placed in their natural growing position. If burstapped, looses around the top of the ball and cut away or find under. Do not pull burstapped in their natural growing position. If burstapped, looses around the top of the ball and cut away or find under. Do not pull burstapped in the ball and cut away or find under. Do not pull burstapped, looses around the top of the ball and cut away or find under. Do not pull burstapped, looses around the ball and cut away or find under. Do not pull burstapped.
- vice.

 22: Filling planting basis by getty firming the graving nedian around the real system in it l'Eccel layers. Settle the soil with valer. Act soil as required to need friend-grade. Layers and winds. When 170 of the topod has been placed, upply fertilizer as recommended by the regard and set of the specified rates.

 24. Layers are in the control of the place of
- Dailing Flow
 Sill See htt 75.75 Seed, used is supervised by anxiety requirement, left steen critical 7.15 and 1.0 and the stell transport resident.
 Sill bear his first constally serviced.
 Sill bear his first constally serviced for the steel of the stellar first serviced by the stellar first serviced by the stellar first serviced for the stellar first serviced by the stellar first serviced for the stellar first serviced for the stellar first serviced provided for the stellar first serviced foresident first serviced for the stellar first serviced for the ste
- 34. Pouning:
 .34. Limit graving to the inhimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp tools. Ride all cuts close and cut to the levest collar leaving no styles. Stage affected areas so as not 1 in relain water. Persone danaged material. Mulcinian
 Mich Japanieg areas with an even layer of much to 2-1/2 - 3" MS - 3"mail depth. Confirm placement of mulch in areas labeled "Graundcover Area" on drawings. Mulch.
 Mich Japanied deserver circle around frees in layer areas, layer a class relate.
- .36 Acceptance .36.1 The establishment of all plant material is the responsibility of the Landscape Contractor.

- All references to the specimens of the s

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.1 for given stands this between tended converse the sign is never the contract recognition for earther growing season it, it is uplose, but developes any standard converse the contract recognition of the contract recognition

10 INSTALLING LANDSCAPE ON STRUCTURES

- Coordinate work with construction of planters and planter drainage.
 Verify that planter drains are in place and positive drainage to rood drains is present prior to placing any drain reck or sail. Provide clean out at all through-slab drain locations. Use 300nm min. dia. PVC Pipe filled with drain rock unless specific drawing detail shown
- A Install drain rock evenly to a minimum depth of 4" (M0mm)or alternate sheet drain if specified. Install sheet drain as per manufacturer's n
- 5. Cover drain rock for alternate sheet drain if specified on drawing details with filter fabric tapping 6" (15tinn) at all edges. Obtain approval of drainage system prior to placing screening medium.
- 7. Place graving nedum to depths specified in Section 35 shares for various surface treatments. Before to Draving debals for any light weight filter required to alter grade. Use Styretona Back over drain rock shaped to provide sneoth surface transition at edges. But each pince lightly snepther and cover with filter fabric to present sail from

1 ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)

- 3. Intert: The intert of "calidationes" subreases is to provide sufficient care to easily installed plant extend for a relatively short period of time to ensure or increase the long term accessed the planting. The algorithm is the provide to it as one of the order to exist the desired effect from the planting validar relation (in the relative of excesses), with sourced of extending validation of planting or inclinated or inflamement of excesses and order to expend the extending or inflament. Inflamement of extending or inflament of excesses and order to expend the excesses and to extend the extending order to extending order to extend the extend the extending order to extend the extendin
- 2 Maintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.
- 3 Related Standards and Legislation B.C. Landscape Standard, latest edition; Fertilizer Code, B.C. Pesticide Control Act. A. She Review: In addition to the inspections at substantial completion, at first propers draw application, and all the end of the guarantee period, there should be three either reviews during the IZ months alteraded by the Centractor and a designated representative of the Owner. Histotian a logbook and reporting procedures and submit to the designated representative.
- 5 Scheduling Prepare a schedule of anticipated visits and submit to designated representative at start-up. Maintenance operations shall be carried out prodo the growing season between Parch 1st and November 30th, however visits at other times of the year may be required.
- .6 Maintenance Level Comply with B. C. Landscape Standard, Section 13, Table 7, Maintenance Level "Medium".
- Meherials: Coughy with Part Two of this specification.
 Fortilizers: To the requirements of the B.C. Landscape Standard. Formulations and rates as required by sell testing.

- A Plant Missed Calculationary

 A Plant Missed Calculationary

 A Plant Missed Calculationary

 A Plant Missed Calculationary

 A Plant Missed Calculation

 A Plant Missed Cal
- monary. In the sure function.

 A resident and extended in the sure of parties are to pay a discuss or paying and a final energy to a sure of paying and a su

- New end published in these.

 3. Linky is carried by the diseigned.

 3. Linky is carried by the diseigned by the disei

r, and remove core. -grade, re-seed or re-sed when necessary to restore damaged or failing grass areas. Match the grass varieties in the surrounding area. Re-sed, if required, awing season. Pu-seed between April 1st and April 15th or between Suptember 1st and Suptember 15th. Protect re-seeded areas and keep moist until the first



#220 - 26 Lorne Mews New Westminster, British Columbia V3M 3L7 Tel: 604 553 0044 Fax: 604.553.0045 Email: office@m2la.com



01 NOS.26 CONCEPT DESIGN ISSUED

NO. DATE REVISION DESCRIPTION

PROJECT:

MIX USE DEVELOP. ST. JOHNS ST., GEORGE ST., BULLER ST. PORT MOODY, B.C.

DRAWING TITLE:

SPECIFICATION DATE: 2014.06.25 DRAWING NUMBER:

SCALE: 1/16"=1'-0" L3 DRAWN: JG DESIGN: JG

19078

M2LA PROJECT NUMBER: