

ST. JOHNS RESIDENTIAL DEVELOPMENT

ISSUED FOR RZ/OCP AMENDMENT

OCTOBER 15, 2019

PORT MOODY



SHEET LIST

ARCHITECTURAL

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IWA
ARCHITECTS

BUILDING A

6 STOREY MIXED USE

(CRM2)

SUMMARY 6 FLOORS

SITE		
POST DEDICATION (LANE INCLUDED)	22,752 S.F.	
PROPOSED F.A.R. (LESS DAYCARE)	2.80	
DENSITY DOES NOT INCLUDE OUTDOOR WALKWAYS		

AREA	GROSS	NET	UNITS
LEVEL -1	12,283 S.F.	9,331 S.F.	
LEVEL -2 to 6 (5flrs @ 12,298)	61,490 S.F.	51,985 S.F.	90 UNITS
BLDG GROSS	73,773 S.F.	61,316 S.F.	90 UNITS
LESS DAYCARE GROSS	9,934 S.F.		
F.A.R. GROSS	63,839 S.F.		

PARKING REQUIRED			
MARKET STRATA	UNITS	REQ.	
1 BED/STUDIO 1.0 / UNIT	32	32	
2 / 3 BED 1.35 / UNIT	5	7	
VISITOR .2 / UNIT	37	7	
MARKET RENTAL			
DWELLINGS 1.0 / UNIT	32	32	
VISITOR .2 / UNIT	32	6	
BELOW MARKET			
DWELLINGS 0.8 / UNIT	21	17	
VISITOR .1 / UNIT	21	2	
RES TOTAL	90 UNITS	126 STALLS	
CHILD CARE 3.0 / 1,001	9,331 S.F.	28	
REQ. PARKING TOTAL		154 STALLS	

BUILDING B

6 STOREY APARTMENT

(RM8)

SUMMARY 6 FLOORS

SITE	
PRE DEDICATION	36,133 S.F.
PROPOSED F.A.R. (LESS AMENITY)	2.80

AREA	GROSS	NET	UNITS
LEVEL -1	19,274 S.F.	11,371 S.F.	21 UNITS
LEVEL -2	18,264 S.F.	16,465 S.F.	11 UNITS
LEVEL -3	18,550 S.F.	16,673 S.F.	27 UNITS
LEVEL -4 & 5 (2flrs @ 17,160)	34,320 S.F.	30,600 S.F.	42 UNITS
LEVEL -6	15,417 S.F.	13,581 S.F.	19 UNITS
BLDG GROSS	105,825 S.F.	88,672 S.F.	120 UNITS
LESS AMENITY AREA	3,782 S.F.		
F.A.R. GROSS	101,413 S.F.		

PARKING REQUIRED			
MARKET STRATA	UNITS	REQ.	
1 BED/STUDIO 1.0 UNIT	72	72	
2 / 3 BED 1.35 UNIT	48	65	
VISITOR .2 UNIT	120	24	
RES TOTAL	120 UNITS	161 STALLS	

COMBINED PROJECT

SUMMARY

AREA	
SITE AREA	58,885 S.F.
BUILDING A+B (LESS DAYCARE & AMENITY)	165,252 S.F.
TOTAL SITE F.A.R.	2.80

SETBACKS

A - NORTH (FRONT)	2.31M
A - EAST (SIDE)	0.07M
A - WEST (SIDE)	2.06M
B - SOUTH (FRONT)	5.98M
B - EAST (SIDE)	5.64M
B - WEST (SIDE)	2.10M
B - NORTH (REAR)	1.51M

UNITS

* AFFORDABLE RENTAL (10%)	21 UNITS
* MARKET RENTAL (15%)	32 UNITS
MARKET STRATA	157 UNITS
TOTAL UNITS	210 UNITS

AMENITY

AMENITY REQ.		
3m2 / UNIT	32.3 S.F. / UNIT	6,781 S.F.
AMENITY PROVIDED		
INDOOR	3,782 S.F.	
OUTDOOR	3,349 S.F.	
TOTAL	6,793 S.F.	

* RENTAL UNITS WOULD BE INDIVIDUAL STRATA UNITS WITH A 25 YEAR COVENANT TO REMAIN RENTAL

PARKING

REQUIRED PARKING	
CHILD CARE	28 STALLS
RESIDENTIAL	248 STALLS
VISITOR	39 STALLS
TOTAL	315 STALLS
ACCESSIBLE (INCLUDED IN COUNTS)	(8 STALLS)

PARKING PROVIDED

LEVEL -P1	136 STALLS
CHILD CARE	28 STALLS
RESIDENTIAL	68 STALLS
VISITOR	40 STALLS
ACCESSIBLE (INCLUDED IN COUNTS)	(8 STALLS)
LEVEL -P2	164 STALLS
TOTAL	315 STALLS

LOADING

REQUIRED	1 STALLS
PROVIDED	2 STALLS

BICYCLE PARKING

REQUIRED	
SHORT TERM	6 SPACES / BUILDING
LONG TERM	315 SPACES
PROVIDED	
SHORT TERM	6 SPACES / BUILDING
LONG TERM	327 SPACES





BULLER AND ST. ANDREWS LOOKING SOUTHWEST



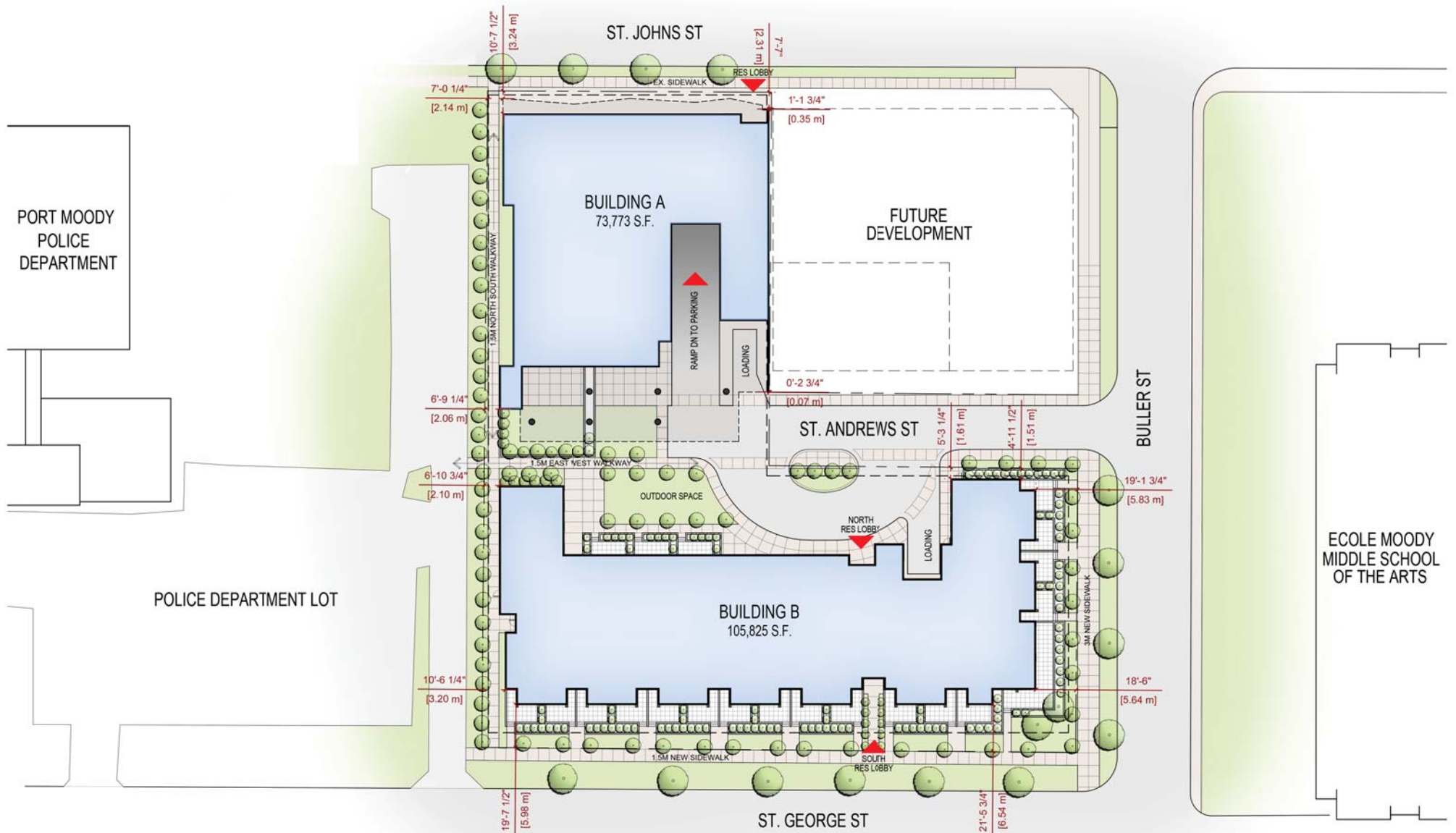
ST. GEORGE FACING SOUTH



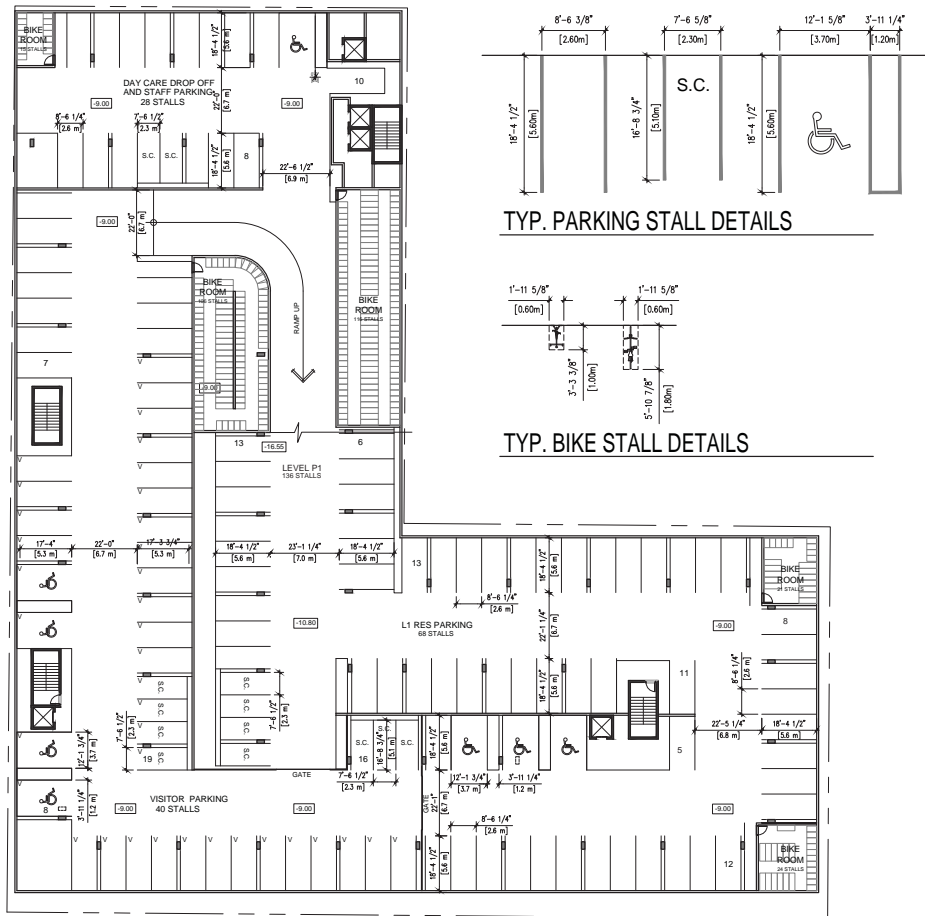
CORNER OF BULLER AND ST. GEORGE LOOKING WEST



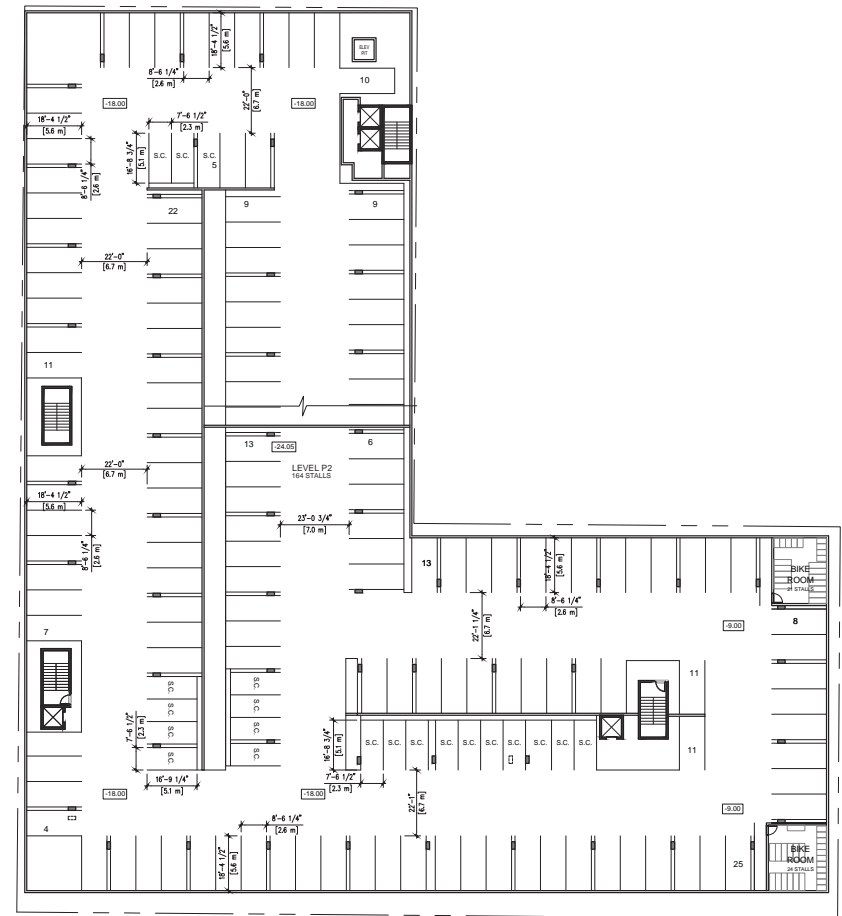
CORNER OF ST. JOHN AND BULLER LOOKING WEST



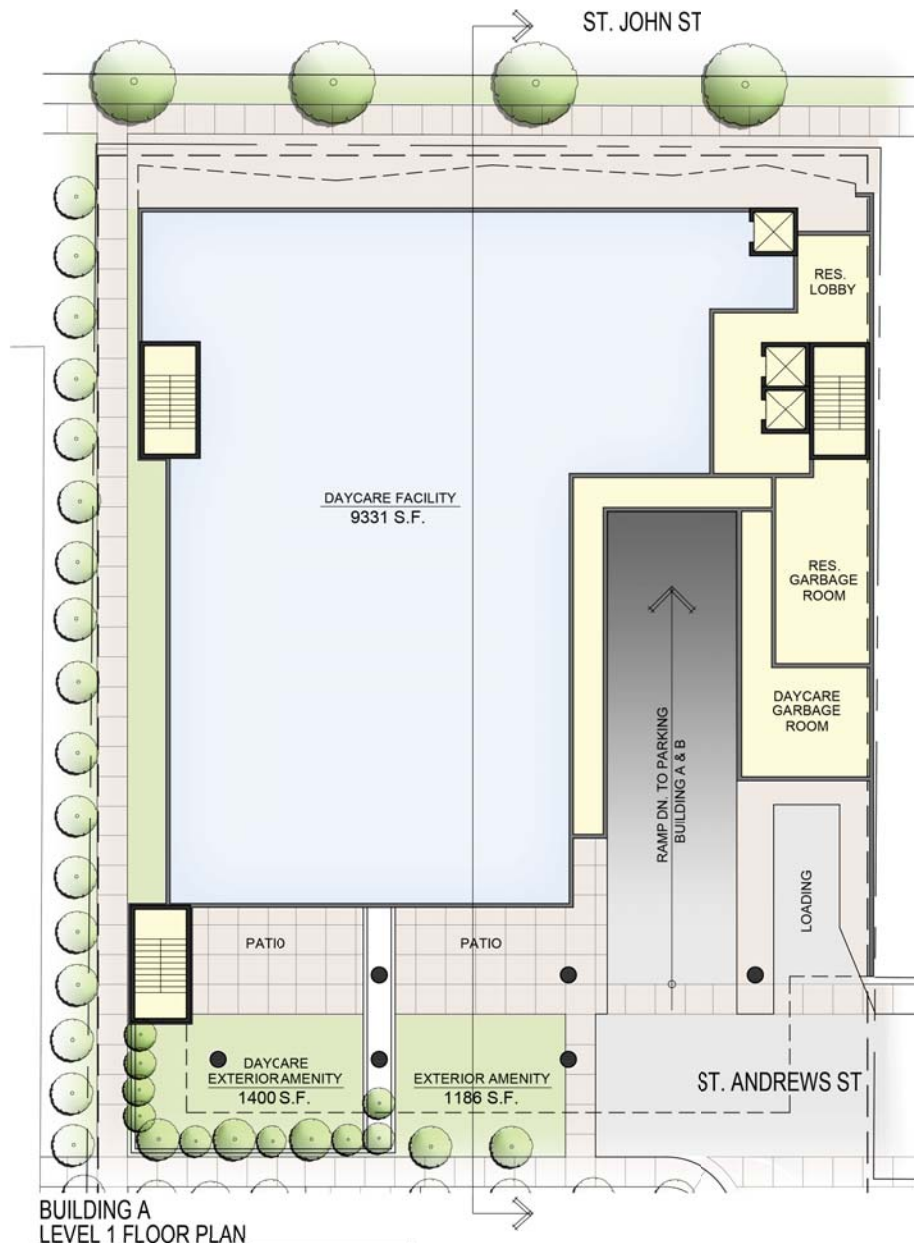
British Columbia Building Code, 2018, Data Matrix		BCBC Reference
TYPE OF PROJECT	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Tenant Improvement	
BASIS OF CODE ANALYSIS	<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9	
BUILDING AREA	m ² (ft ²)	1.4.1.2 (defined terms)
MAJOR OCCUPANCIES	GROUP "A2" = ASSEMBLY GROUP 'C' = RESIDENTIAL	3.1.2.1
MULTIPLE OCCUPANCY FIRE SEPARATIONS	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.1.3.1
FIREWALLS	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.1.10.2.(2)
FIRE SEPARATIONS & CLOSURES	# hour (Refer to plans and schedules)	3.1.8.4
FIRE RATINGS OF SUITE CLOSURES	N/A	3.1.8.10
NUMBER OF STOREYS	BUILDING A= 6 BUILDING B= 6	3.2.1.1
NUMBER OF STREETS	BUILDING A= 1 BUILDING B= 3	3.2.2.10 & 3.2.5
BUILDING CLASSIFICATION	Group 'A', Division 2, up to 6 Storeys, any area, sprinklered Group 'C', up to 6 Storeys, Sprinklered	3.2.2.24 3.2.2.50
PERMITTED CONSTRUCTION	<div> Group 'A2' Group 'C' </div> <div> <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both </div>	3.2.2.27.2 3.2.2.50.2
FIRE RESISTANCE RATINGS (FRR)	Group 'A2': 1 Hour FRR (floors, mezzanines and loadbearing support) Group 'C': 1 Hour FRR (floors, roof, mezzanine, load bearing support)	3.2.2.24.2 3.2.2.50.2
FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4.1
ACCESS ROUTE DESIGN	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.6
STANDPIPE REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.8
AUTOMATIC SPRINKLER REQUIRED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.12
FIRE DEPARTMENT CONNECTION	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.15.(2)
LIGHTING & EMERGENCY POWER SYSTEMS	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.7
SEPARATION OF SUITES	1 hour	3.3.1.1
SEPARATION OF PUBLIC CORRIDORS	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.4
TWO EGRESS DOORWAYS PROVIDED	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.3.1.5
JANITOR ROOM FIRE SEPARATION	0 hour FRR	3.3.1.21.(3)
STORAGE GARAGE SEPARATIONS	N/A	3.3.5.6
EXITS (NUMBER)	2 min. required (4 proposed)	3.4.2.1.(1)
EXITS (TRAVEL DISTANCE)	45.0 m max. permitted	3.4.2.5.(1)(c)



PARKING LEVEL 1 FLOOR PLAN



PARKING LEVEL 2 FLOOR PLAN



BUILDING A
LEVEL 1 FLOOR PLAN

PROPOSED RESIDENTIAL DEVELOPMENT
ST JOHN'S STREET, PORT MOODY

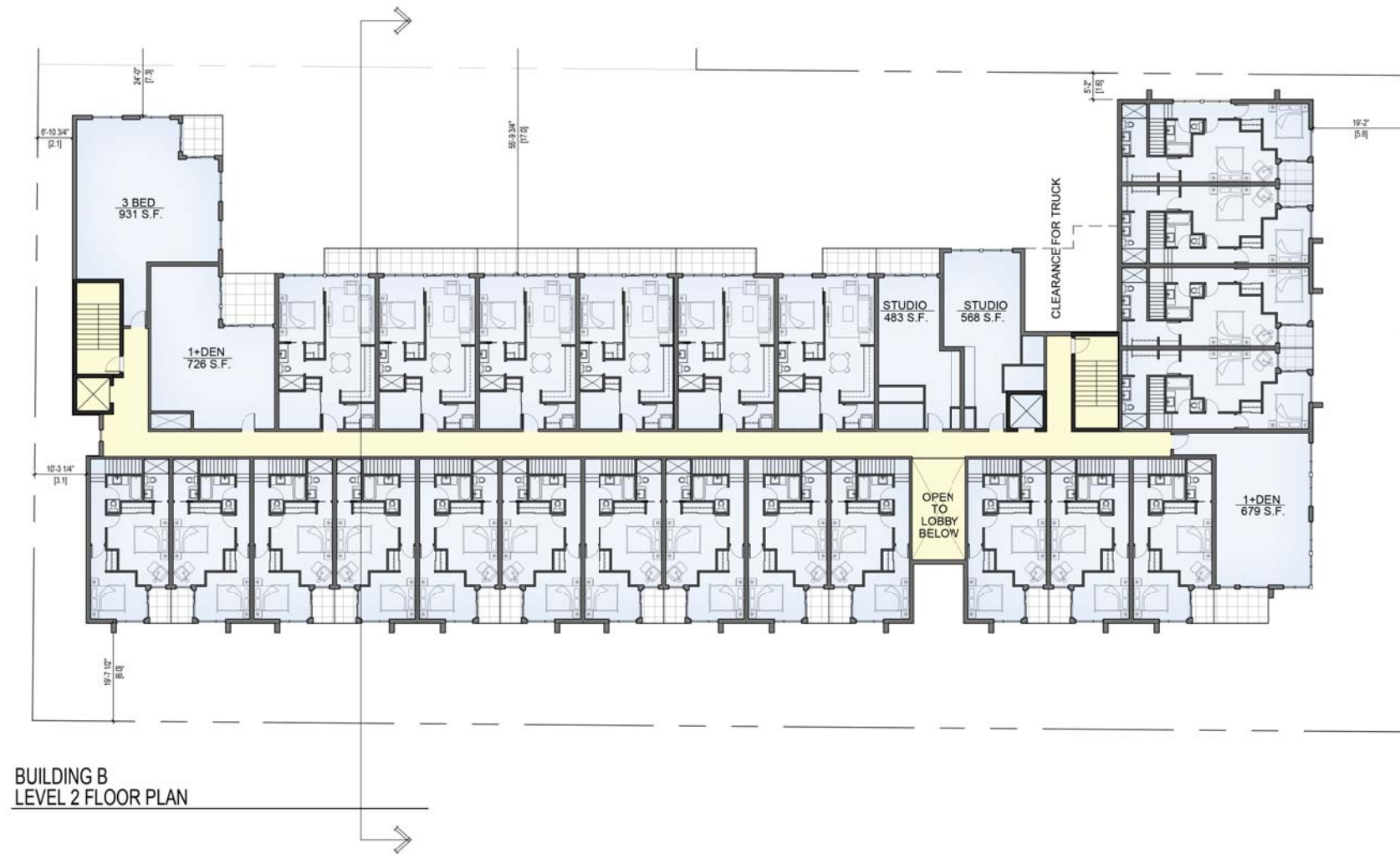
BUILDING A - LEVEL 1 FLOOR PLAN

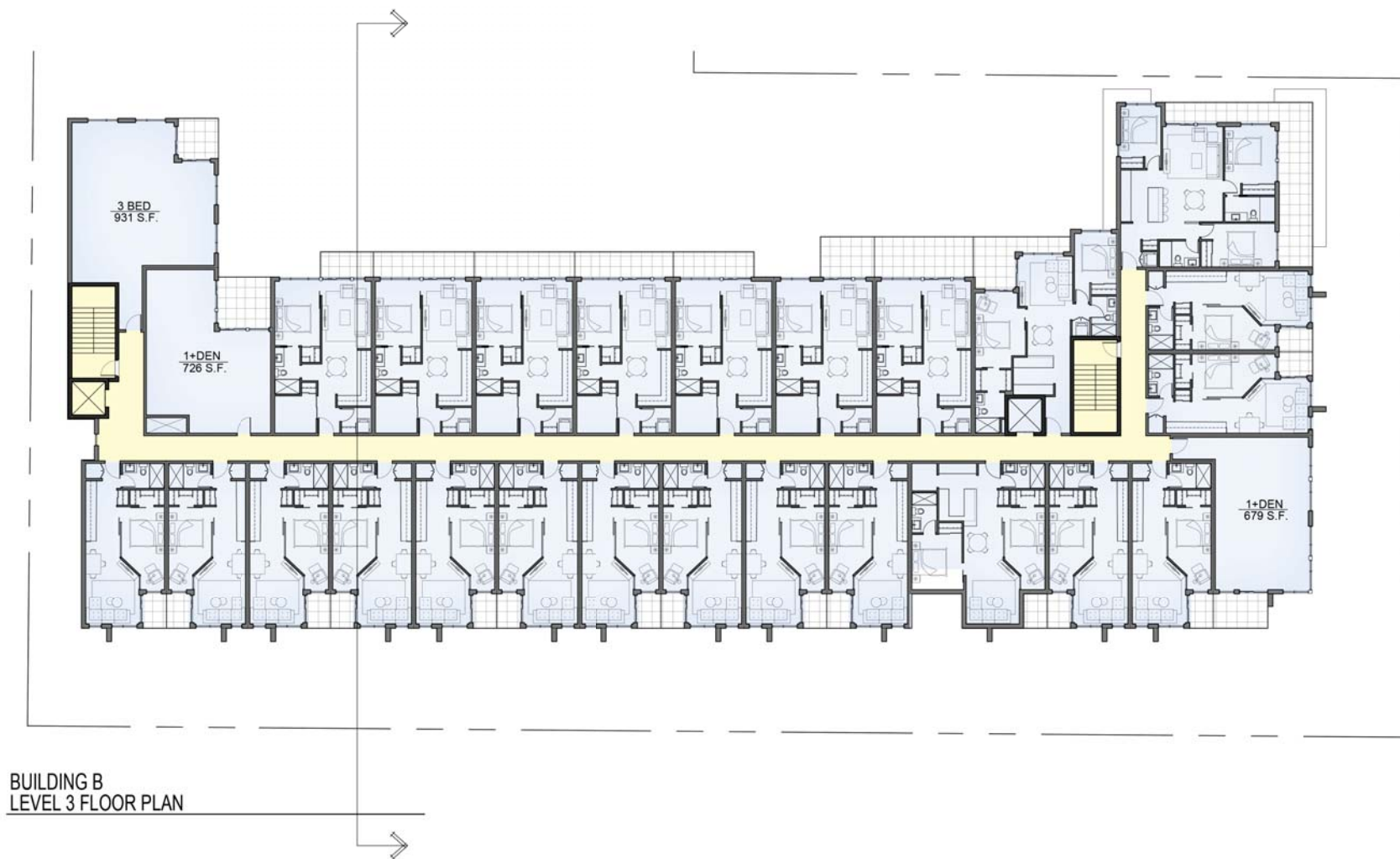
OCTOBER 15, 2019



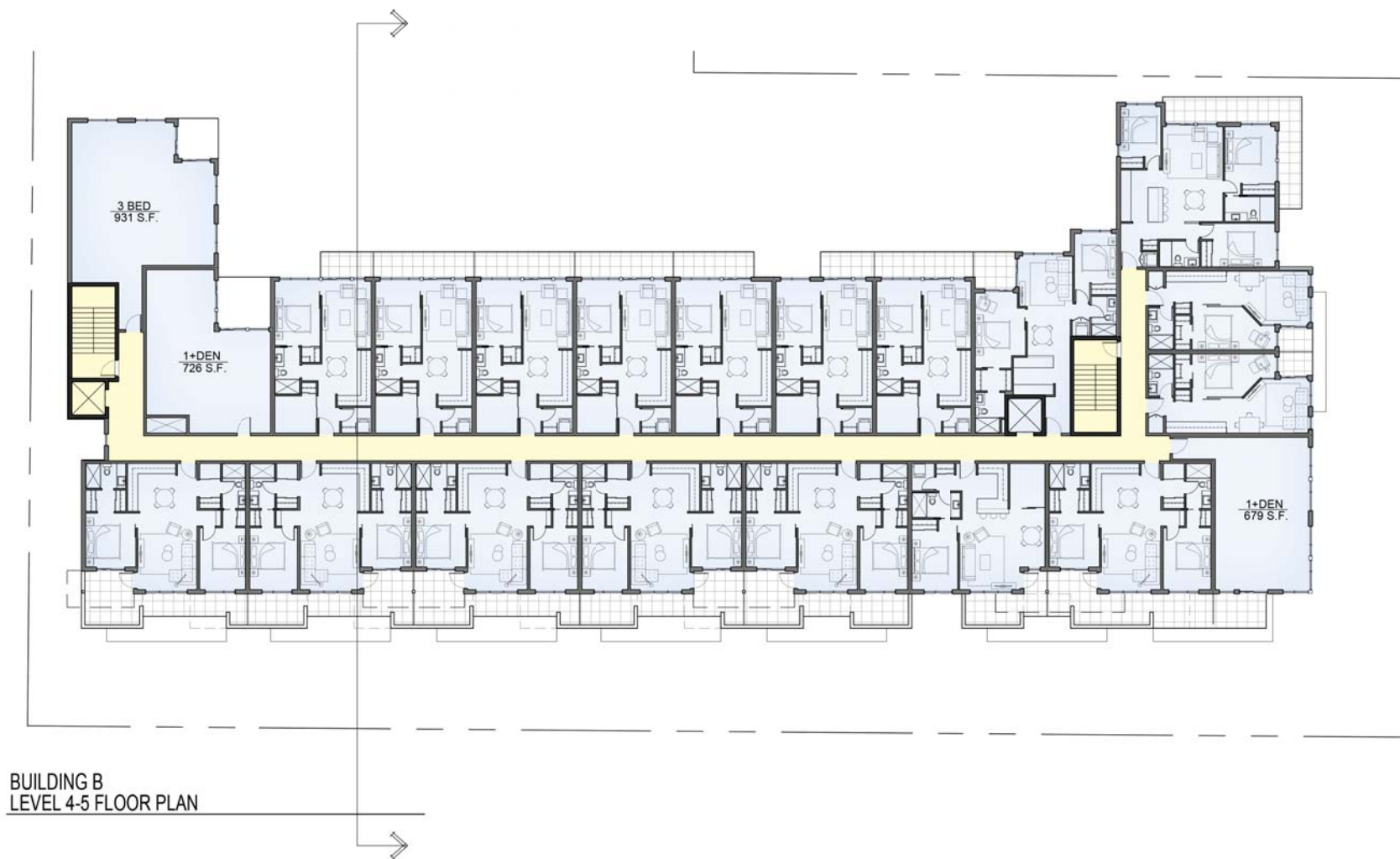


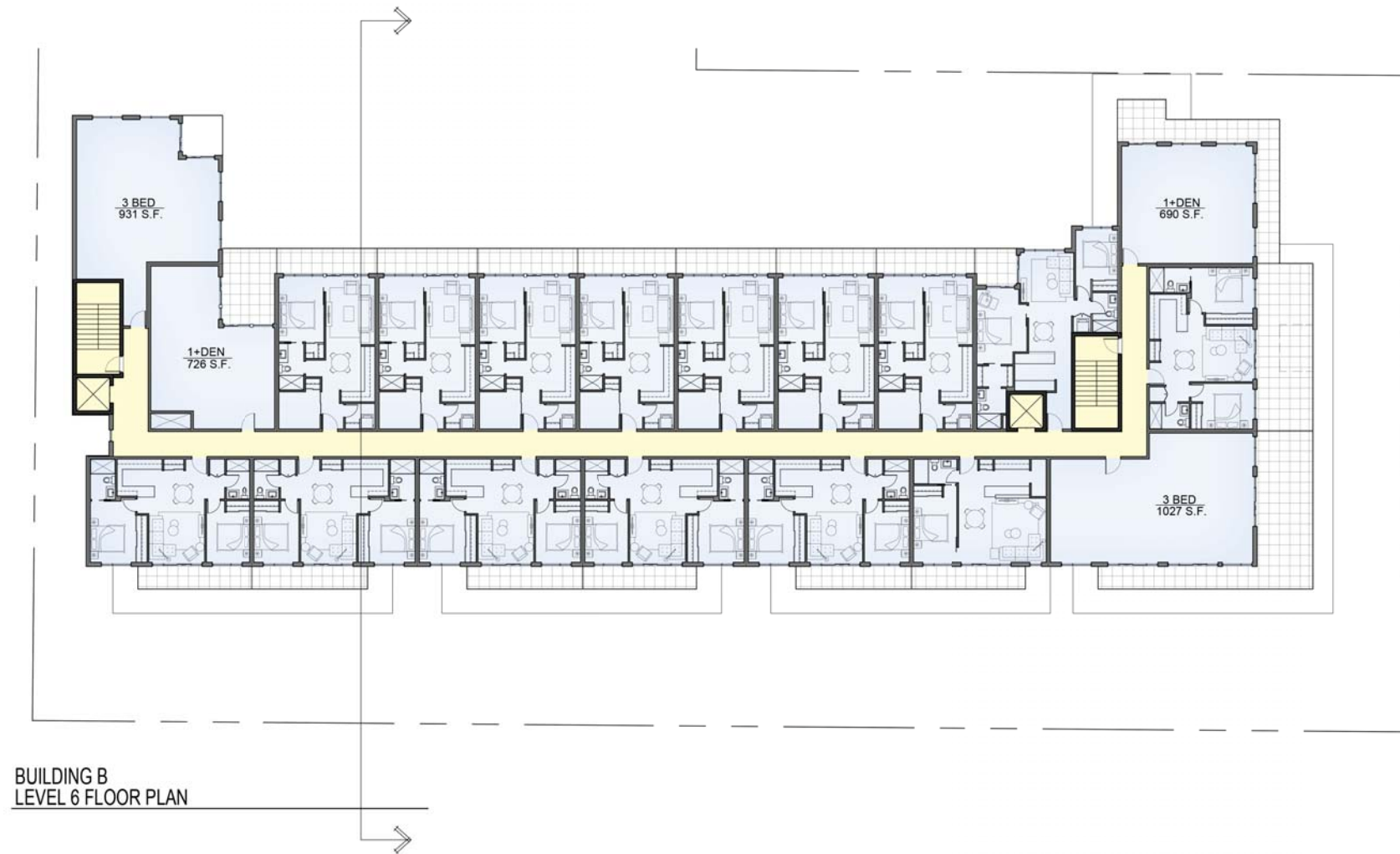
BUILDING B
LEVEL 1 FLOOR PLAN





BUILDING B
LEVEL 3 FLOOR PLAN





AFFORDABLE HOUSING 21 UNITS

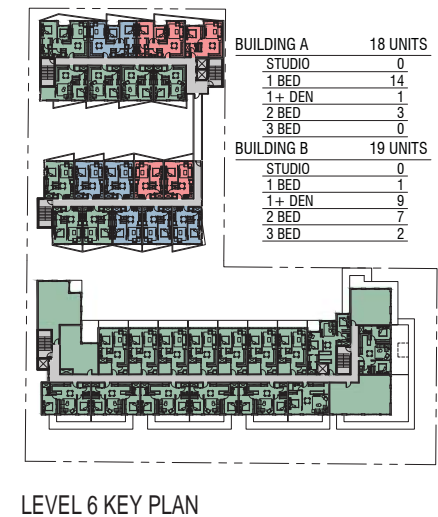
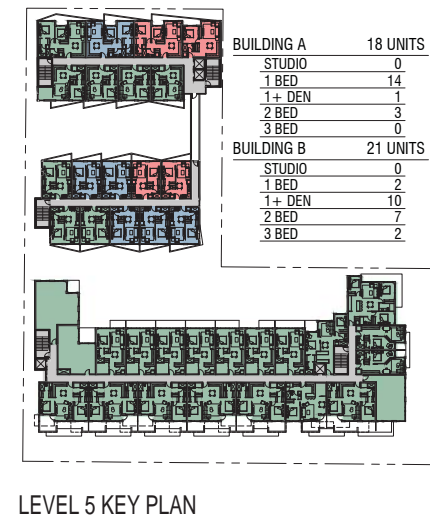
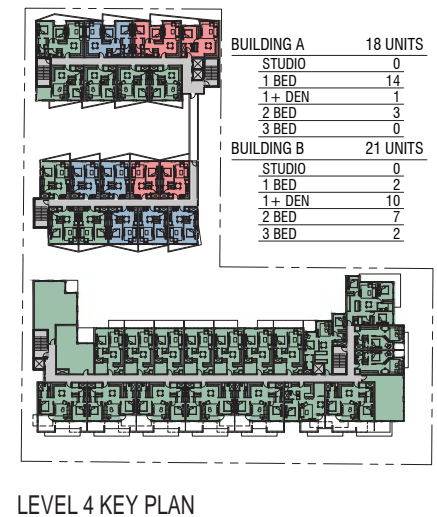
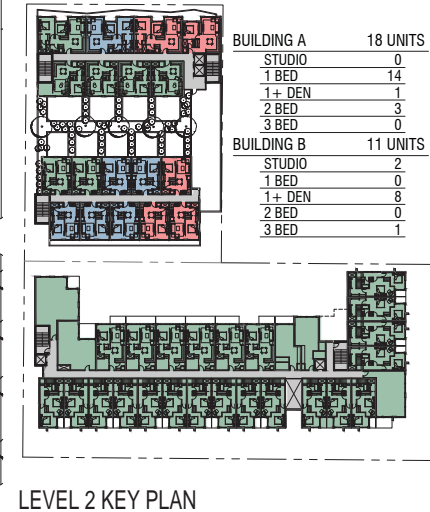
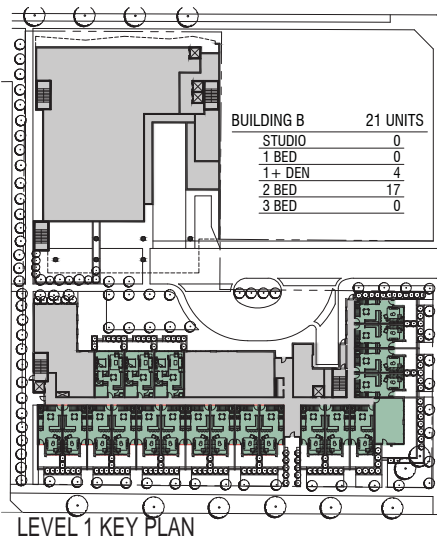
BUILDING A	21 UNITS
STUDIO	0
1 BED	16
1+ DEN	0
2 BED	5
3 BED	0
BUILDING B	0 UNITS
STUDIO	0
1 BED	0
1+ DEN	0
2 BED	0
3 BED	0

MARKET RENTAL 32 UNITS

BUILDING A	32 UNITS
STUDIO	0
1 BED	27
1+ DEN	0
2 BED	5
3 BED	0
BUILDING B	0 UNITS
STUDIO	0
1 BED	0
1+ DEN	0
2 BED	0
3 BED	0

MARKET STRATA 157 UNITS

BUILDING A	37 UNITS
STUDIO	0
1 BED	27
1+ DEN	5
2 BED	5
3 BED	0
BUILDING B	120 UNITS
STUDIO	2
1 BED	20
1+ DEN	50
2 BED	39
3 BED	9





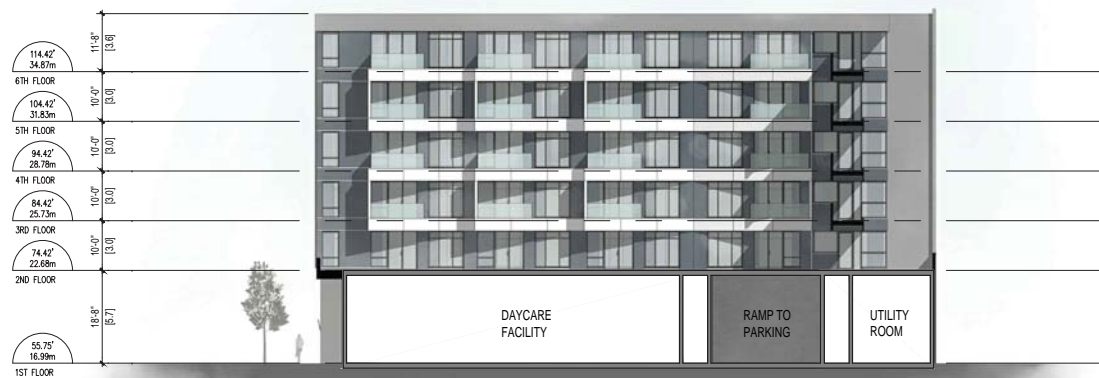
BUILDING A - NORTH ELEVATION



BUILDING A - SOUTH ELEVATION



BUILDING A COURTYARD - NORTH ELEVATION



BUILDING A COURTYARD - SOUTH ELEVATION



BUILDING B - SOUTH ELEVATION



BUILDING B - NORTH ELEVATION



BUILDING A & B - WEST ELEVATION



BUILDING A - EAST ELEVATION

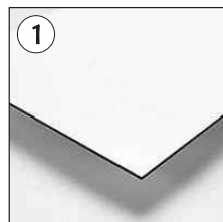


BUILDING B - EAST ELEVATION

1 8 10 9 4 3 2



BUILDING A



METAL PANEL - WHITE



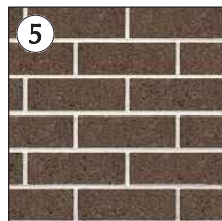
METAL PANEL - CHARCOAL



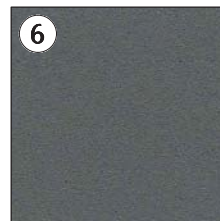
CORRUGATED METAL SIDING - BLACK



STUCCO - WHITE



BROWN BRICK



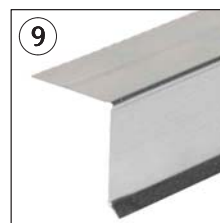
EIFS - DARK GREY



METAL CLADDING - WOODGRAIN



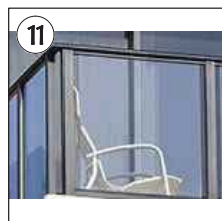
METAL SOFFITS - WOODGRAIN



ALUMINUM FLASHING - SILVER/GREY



ALUMINUM FLASHING - BLACK

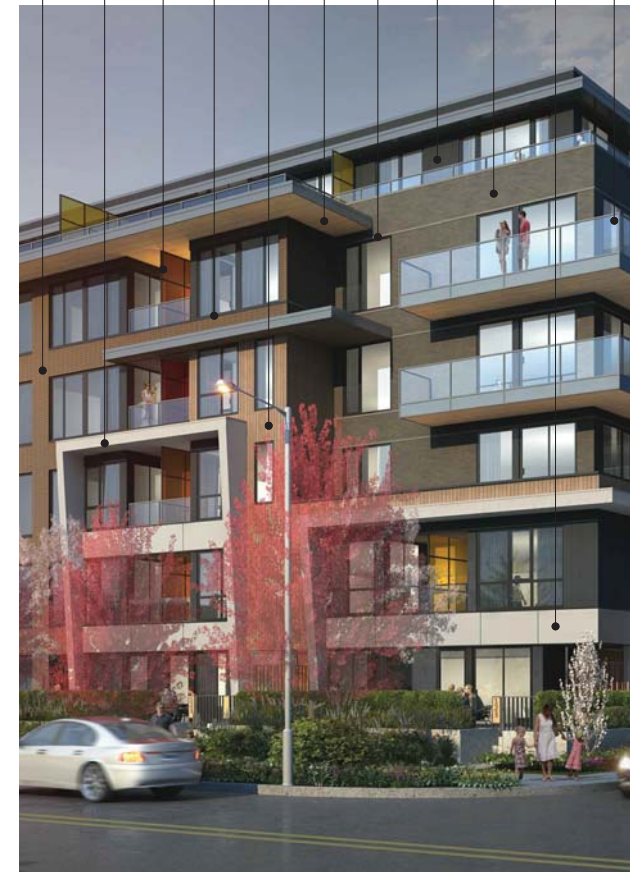


ALUMINUM/GLASS GUARDRAIL - CLEAR/BLACK

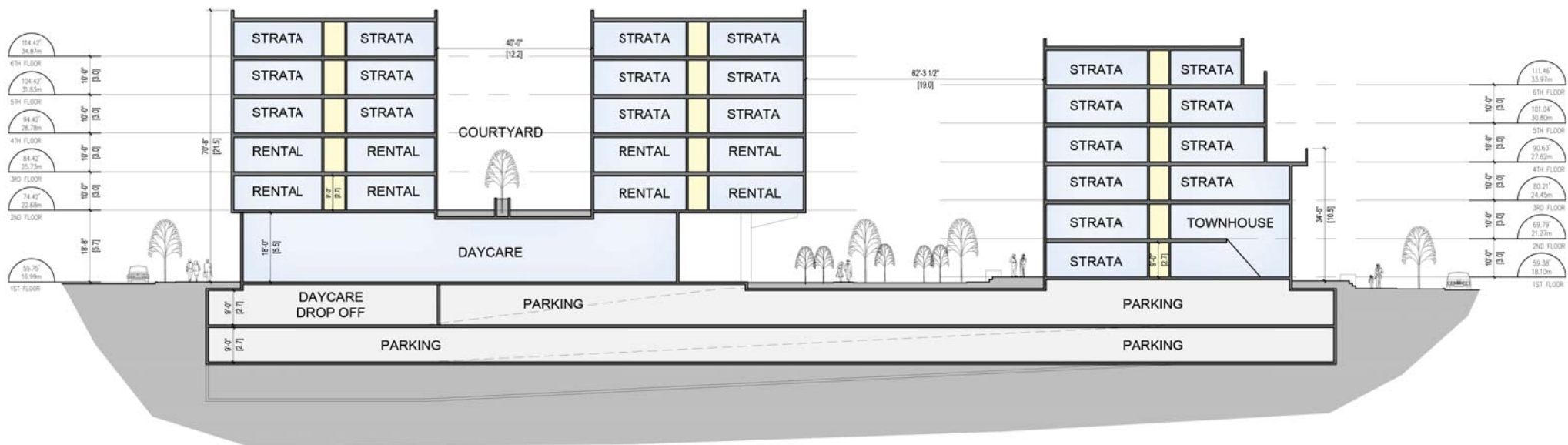


OPAQUE GLASS PRIVACY SCREEN - YELLOW/ORANGE/RED

5 4 12 10 7 8 9 3 6 1 11



BUILDING B



NORTH-SOUTH SECTION



ST JOHN'S STREET LOOKING SOUTHEAST



BULLER & ST ANDREWS LOOKING SOUTHWEST



ST GEORGES & BULLER LOOKING NORTHWEST



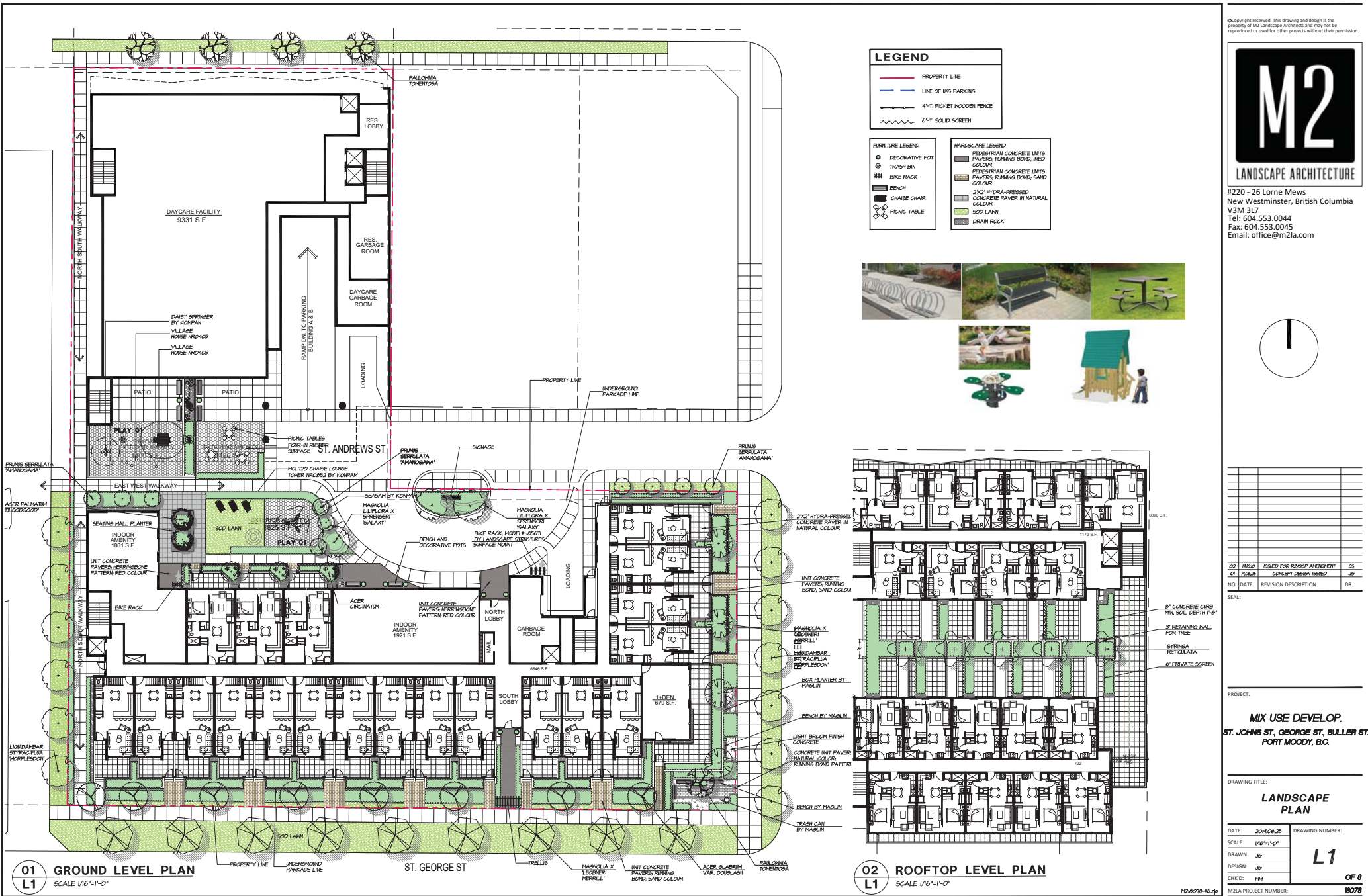
ST GEORGE STREET TOWNHOMES



ST ANDREWS STREET LOOKING WEST



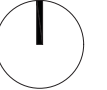
ST JOHNS STREET LOOKING SOUTHEAST



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02	M2LA	ISSUED FOR RDCP AMENDMENT	SS
01	M2LA	CONCEPT DESIGN ISSUED	JS
NO.	DATE	REVISION DESCRIPTION	DR.
SEAL:			

PROJECT:

MIX USE DEVELOP.

ST. JOHN ST., GEORGE ST., BULLER ST., PORT MOODY, B.C.

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 2014.06.25 DRAWING NUMBER: L1

SCALE: 1/16"=1'-0"

DRAWN BY: JS

DESIGN: JS

CHECK: HM

M2LA PROJECT NUMBER: 18078

