

# Rock Ridge

## Issue - Rezoning Clarification

### Tuesday, October 22, 2019

Civic Address:  
44, 48, 52, 56, 60 Seaview Drive, Port Moody, BC

Development Permit Number: N/A

Building Permit Number: N/A

Note: Drawings only to scale when printed on 24x36 sheets



#### CONTACT LIST

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Architectural	Integra Architecture Inc. 2330-200 Granville Street Vancouver BC V6C 1S4	Duane Siegrist Steve Wait	604.688.4220	<a href="mailto:duanesiegrist@integra-arch.com">duanesiegrist@integra-arch.com</a> <a href="mailto:steve@integra-arch.com">steve@integra-arch.com</a>
Civil	Vector Engineering Ltd. 3375 Norland Avenue Burnaby BC V5B 3A9	Vic Sagorski	604.298.2333	<a href="mailto:vic@vectoreng.ca">vic@vectoreng.ca</a>
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Authority	City of Port Moody 100 Newport Drive Port Moody BC V3H 5C3			

#### Architectural Drawing Issues

2018-04-13 Issue 1 - Preliminary Inquiry

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**ALLAIRE**

(ARCHITECT SEAL)

(CLIENT)

**Allaire Group**

(PROJECT)

**Rock Ridge**  
44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Cover Sheet**

(PROJECT)

**18443**

(SCALE)

**Tuesday, October 22, 2019**

(DATE)

**Rezoning Clarification**

(ISSUE)

(DRAWING)

**A-0.000**



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**Rock Ridge**  
44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Data Sheet**

(PROJECT)

**As Noted** (SCALE)

**Tuesday, October 22, 2019** (DATE)

**Rezoning Clarification** (ISSUE)

(DRAWING)

**A-0.010**

<b>TH Unit B1a (4 Bed)</b>	L1	663.42		426.04									
4 Bed + 3.5 Bath	L2	692.89			26.87	481.23	1567.97	1	1567.97	145.67	3.6%		
Seaview End Unit	L3	692.89	2049.20		28.32								
<b>TH Unit B1b (3 Bed)</b>	L1	663.42		492.74									
3 Bed + 2.5 Bath + Den	L2	692.89	2049.20		26.87	547.93	1501.27	1	1501.27	139.47	3.6%		
Seaview End Unit	L3	692.89			28.32								
<b>TH Unit B1c (3 Bed)</b>	L1	663.42		492.74									
3 Bed + 2.5 Bath + Den	L2	692.89	2049.20		26.87	547.93	1501.27	1	1501.27	139.47	3.6%		
Seaview End Unit	L3	692.89			28.32								
<b>TH Unit B1d (4 Bed)</b>	L1	663.42		426.04									
4 Bed + 3.5 Bath	L2	692.89	2049.20		26.87	481.23	1567.97	1	1567.97	145.67	3.6%		
Seaview End Unit	L3	692.89			28.32								
<b>TH Unit B2a (3 Bed)</b>	L1	682.79		586.80									
3 Bed + 2.5 Bath	L2	682.79	2048.37			586.80	1461.57	2	2923.14	271.57	7.1%		
Laneway End Unit	L3	682.79											
<b>TH Unit B2b (3 Bed)</b>	L1	682.79		586.80									
3 Bed + 2.5 Bath	L2	682.79	2048.37			586.80	1461.57	2	2923.14	271.57	7.1%		
Laneway End Unit	L3	682.79											
<b>Total</b>													

#### OFF-STREET PARKING

<b>Townhouse Parking</b>													
Residential Parking	1.5	Spaces Per Unit					42	Spaces Required	56	Spaces Provided			
Visitor Parking	6	Spaces Required (As per City)						6	Spaces Required	6	Spaces Provided		
Disabled Parking	1	Space For Every 100 Parking Spaces						0	Spaces Required	0	Spaces Provided		
Max. Small Cars	0.25	of Provided Spaces						14	Spaces Max.	12	Spaces Provided		

<b>Parking Space Dimensions</b>													
	Required (Width x Length x Height)						Provided (width x Length x Height)						
Standard Space	2.6m (8.53 FT) x 5.6m (18.37 FT) x 2.1m (6.89 FT)						2.7m (8.54 FT) x 5.61m (18.42 FT) x Varies						
Small Cars	2.5m (8.20 FT) x 5.1m (16.73 FT) x 2.1m (6.89 FT)						2.6m (8.25 FT) x 5.11m (16.75 FT) x Varies						
Min. Distance to Continuous Wall	0.3m (0.98 FT) (1'-0")						0.3m (0.98 FT) (1'-0")						
Min. Drive Aisle Width	6.1m (20.0 FT) (20'-0")						6.1m (20.0 FT) (20'-0")						
Min. Maneuvering Aisle Width	6.7m (22.0 FT) (22'-0")						6.7m (22.0 FT) (22'-0")						

#### BICYCLE STALLS

<b>Townhouse Bicycle Spaces</b>													
Bicycle Spaces Required	2.0	Bicycle Stalls Per Unit							56	Stalls Required			
Bicycle Spaces Provided	2.0	Bicycle Stalls Per Unit							56	Stalls Provided			

#### BUILDING HEIGHT

Note: Maximum Height refers to the vertical distance from the existing grade adjoining a building or structure to the mean point between the highest point of a roof and the highest U/S ceiling line.

	NW	Existing Grades (m)		SW	Average Existing Grade (m)	Height from Existing Grade (m)	Max. Height (m)
BUILDING 1	110.59	NE	SE	110.51	110.06	12.50	122.58
BUILDING 2	108.99			107.77	108.92	12.50	120.82
BUILDING 3	110.55			112.80	111.65	10.50	122.15
BUILDING 4	108.97			111.76	109.89	10.50	120.39

#### Proposed Height

Proposed Height is dictated by the Highest Point of T.O. Roof Structure

Proposed Height (m)

BUILDING 1	122.00
BUILDING 2	120.39
BUILDING 3	121.82
BUILDING 4	119.86

#### Notes:

Note 1: Unit areas are measured to the CL of Party Walls, Exterior of sheathing for Exterior Walls, Exterior of Exterior Concrete Walls, Exterior of Stud / Sheathing of Shaft Walls, Wall Finouts are not included (exterior walls with a width greater than 6")

Note 2: All Electrical Closets and Rooms are excluded from FSR

Note 3: The proposed FAR & GFA excludes Parking Areas, Open to Below Spaces, Porches and Balconies

<b>TH Unit A1e (3 Bed)</b>	L1	608.00		561.29									
3 Bed + 2.5 Bath	L2	637.38	1882.76		8.67	578.03	1304.73	1	1304.73	121.21	3.6%		
Seaview Middle Unit	L3	637.38			8.07								
<b>TH Unit A1f (3 Bed)</b>	L1	608.25		561.54									
3 Bed + 2.5 Bath	L2	637.63	1863.51		8.67	578.28	1305.23	1	1305.23	121.26	3.6%		
Seaview Middle Unit	L3	637.63			8.07								
<b>TH Unit A2 (3 Bed)</b>	L1	605.15		556.23									
3 Bed + 2.5 Bath	L2	605.15	1815.45		10.98	576.27	1239.18	2	2478.36	230.25	7.1%		
Laneway Middle Unit	L3	605.15			9.06								
<b>TH Unit A2a (3 Bed)</b>	L1	604.58		568.36									
3 Bed + 2.5 Bath	L2	604.58	1813.74		10.98	588.40	1225.34	2	2450.68	227.67	7.1%		
Laneway Middle Unit	L3	604.58			9.06								
<b>TH Unit A2b (3 Bed)</b>	L1	604.58		568.36									
3 Bed + 2.5 Bath	L2	604.58	1813.74		10.98	588.40	1225.34	2	2450.68	227.67	7.1%		
Laneway Middle Unit	L3	604.58			9.06								
<b>TH Unit A2c (3 Bed)</b>	L1	604.58		568.36									
3 Bed + 2.5 Bath	L2	604.58	1813.74		10.98	588.40	1225.34	1	1225.34	113.84	3.6%		
Laneway Middle Unit	L3	604.58			9.06								
<b>TH Unit A2d (3 Bed)</b>	L1	605.15		568.93									
3 Bed + 2.5 Bath	L2	605.15	1815.45		10.98	588.97	1226.48	1	1226.48	113.94	3.6%		
Laneway Middle Unit	L3	605.15			9.06								
<b>TH Unit A2e (3 Bed)</b>	L1	605.15		568.93									
3 Bed + 2.5 Bath	L2	605.15	1815.45		10.98	588.97	1226.48	1	1226.48	113.94	3.6%		
Laneway Middle Unit	L3	605.15			9.06								

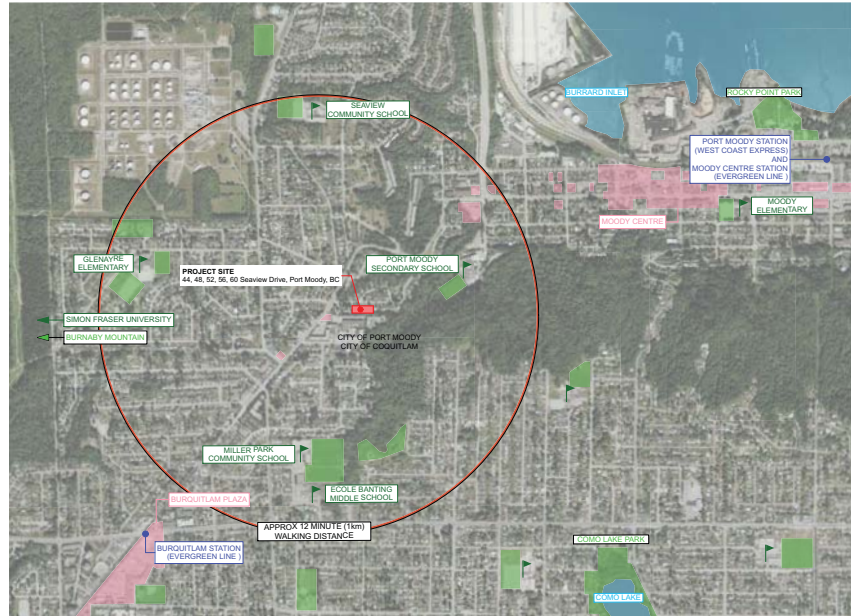




1 Site Location  
NOT TO SCALE



2 Site Location  
NOT TO SCALE



MOODY CENTRE - CLARK ROAD



ROCKY POINT PARK



BURQUITLAM STATION



COMO LAKE PARK



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(CLIENT)

Allaire Group

(PROJECT)

Rock Ridge

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

Context

18443 (PROJECT)

As Noted (SCALE)

Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

(DRAWING)

**A-0.210**





1 South Aerial Perspective of Site  
NOT TO SCALE



2 North-West Aerial Perspective of Site  
NOT TO SCALE



3 North-East Aerial Perspective of Site  
NOT TO SCALE



4 South-East Aerial Perspective of Site  
NOT TO SCALE



5 East Aerial Perspective of Site  
NOT TO SCALE



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44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(STYLE)

**Context**

(PROJECT)

**As Noted**

(SCALE)

**Tuesday, October 22, 2019**

(DATE)

**Rezoning Clarification**

(ISSUE)

(DRAWING)

**A-0.220**





1 CONTEXT PHOTO



2 CONTEXT PHOTO



3 CONTEXT PHOTO



4 CONTEXT PHOTO



5 CONTEXT PHOTO



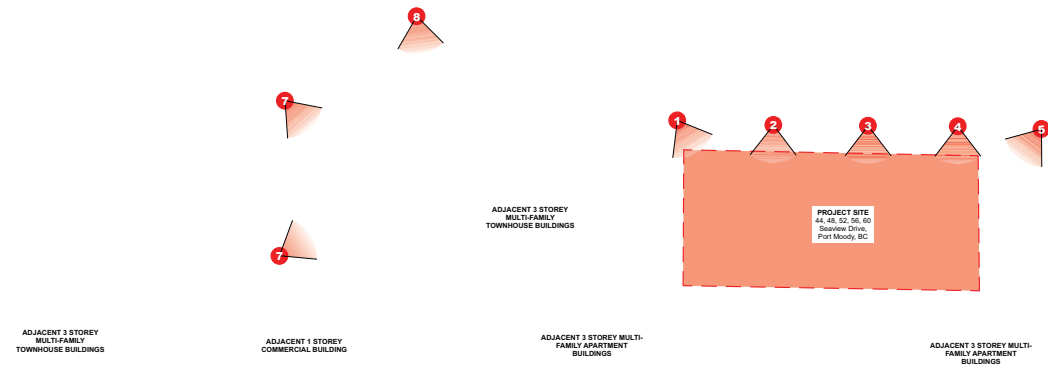
6 CONTEXT PHOTO



7 CONTEXT PHOTO



8 CONTEXT PHOTO



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**Site Context  
Photos**

18443 (PROJECT)

As Noted (SCALE)

Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

(DRAWING)

**A-0.230**



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Port Moody, BC

(TITLE)

**Zoning**

(PROJECT)

**As Noted**

(SCALE)

**Tuesday, October 22, 2019**

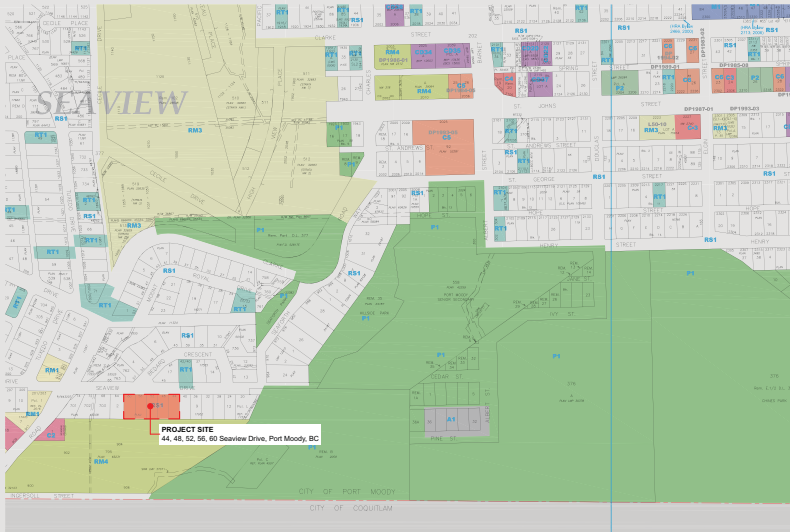
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**Rezoning Clarification**

(ISSUE)

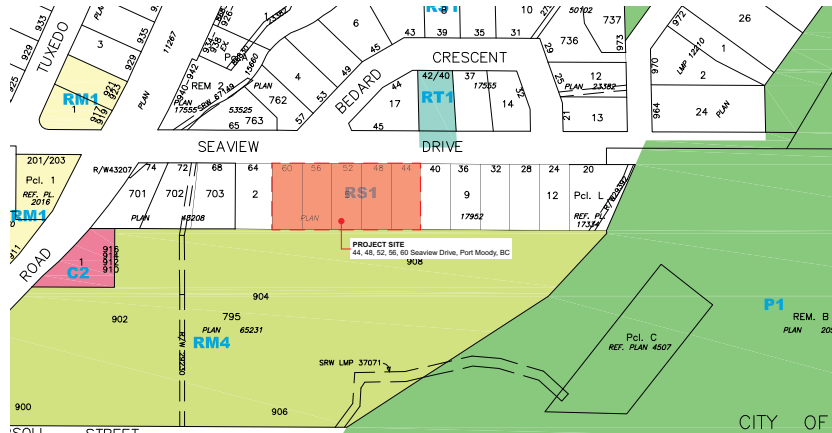
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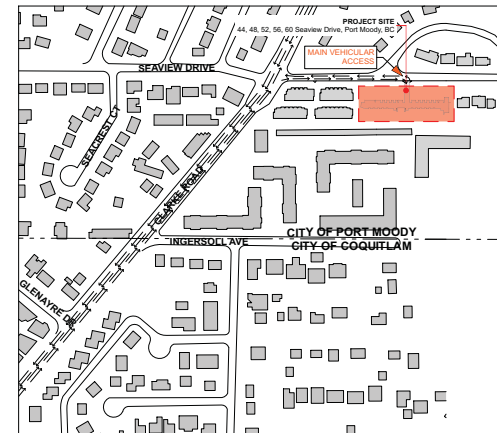
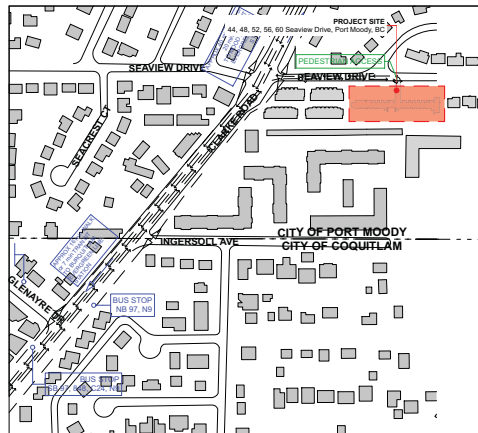
## 1 Port Moody Zoning Map

NOT TO SCALE



## 2 Port Moody Zoning Map

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**Allaire Group**

(PROJECT)

**Rock Ridge**  
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Port Moody, BC

(TITLE)

**Existing Conditions**

(PROJECT)

**18443**

(SCALE)

**As Noted**

(DATE)

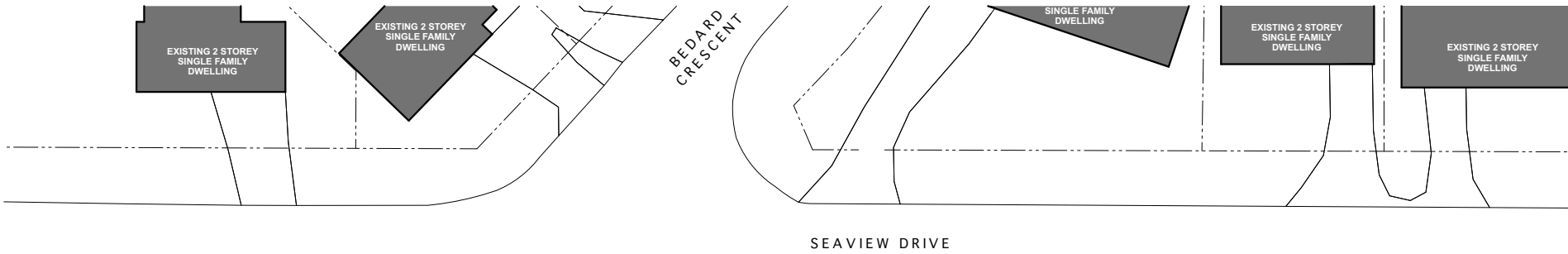
**Tuesday, October 22, 2019**

(ISSUE)

**Rezoning Clarification**

(DRAWING)

**A-0.310**

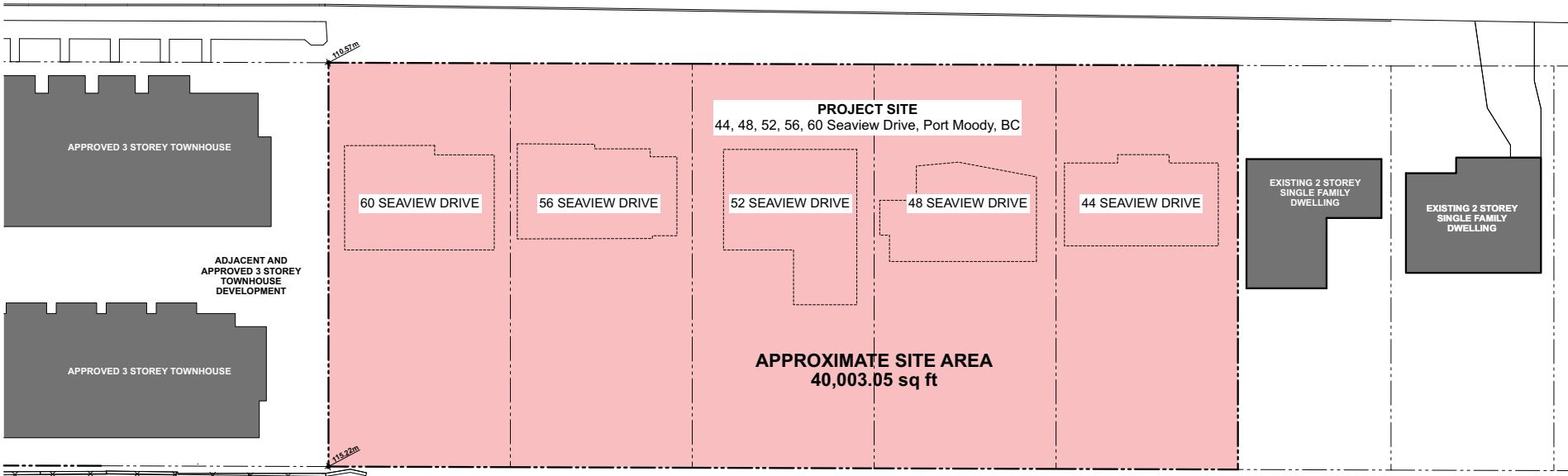


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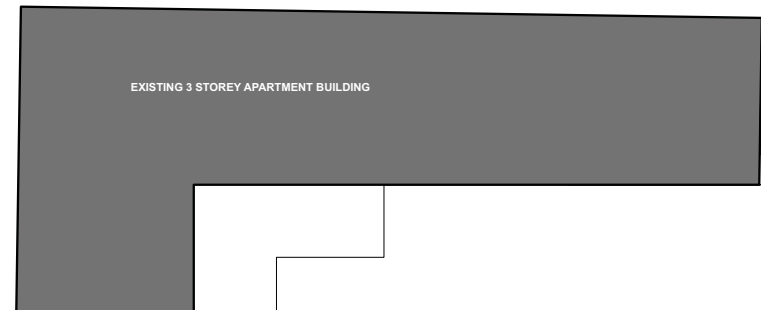
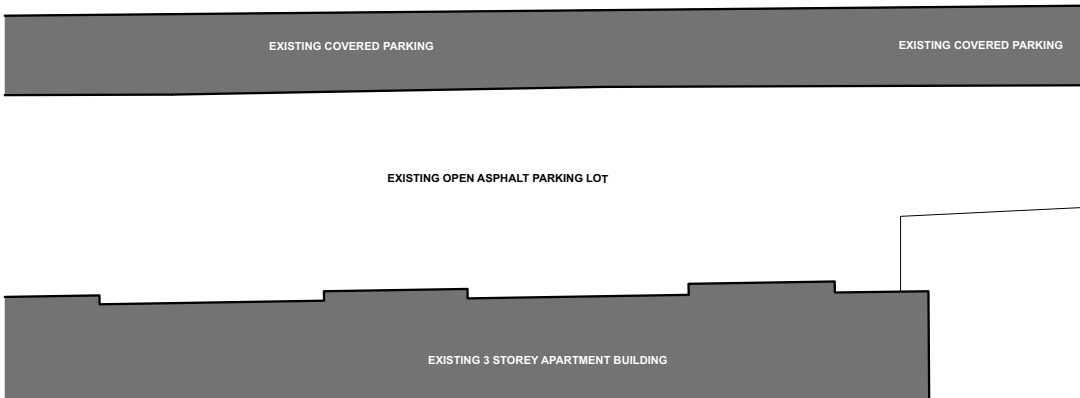
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**Existing Conditions**

(PROJECT)

**18443**

**As Noted**

**Tuesday, October 22, 2019**

**Rezoning Clarification**

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**A-0.320**





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Port Moody, BC

(STYLE)

## Perspective Renders

18443 (PROJECT)

1:1.65 (SCALE)

Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

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**A-0.401**





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## Perspective Renders

18443 (PROJECT)

1:1.65 (SCALE)

Tuesday, October 22, 2019 (DATE)

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**Rock Ridge**  
44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(STYLE)

## Perspective Renders

18443 (PROJECT)

1:1.65 (SCALE)

Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

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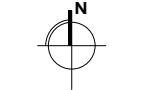
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Port Moody, BC

(TITLE)

Site Plan

18443 (PROJECT)

3/32" = 1'-0" (SCALE)

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**A-1.100**







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Port Moody, BC  
(TITLE)

**Level 1 Floor Plan  
(West)**

18443 (PROJECT)  
1/8" = 1'-0" (SCALE)  
Tuesday, October 22, 2019 (DATE)  
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**A-2.110**







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(TITLE)

**Level 2 Floor Plan  
(West)**

(PROJECT)

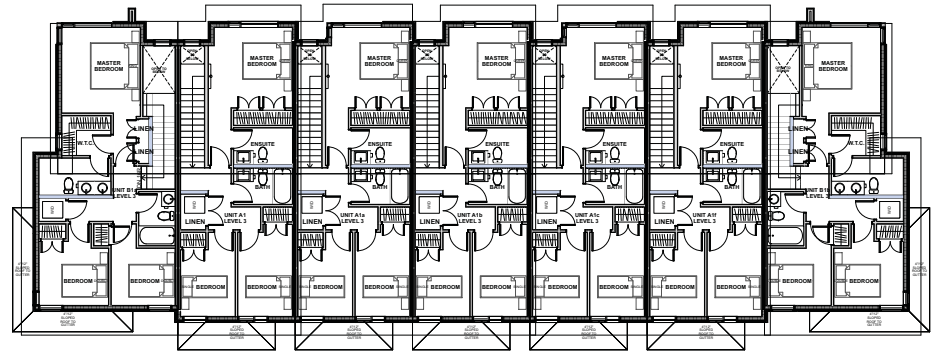
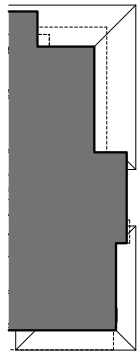
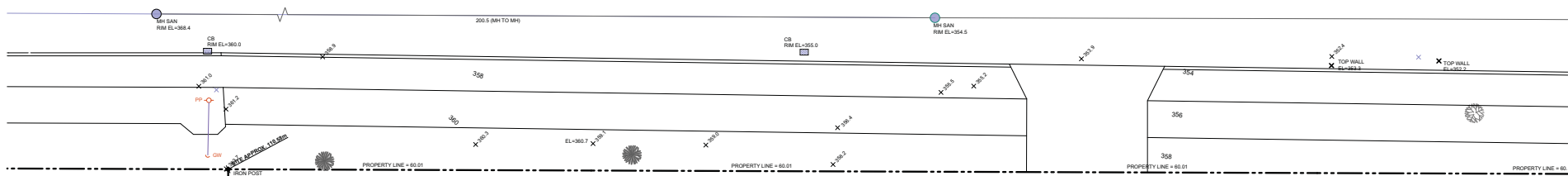
18443 (SCALE)

1/8" = 1'-0" (DATE)

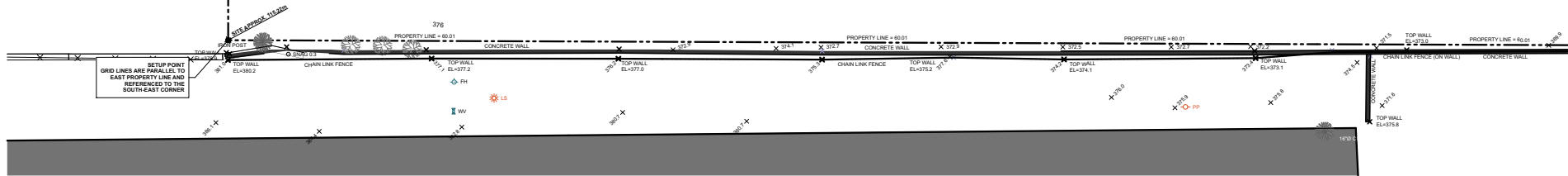
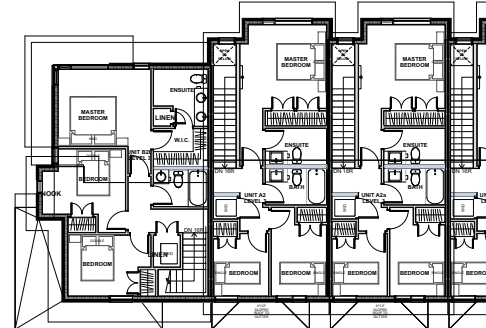
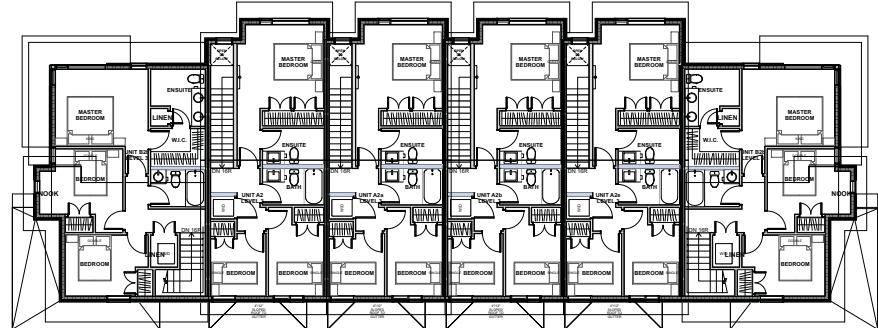
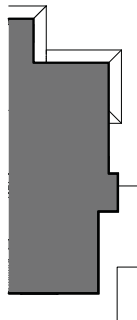
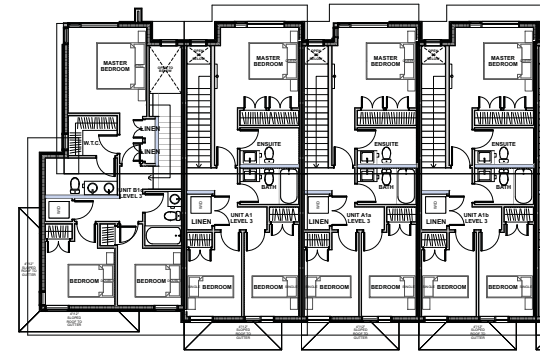
Tuesday, October 22, 2019 (ISSUE)

Rezoning Clarification (DRAWING)

**A-2.120**



PROPOSED DRIVEWAY



**iA**

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(PROJECT TEAM)

(ARCHITECT SEAL)

(CLIENT)

**Allaire Group**

(PROJECT)

**Rock Ridge**

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Level 3 Floor Plan (West)**

18443 (PROJECT)

1/8" = 1'-0" (SCALE)

Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

(DRAWING)

**A-2.130**



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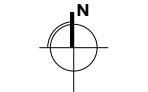
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Allaire Group

(PROJECT)

Rock Ridge

44, 48, 52, 56, 60 Seaview Drive

Port Moody, BC

(TITLE)

Level 1 Floor Plan

(East)

(PROJECT)

18443

(SCALE)

1/8" = 1'-0"

(DATE)

Tuesday, October 22, 2019

(ISSUE)

Rezoning Clarification

(DRAWING)

A-2.210



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**Allaire Group**

(PROJECT)

**Rock Ridge**

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Level 2 Floor Plan  
(East)**

(PROJECT)

18443

(SCALE)

1/8" = 1'-0"

(DATE)

Tuesday, October 22, 2019

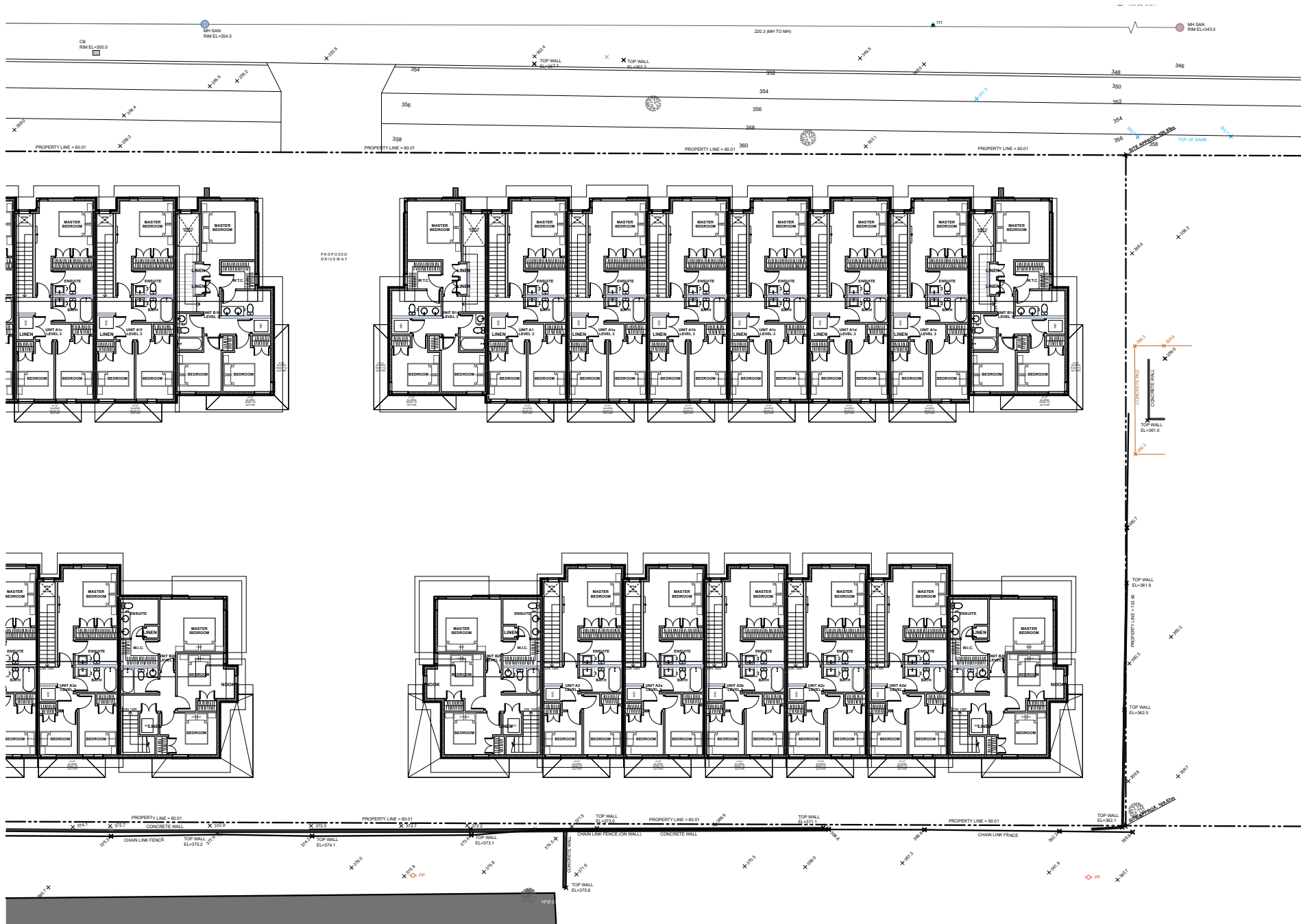
(SHEET)

Rezoning Clarification

(DRAWING)

**A-2.220**







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Rock Ridge

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(TITLE)

**Unit A1**

18443 (PROJECT)

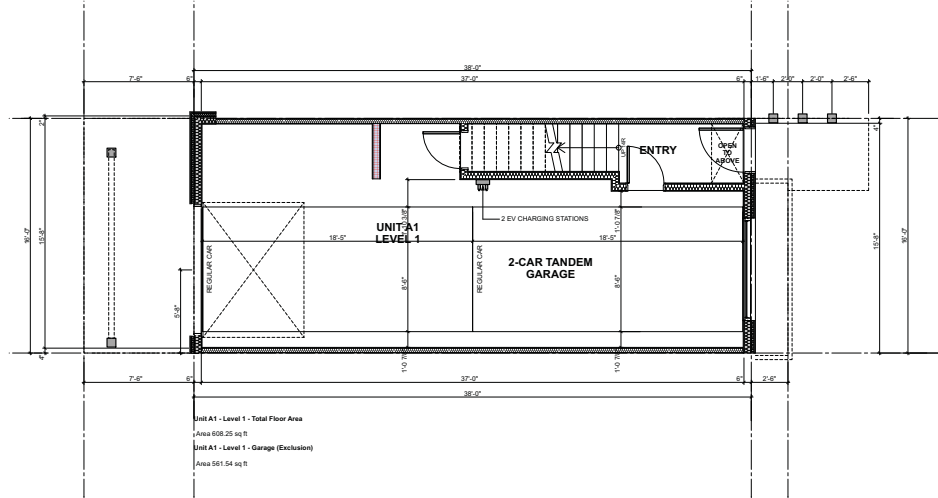
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Tuesday, October 22, 2019 (DATE)

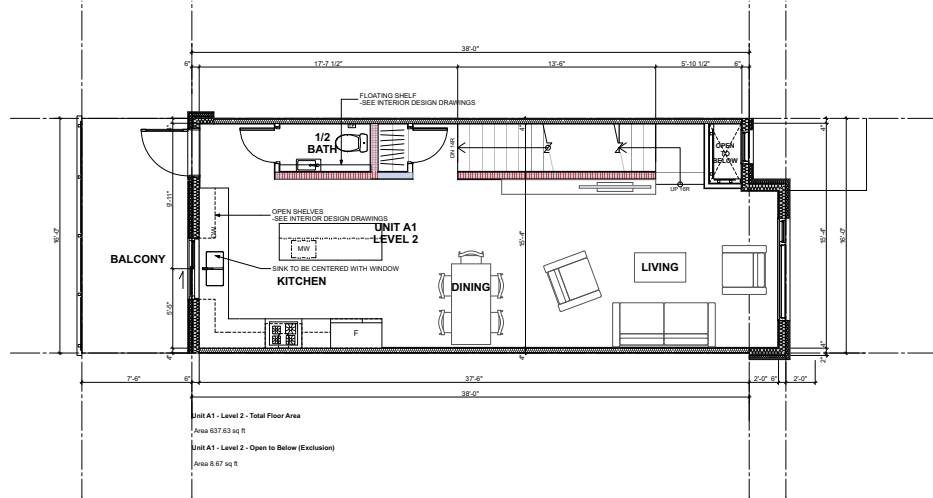
Rezoning Clarification (ISSUE)

(DRAWING)

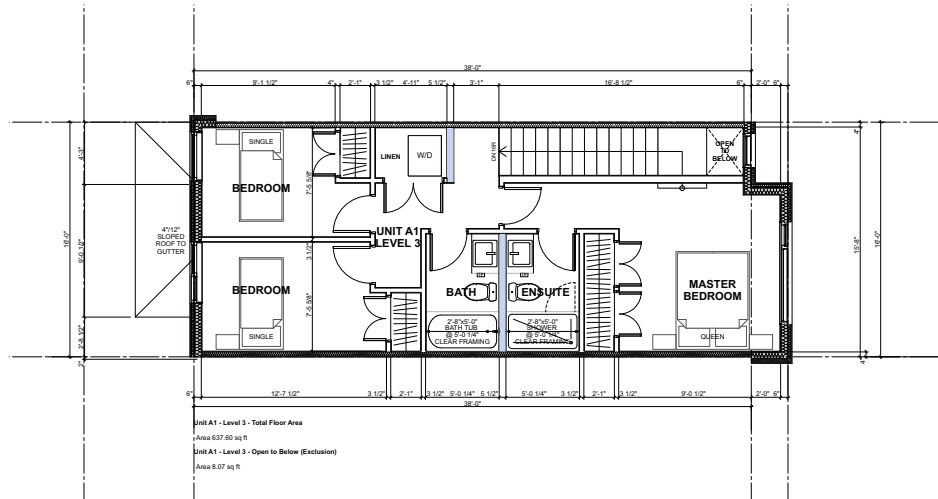
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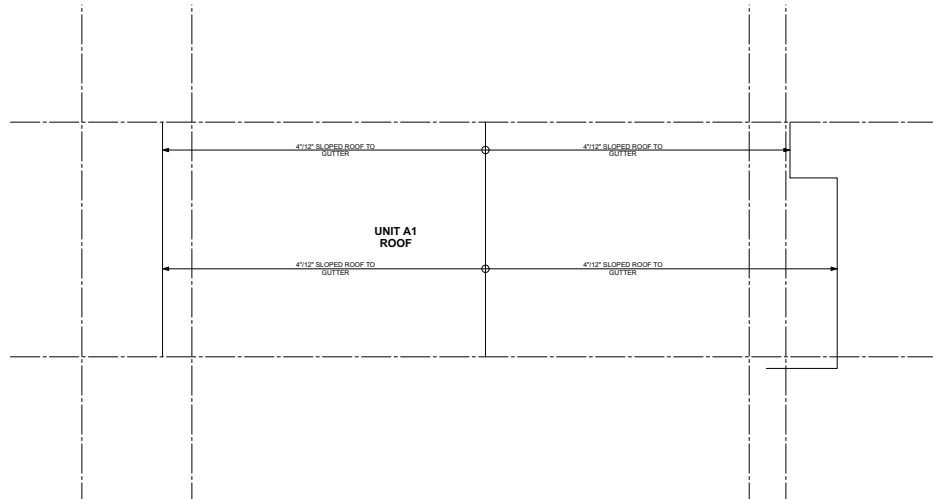
2 Unit A1 - Level 1  
SCALE: 1/4" = 1'-0"



4 Unit A1 - Level 2  
SCALE: 1/4" = 1'-0"



1 Unit A1 - Level 3  
SCALE: 1/4" = 1'-0"



3 Unit A1 - Roof  
SCALE: 1/4" = 1'-0"





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(TITLE)

**Unit A2**

18443 (PROJECT)

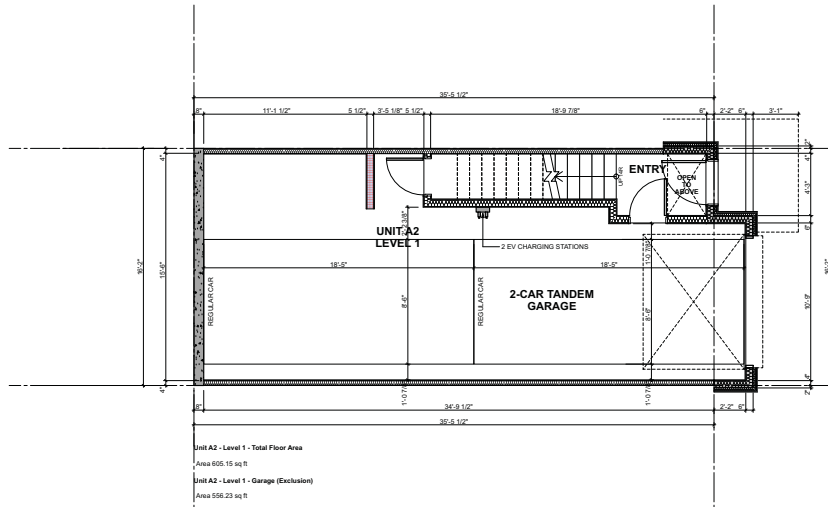
1/4" = 1'-0" (SCALE)

Tuesday, October 22, 2019 (DATE)

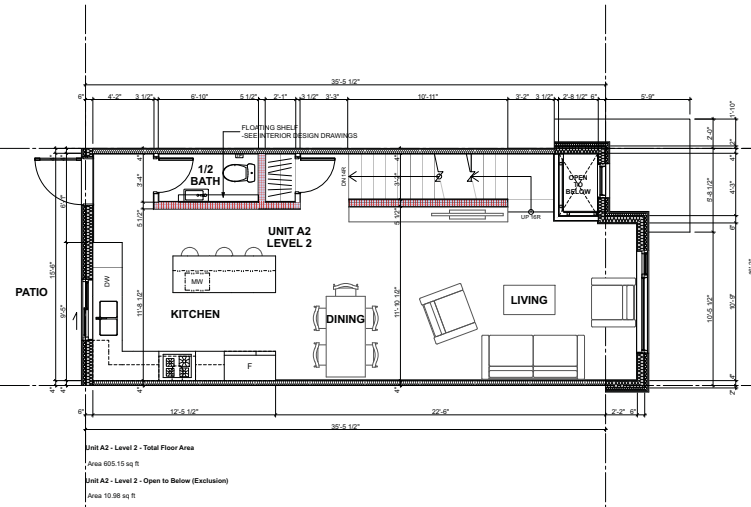
Rezoning Clarification (ISSUE)

(DRAWING)

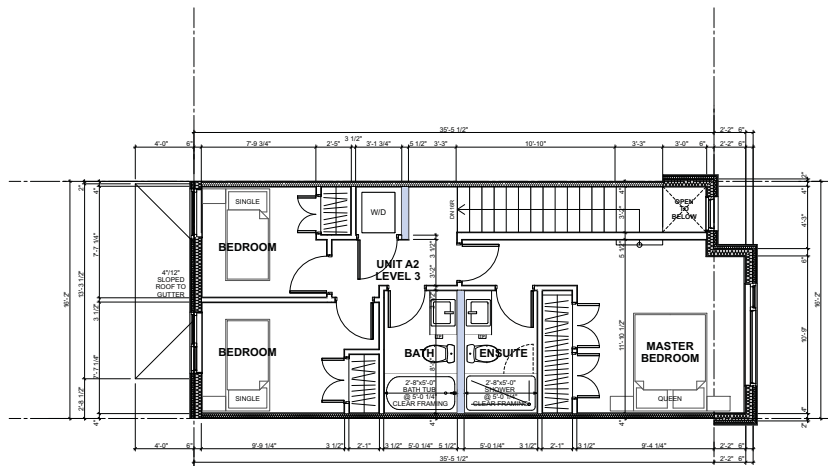
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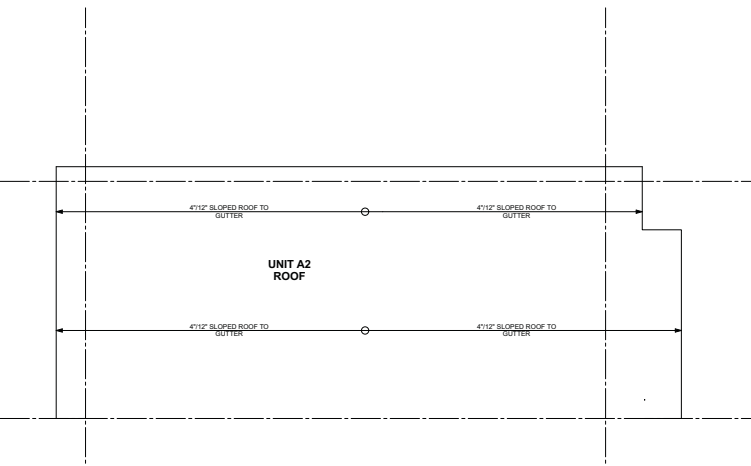
2 Unit A2 - Level 1  
SCALE: 1/4" = 1'-0"



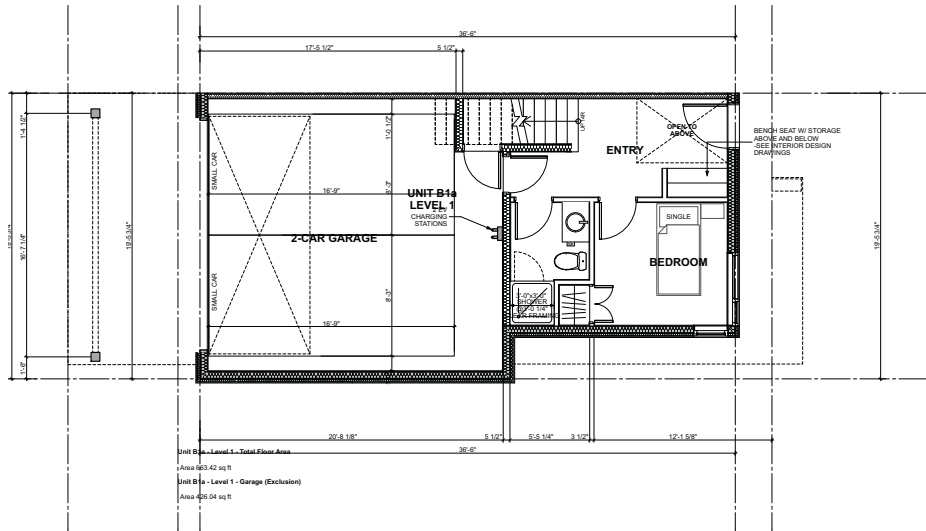
4 Unit A2 - Level 2  
SCALE: 1/4" = 1'-0"



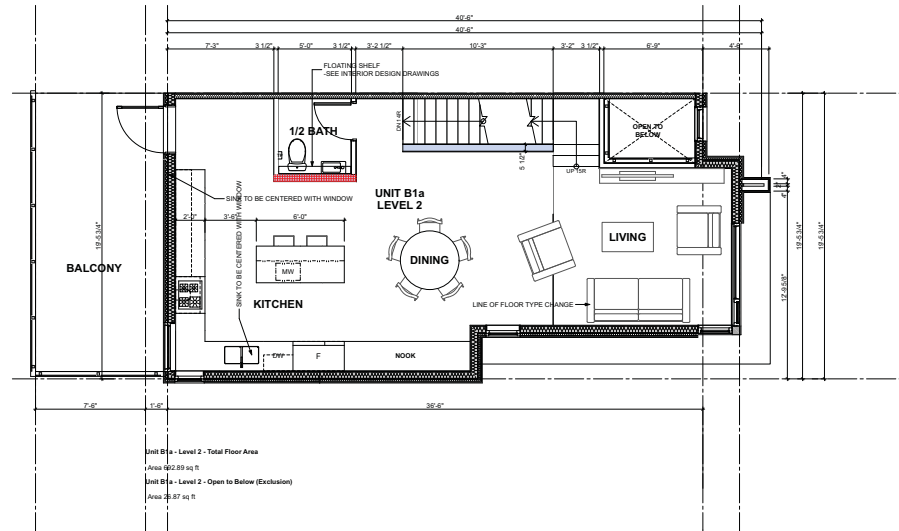
1 Unit A2 - Level 3  
SCALE: 1/4" = 1'-0"



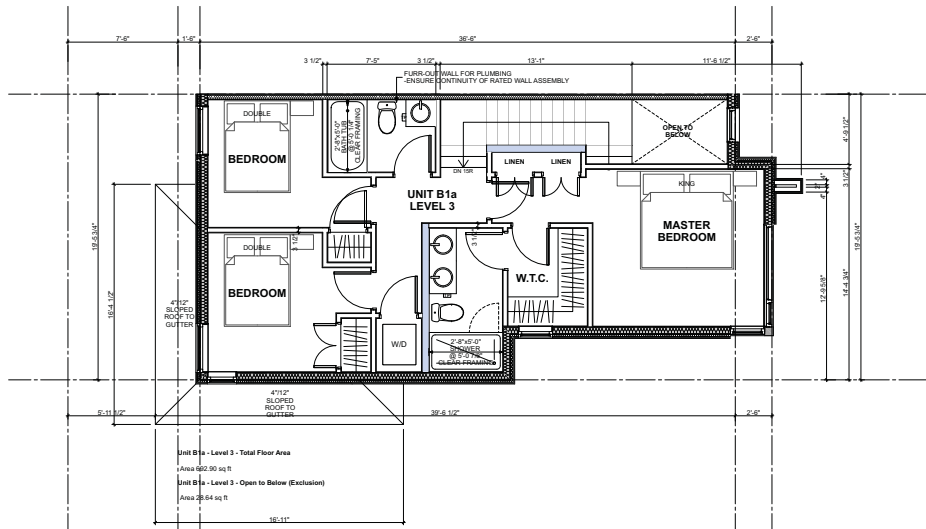
3 Unit A2 - Roof  
SCALE: 1/4" = 1'-0"



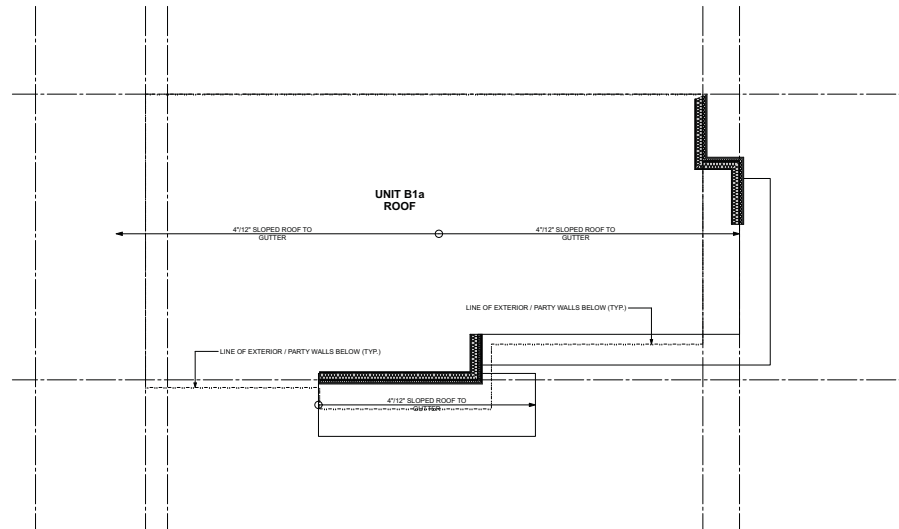
① Unit B1a - Level 1  
SCALE: 1/4" = 1'-0"



② Unit B1a - Level 2  
SCALE: 1/8" = 1'-0"



③ Unit B1a - Level 3  
SCALE: 1/4" = 1'-0"



④ Unit B1a - Roof  
SCALE: 1/4" = 1'-0"



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(TITLE)

**Unit B1a**

18443 (PROJECT)

1/4" = 1'-0" (SCALE)

Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

(DRAWING)

**A-3.211**





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(TITLE)

**Unit B1b**

18443 (PROJECT)

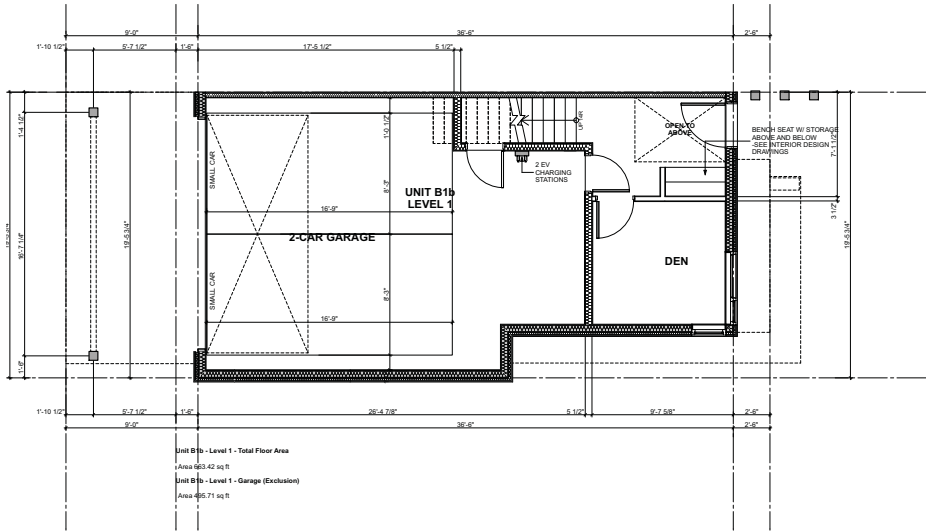
1/4" = 1'-0" (SCALE)

Tuesday, October 22, 2019 (DATE)

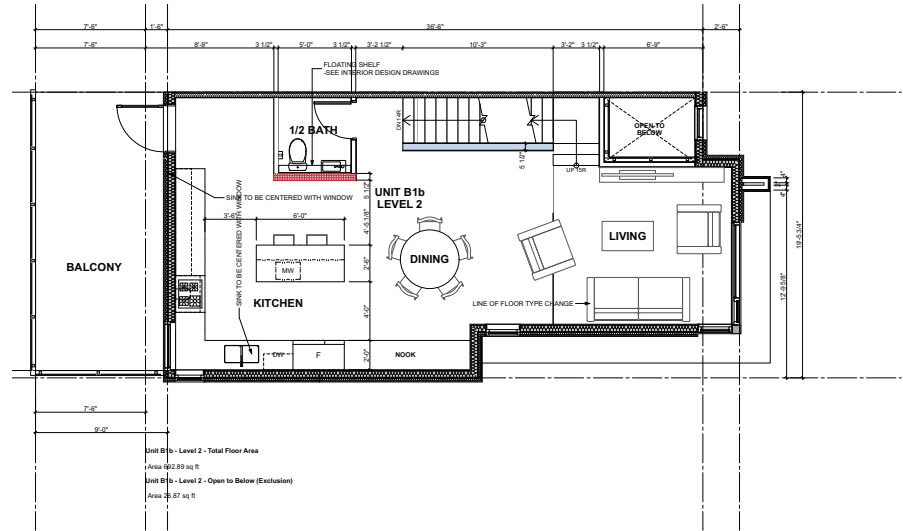
Rezoning Clarification (ISSUE)

(DRAWING)

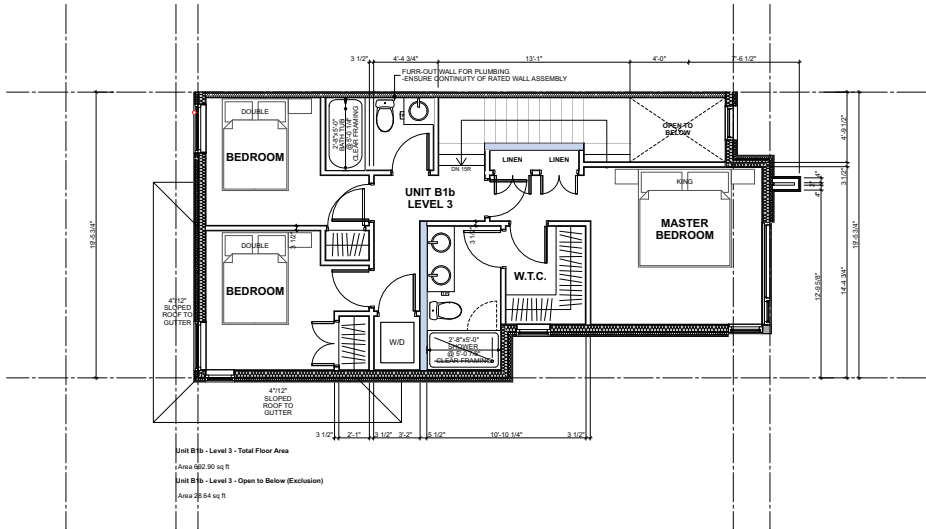
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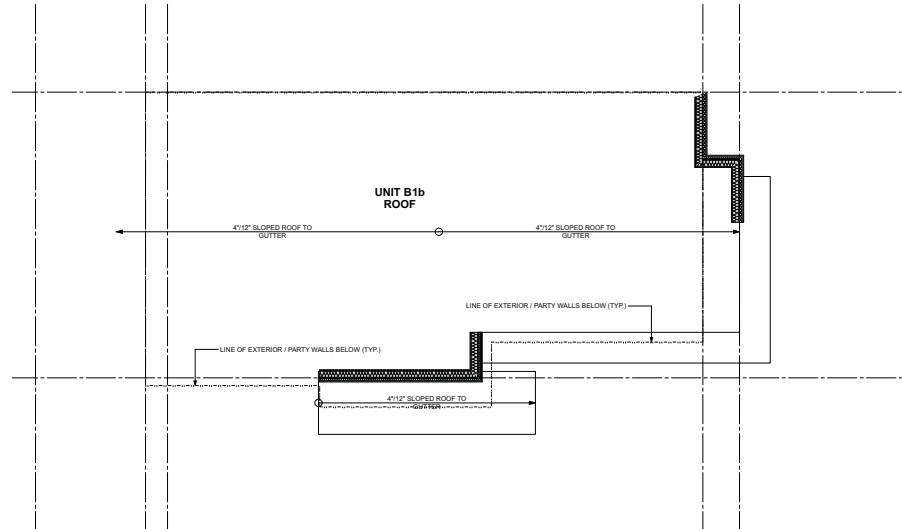
② Unit B1b - Level 1  
SCALE: 1/4" = 1'-0"



④ Unit B1b - Level 2  
SCALE: 1/4" = 1'-0"



① Unit B1b - Level 3  
SCALE: 1/4" = 1'-0"



③ Unit B1b - Roof  
SCALE: 1/4" = 1'-0"



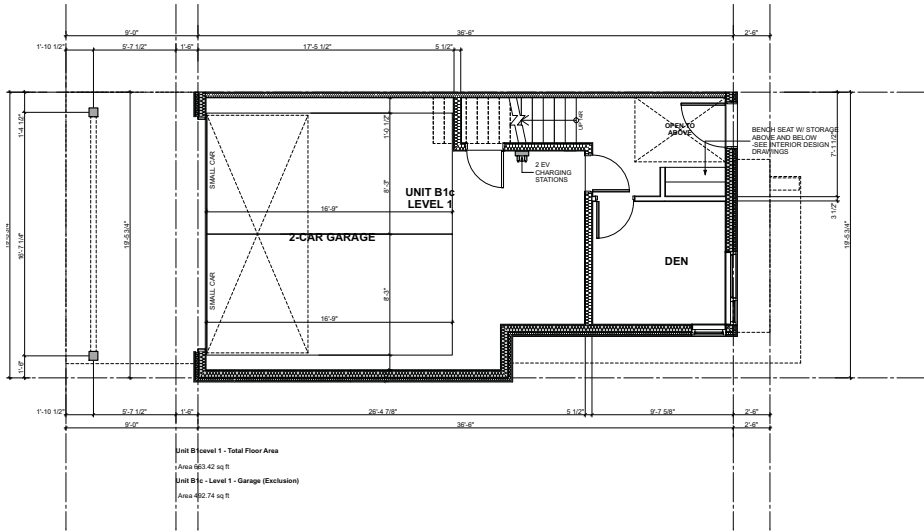
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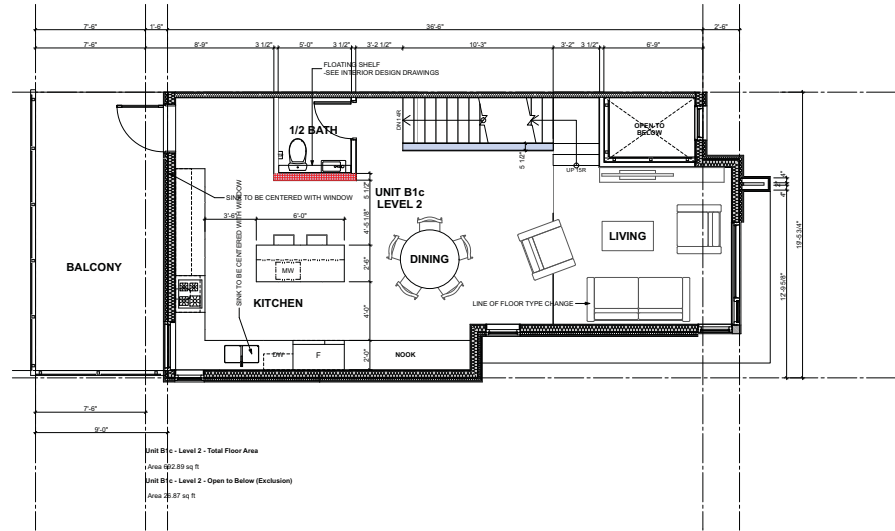
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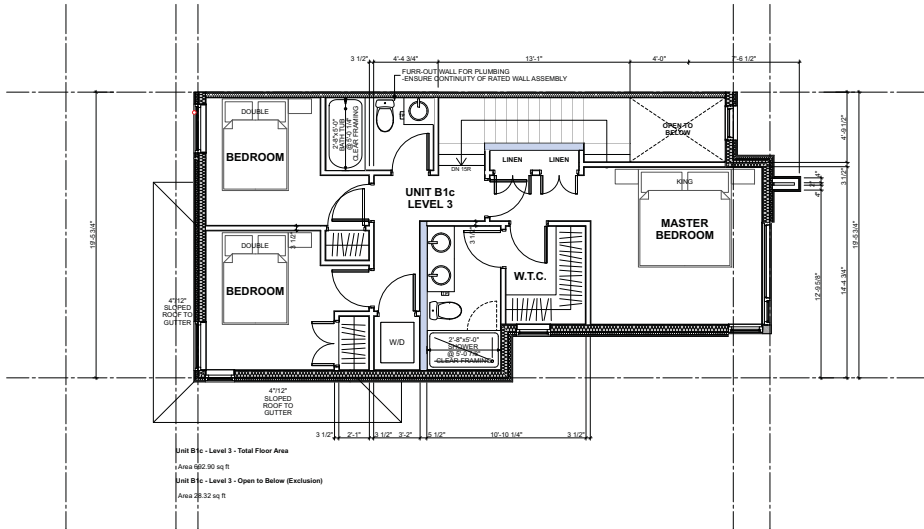
(PROJECT TEAM)  
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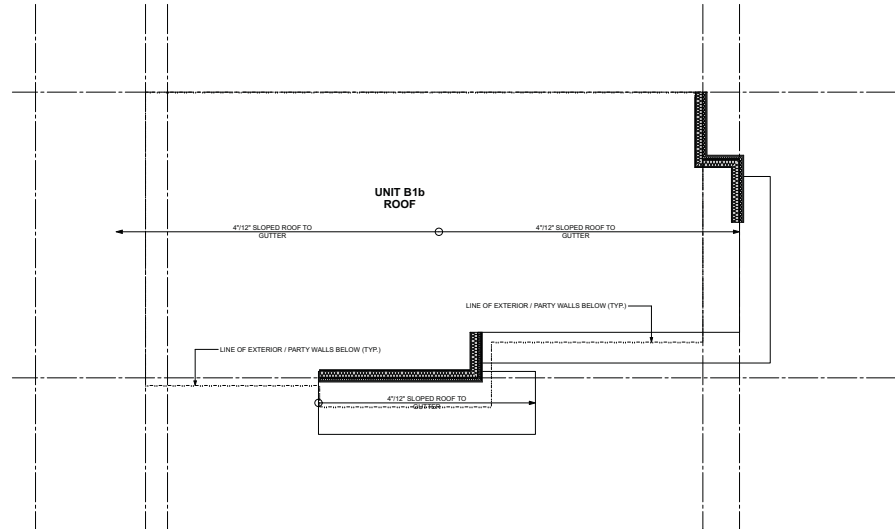
① Unit B1c - Level 1  
SCALE: 1/4" = 1'-0"



② Unit B1c - Level 2  
SCALE: 1/8" = 1'-0"



③ Unit B1c - Level 3  
SCALE: 1/4" = 1'-0"



④ Unit B1c - Roof  
SCALE: 1/4" = 1'-0"

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(TITLE)

Unit B1c

18443 (PROJECT)

1/4" = 1'-0" (SCALE)

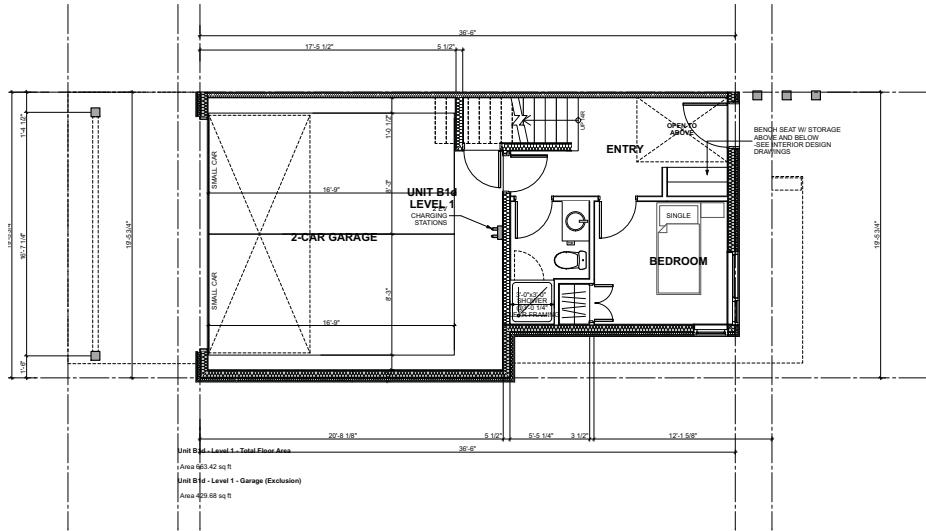
Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

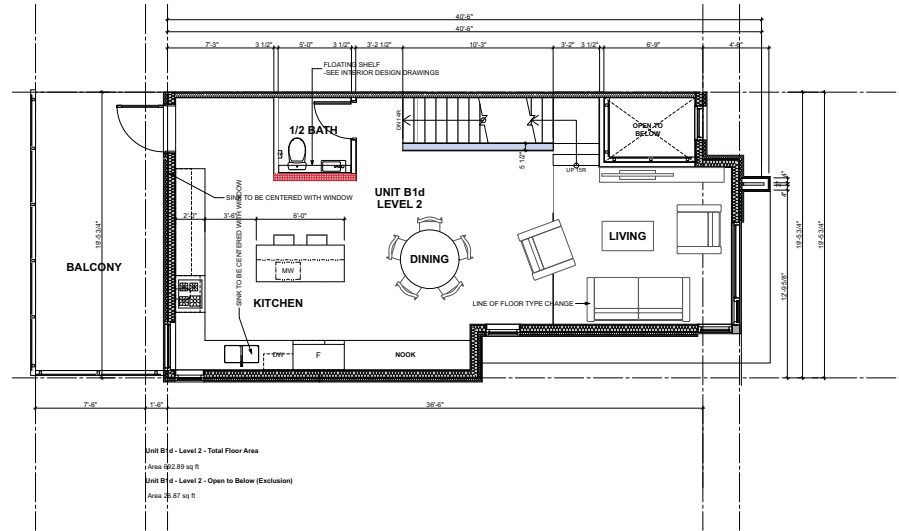
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**A-3.213**

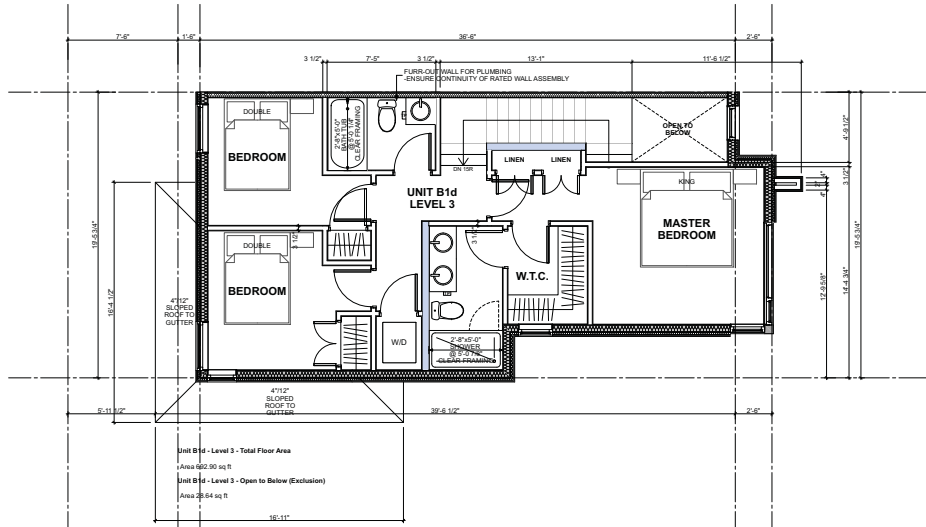




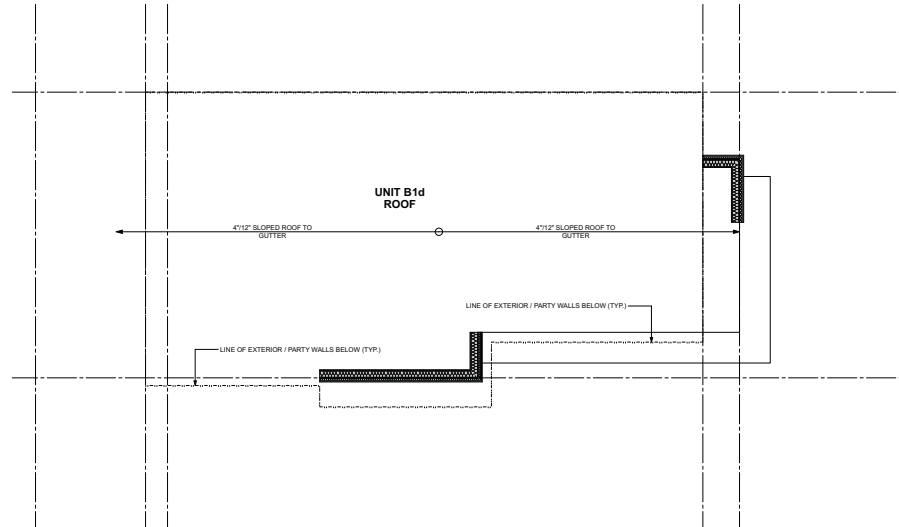
② Unit B1d - Level 1  
SCALE: 1/4" = 1'-0"



④ Unit B1d - Level 2  
SCALE: 1/8" = 1'-0"



① Unit B1d - Level 3  
SCALE: 1/4" = 1'-0"



③ Unit B1d - Roof  
SCALE: 1/4" = 1'-0"



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Rock Ridge

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Port Moody, BC

(TITLE)

Unit B1d

18443 (PROJECT)

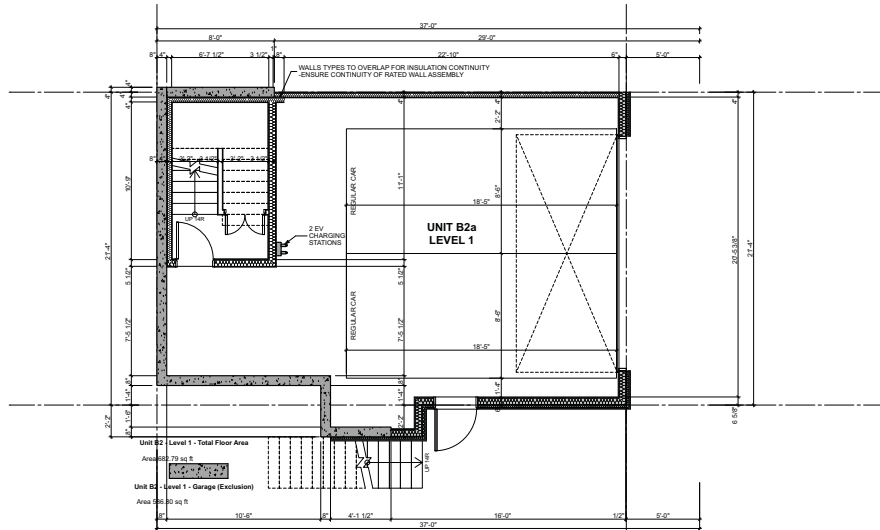
1/4" = 1'-0" (SCALE)

Tuesday, October 22, 2019 (DATE)

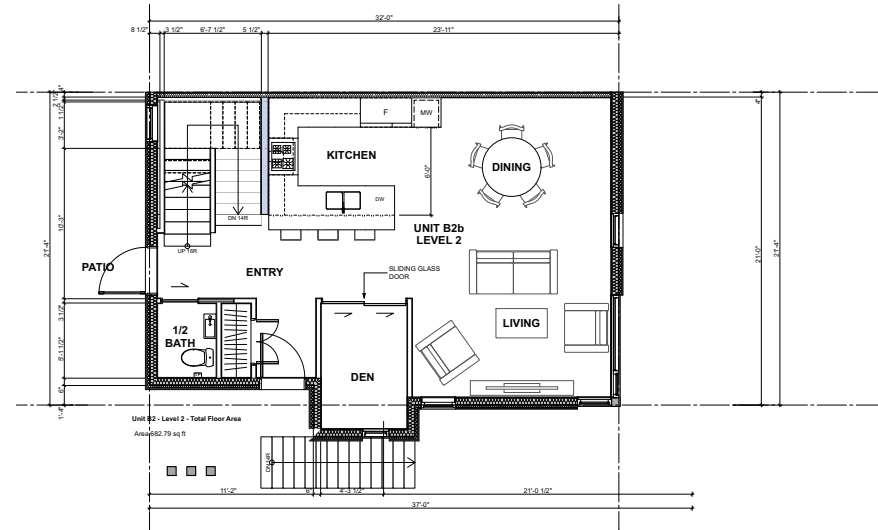
Rezoning Clarification (ISSUE)

(DRAWING)

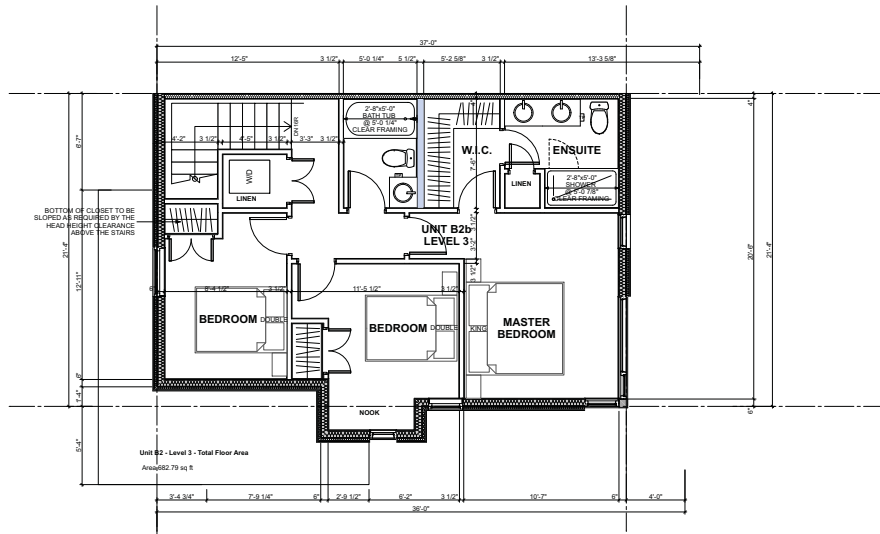
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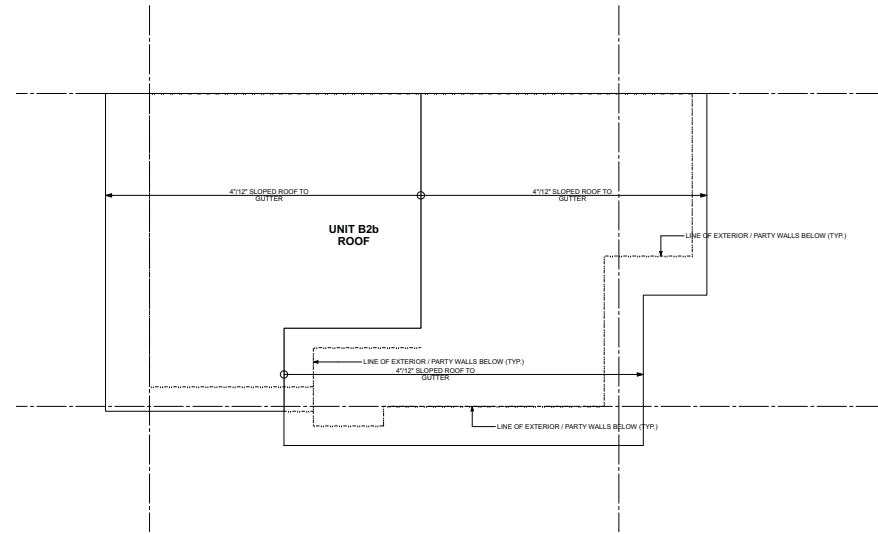
1 Unit B2a - Level 1  
SCALE: 1/4" = 1'-0"



2 Unit B2a - Level 2  
SCALE: 1/4" = 1'-0"

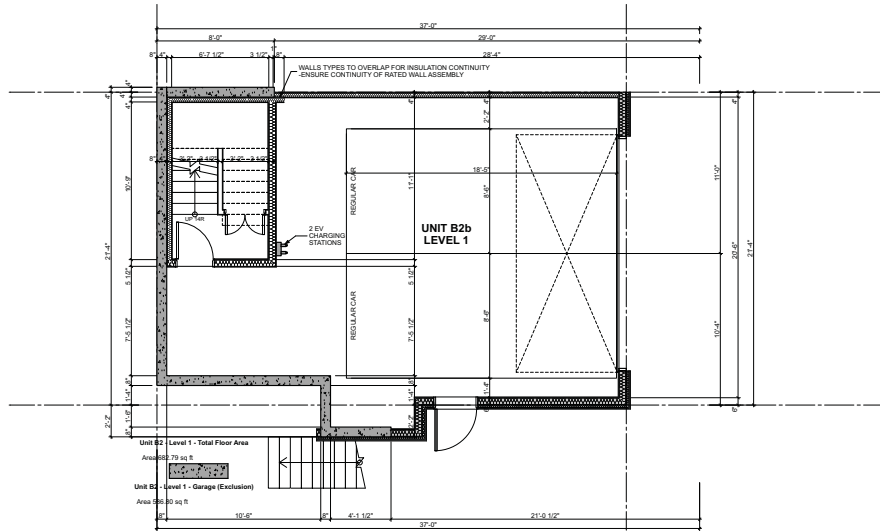


3 Unit B2a - Level 3  
SCALE: 1/4" = 1'-0"

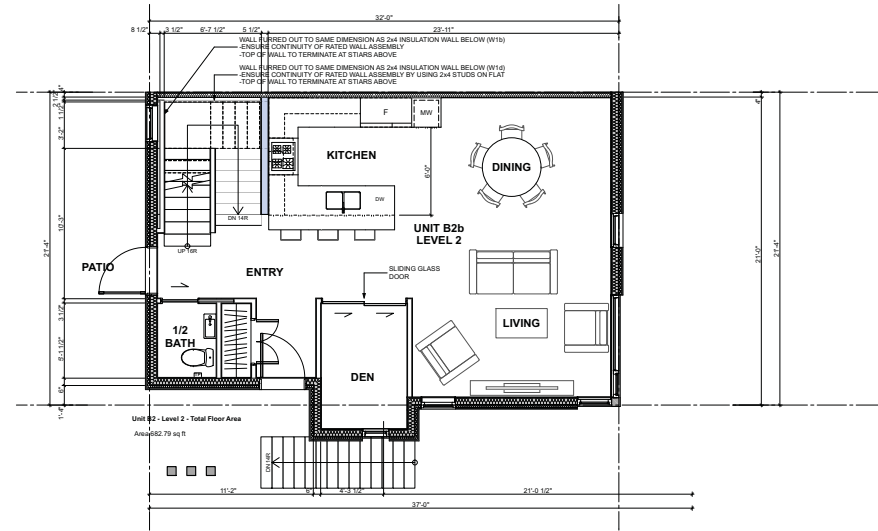


4 Unit B2a - Roof  
SCALE: 1/4" = 1'-0"

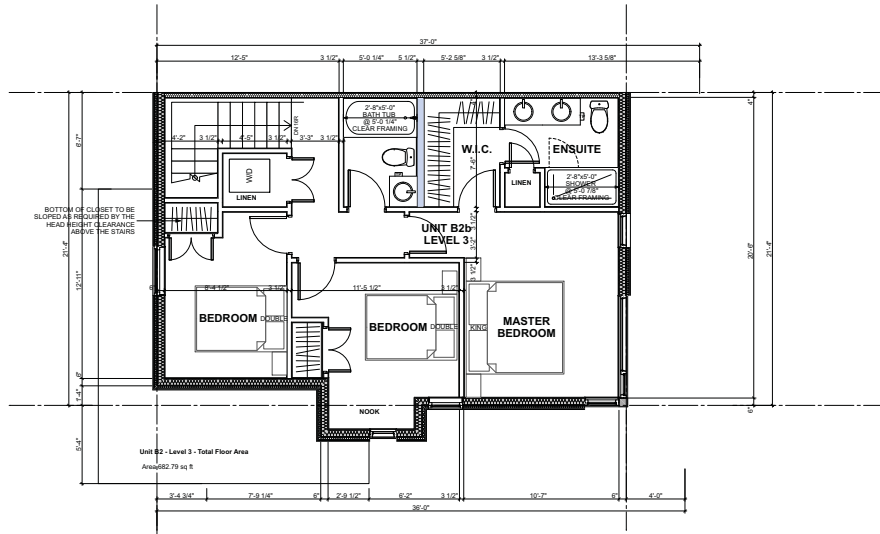




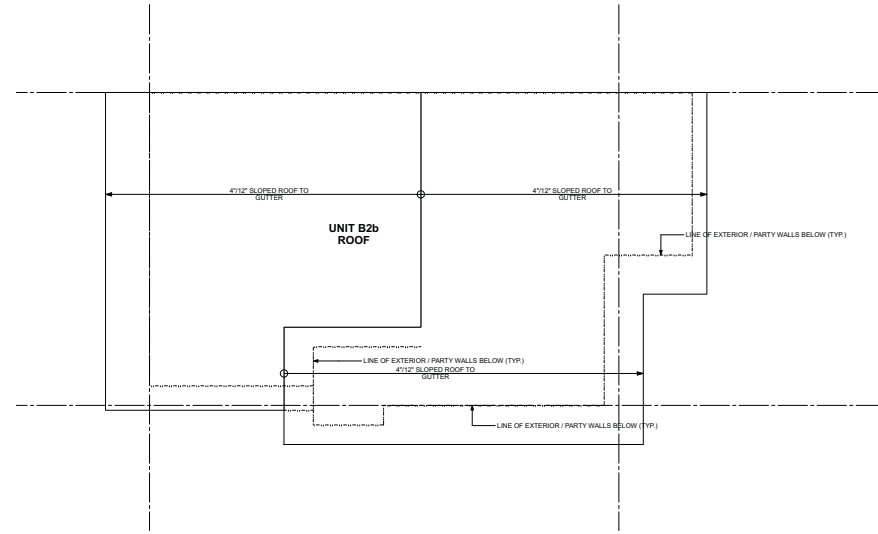
1 Unit B2b - Level 1  
SCALE: 1/4" = 1'-0"



2 Unit B2b - Level 2  
SCALE: 1/4" = 1'-0"



3 Unit B2b - Level 3  
SCALE: 1/4" = 1'-0"



4 Unit B2b - Roof  
SCALE: 1/4" = 1'-0"



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(ARCHITECT SEAL)

(CLIENT)

**Allaire Group**

(PROJECT)

**Rock Ridge**

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Unit B2b**

(PROJECT)

18443

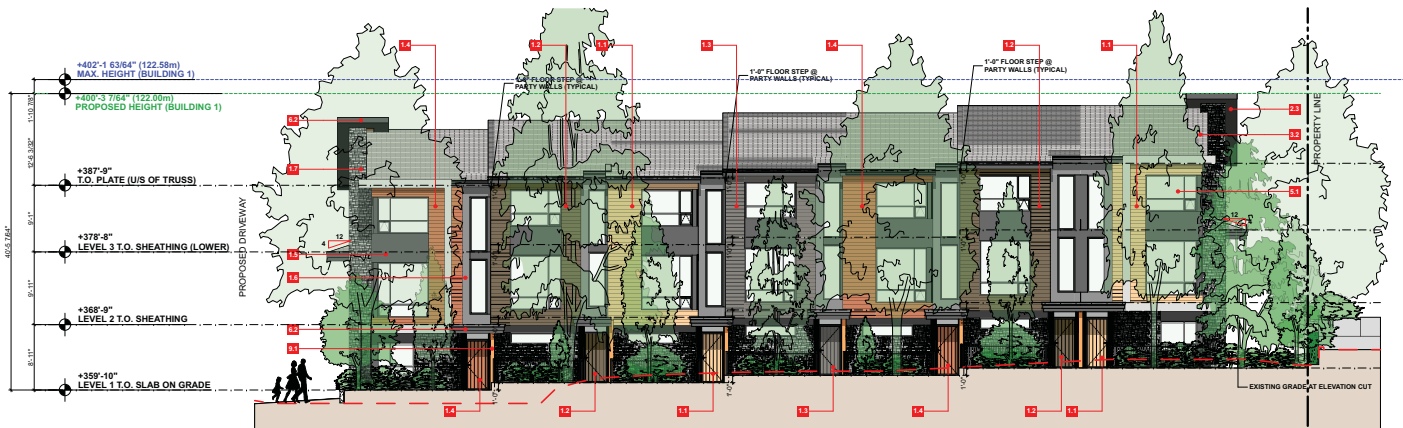
1/4" = 1'-0"

Tuesday, October 22, 2019

Resoning Clarification

(DRAWING)

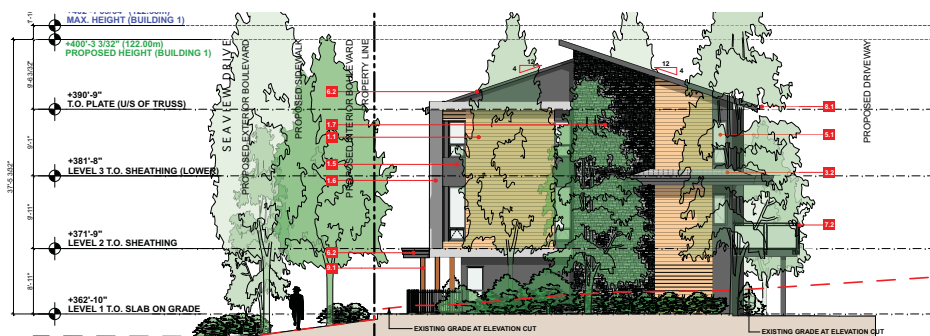
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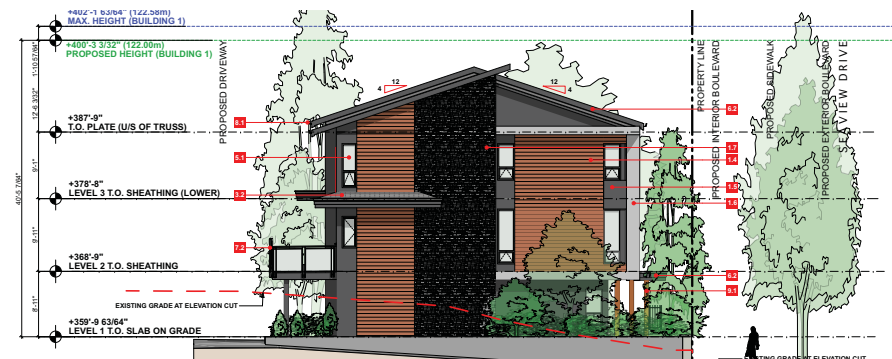
① Building 1 - North Elevation  
SCALE: 1/8" = 1'-0"



② Building 1 - South Elevation  
SCALE: 1/8" = 1'-0"



③ Building 1 - West Elevation  
SCALE: 1/8" = 1'-0"



④ Building 1 - East Elevation  
SCALE: 1/8" = 1'-0"

#### MATERIAL AND COLOUR LEGEND

See all elevations for material and color usage. Always use material and color in context.

Colour	Product	Finish (to match)
<b>1.0 CLADDING</b>		
1.1 Orange Brown	Lap Siding w/ 4" Exposure	Mountain Cedar - Rustic Series by Woodstone
1.2 Brown	Lap Siding w/ 4" Exposure	Timber Trail - Rustic Series by Woodstone
1.3 Grey	Lap Siding w/ 4" Exposure	Crested Grey - Rustic Series by Woodstone
1.4 Rose / Brown	Lap Siding w/ 4" Exposure	Reverend - Rustic Series by Woodstone
1.5 Dark Grey	HardiPanel 2.0 (Panel Recess System)	Berkeley Mount - Wrought Iron 2124-10
1.6 Light Grey	HardiPanel 2.0 (Panel Recess System)	Gray Stone
1.7 Gray Brown	HardiLoggion	Platinum

<b>2.0 OFFIT</b>		
2.1 Cedar	Conceitwood Board - Cedar Soffit	Cedar - FSC ColourMatch
2.2 Dark Grey	Aluminum Perforated Veneer	To Match 1.5
2.3 Light Grey	Aluminum Perforated Veneer	To Match 1.6
2.4 Charcoal Grey	Vent Strip	To Match 1.5

<b>3.0 ROOFS</b>		
3.1 Black	2 Layer SBS Membrane	Black
3.2 Grey	Asphalt Shingle	Storm Grey

<b>4.0 DOORS</b>		
4.1 Orange Brown	Aluminum or Wood Entry Doors	To Match 1.1
4.2 Brown	Aluminum or Wood Entry Doors	To Match 1.2
4.3 Grey	Aluminum or Wood Entry Doors	To Match 1.3
4.4 Rose / Brown	Aluminum or Wood Entry Doors	To Match 1.4
4.5 Dark Grey	Aluminum or Wood Entry Doors	To Match 1.5
4.6 Black / Glass	Aluminum or Wood Entry Doors	To Match 1.5 & Glass

<b>5.0 WINDOWS</b>		
5.1 Charcoal Grey	Vinyl Windows	Glass - Frames To Match 1.5

<b>6.0 TRIMS</b>		
6.1 Charcoal Grey	HARDIBOARDS	To Match 1.5

<b>7.0 RAILINGS</b>		
7.1 Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match 1.5

<b>8.0 ACCESSORIES</b>		
8.1 Charcoal Grey	Flashing, Gutters, and Downspouts	Glass - Frames To Match 1.5

<b>9.0 STRUCTURE</b>		
9.1 Wood	Ball Beam Truss	Decking - Semi-Transparent Wood Stain - Cedar Naturaltone ST-533 - BDI®



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(CLIENT)

Allaire Group

(PROJECT)

Rock Ridge

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Building 1  
Elevations**

(PROJECT)

18443

(SCALE)

1/8" = 1'-0"

(DATE)

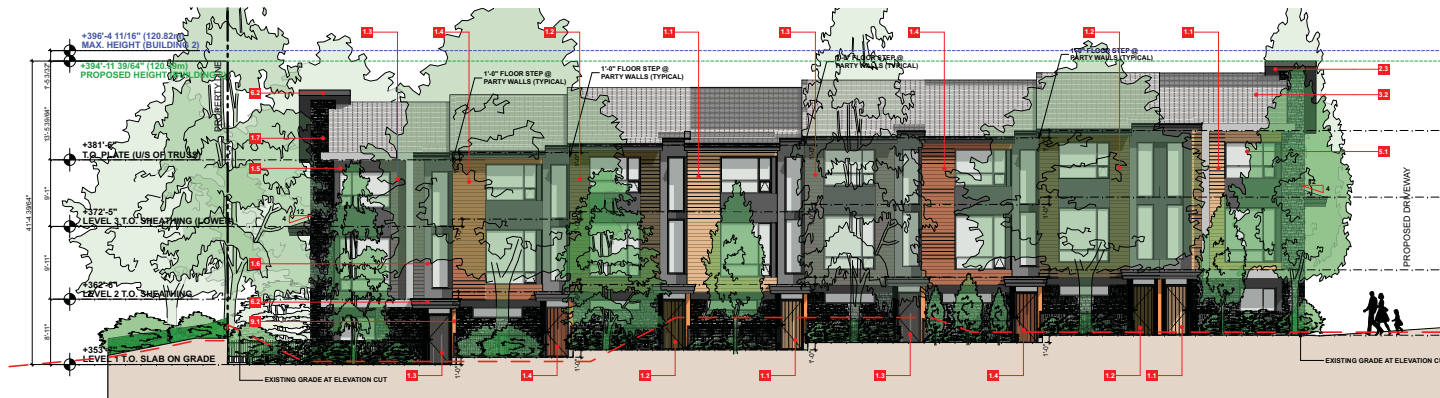
Tuesday, October 22, 2019

(ISSUE)

Rezoning Clarification

(DRAWING)

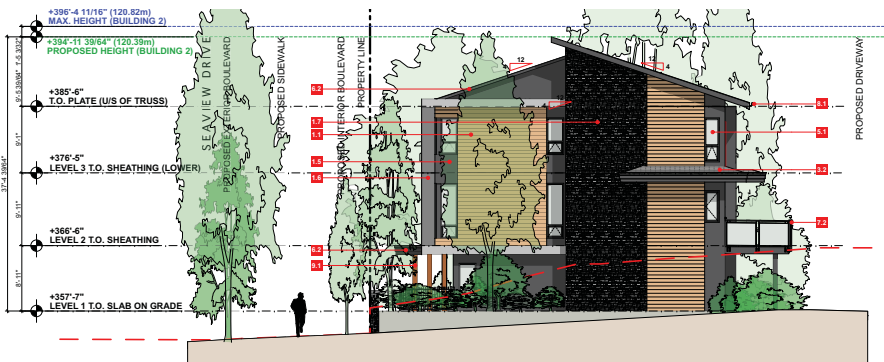
**A-4.100**



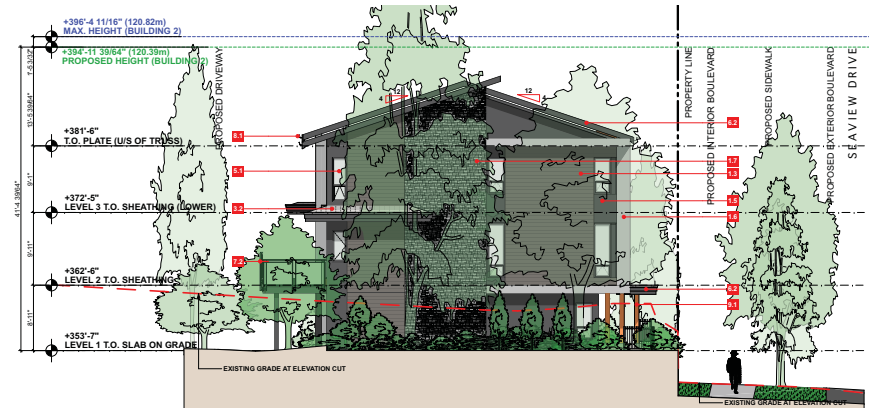
1 Building 2 - North Elevation  
SCALE: 1/8" = 1'-0"



2 Building 2 - South Elevation  
SCALE: 1/8" = 1'-0"



3 Building 2 - West Elevation  
SCALE: 1/8" = 1'-0"



4 Building 2 - East Elevation  
SCALE: 1/8" = 1'-0"

#### MATERIAL AND COLOUR LEGEND

Not all items are shown in the drawing. Items are shown in the drawing as they appear in the field.

Colour	Product	Finish (to match)
<b>1.6 CLADDING</b>		
1.1	Orange Brown	Lap Siding w/ 4" Exposure
1.2	Brown	Lap Siding w/ 4" Exposure
1.3	Grey	Lap Siding w/ 4" Exposure
1.4	Rose / Brown	Lap Siding w/ 4" Exposure
1.5	Dark Grey	HardiPanel 2.0 (Panel Recess System)
1.6	Light Grey	HardiPanel 2.0 (Panel Recess System)
1.7	Grey Brown	HardiLoggion
<b>2.6 OFFIT</b>		
2.1	Cedar	Corrugated Board - Cedar Siding
2.2	Dark Grey	Aluminum Perforated Vent
2.3	Light Grey	Aluminum Perforated Vent
2.4	Charcoal Grey	Vent Strip
<b>3.6 ROOFS</b>		
3.1	Black	2 Layer SBS Membrane
3.2	Grey	Asphalt Shingles
<b>4.6 DOORS</b>		
4.1	Orange Brown	Aluminum or Wood Entry Doors
4.2	Brown	Aluminum or Wood Entry Doors
4.3	Grey	Aluminum or Wood Entry Doors
4.4	Rose / Brown	Aluminum or Wood Entry Doors
4.5	Dark Grey	Aluminum or Wood Entry Doors
4.6	Black / Glass	Aluminum or Wood Entry Doors
<b>5.6 WINDOWS</b>		
5.1	Charcoal Grey	Vinyl Windows
<b>6.6 TRIMS</b>		
6.1	Charcoal Grey	HARDI TRIM/CAVES
<b>7.6 RAILINGS</b>		
7.1	Charcoal Grey	Aluminum Guard Railing
<b>8.6 ACCESSORIES</b>		
8.1	Charcoal Grey	Flashing, Gutters, and Down Spouts
<b>9.6 STRUCTURE</b>		
9.1	Wood	Ball Beam Trucker



**Integra**  
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(PROJECT TEAM)  
**ALLAIRE**

(ARCHITECT SEAL)

(CLIENT)  
**Allaire Group**

(PROJECT)  
**Rock Ridge**  
44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)  
**Building 2 Elevations**

(PROJECT)  
**18443**  
1/8" = 1'-0"

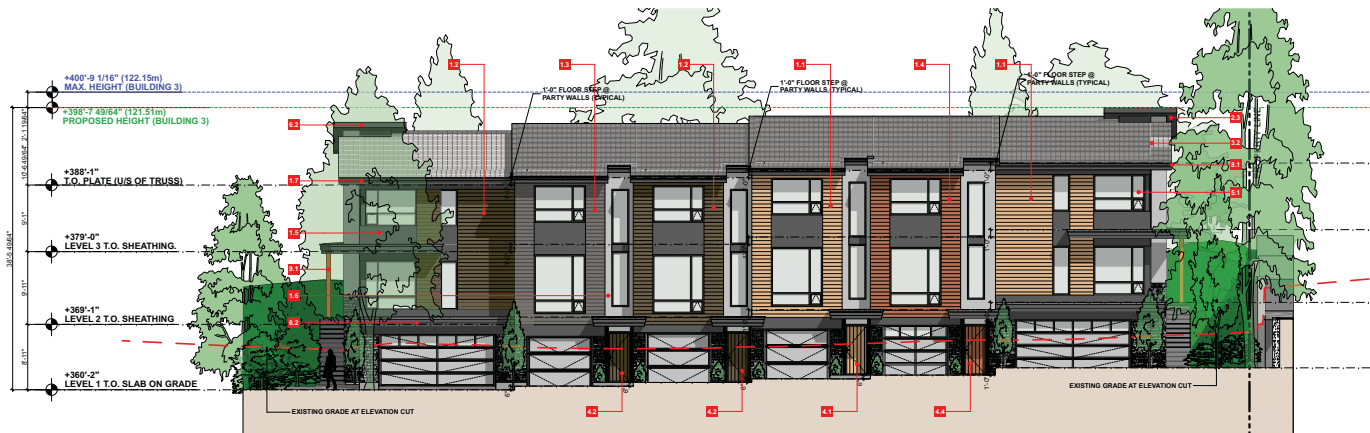
(DATE)  
**Tuesday, October 22, 2019**

(SHEET)  
**Resoning Clarification**

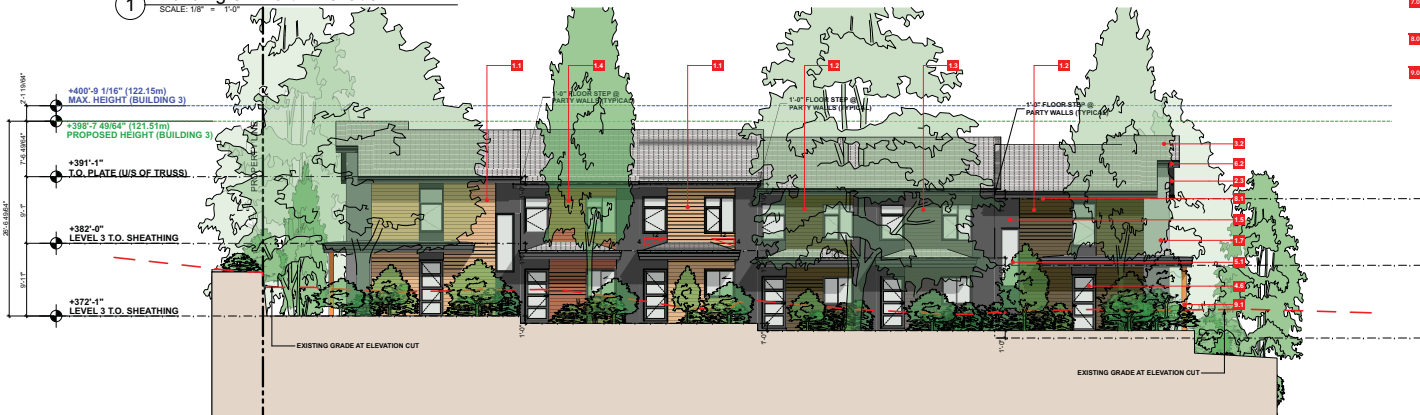
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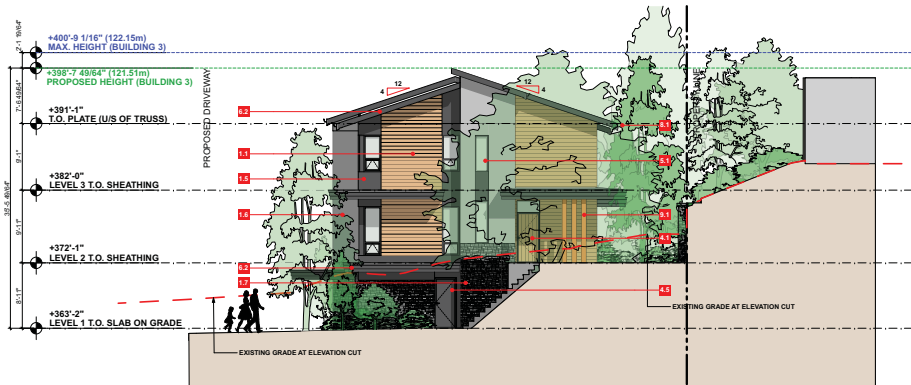




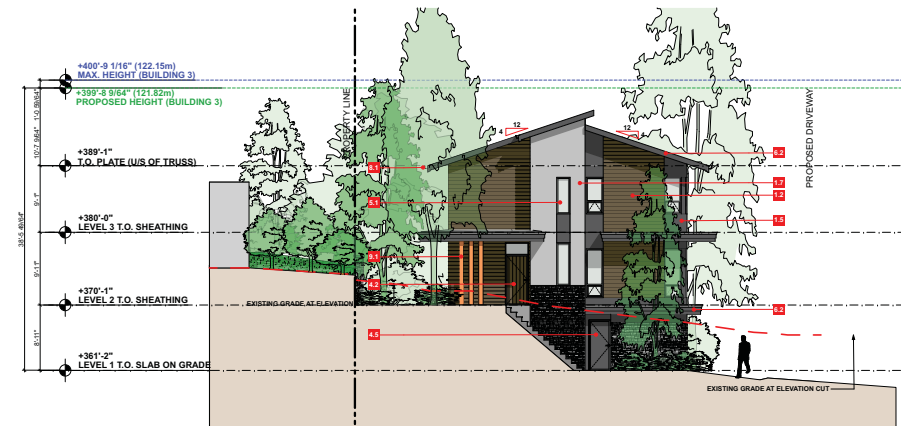
① Building 3 - North Elevation  
SCALE: 1/8" = 1'-0"



② Building 3 - South Elevation  
SCALE: 1/8" = 1'-0"



③ Building 3 - West Elevation  
SCALE: 1/8" = 1'-0"



④ Building 3 - East Elevation  
SCALE: 1/8" = 1'-0"

#### MATERIAL AND COLOUR LEGEND

Colour	Product	Finish (S1 S1000)
<b>CLADDING</b>		
1.1 Orange Brown	Lap Siding w/ 40% Exposure	Mountain Cedar - Rustic Series by Woodstone
1.2 Brown	Lap Siding w/ 40% Exposure	Timber Trail - Rustic Series by Woodstone
1.3 Grey	Lap Siding w/ 40% Exposure	Crested Grey - Rustic Series by Woodstone
1.4 Rose / Brown	Lap Siding w/ 40% Exposure	Reverend - Rustic Series by Woodstone
1.5 Dark Grey	HardiPanel 2.0 (Panel Resol System)	BestBoard Mount - Wrought Iron 2124-10
1.6 Light Grey	HardiPanel 2.0 (Panel Resol System)	Grey Slate
1.7 Grey-Brown	Profiled Loghouse	Platinum
<b>OFFIT</b>		
2.1 Cedar	Composite Board - Cedar Soffit	Cedar - PPS Colourflex
2.2 Dark Grey	Aluminum Perforated Veneer	To Match 1.5
2.3 Light Grey	Aluminum Perforated Veneer	To Match 1.6
2.4 Charcoal Grey	Vent Strip	To Match 1.5
<b>ROOFS</b>		
3.1 Black	2 Layer SBS Membrane	Black
3.2 Grey	Asphalt Shingle	Storm Grey
<b>DOORS</b>		
4.1 Orange Brown	Aluminum or Wood Entry Doors	To Match 1.1
4.2 Brown	Aluminum or Wood Entry Doors	To Match 1.2
4.3 Grey	Aluminum or Wood Entry Doors	To Match 1.3
4.4 Rose / Brown	Aluminum or Wood Entry Doors	To Match 1.4
4.5 Dark Grey	Aluminum or Wood Entry Doors	To Match 1.5
4.6 Black / Glass	Aluminum or Wood Entry Doors	To Match 1.5 & Glass
<b>WINDOWS</b>		
5.1 Charcoal Grey	Vinyl Windows	Glass - Frames To Match 1.5
<b>TRIMS</b>		
6.1 Charcoal Grey	HARDI TRIM/CAVES	To Match 1.5
<b>FALLINGS</b>		
7.1 Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match 1.5
<b>ACCESSORIES</b>		
8.1 Charcoal Grey	Flashing, Gutters, and Down Spouts	Glass - Frames To Match 1.5
<b>STRUCTURE</b>		
9.1 Wood	Self-Seen Trucker	Decking™ Semi-Transparent Wood Stain - Cedar Naturaltone ST 533 - 801R



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(PROJECT TEAM)  
**ALLAIRE**

(ARCHITECT SEAL)

(CLIENT)

**Allaire Group**

(PROJECT)

**Rock Ridge**

Port Moody, BC

(TITLE)

**Building 3 Elevations**

(PROJECT)

**18443**

(SCALE)

1/8" = 1'-0"

(DATE)

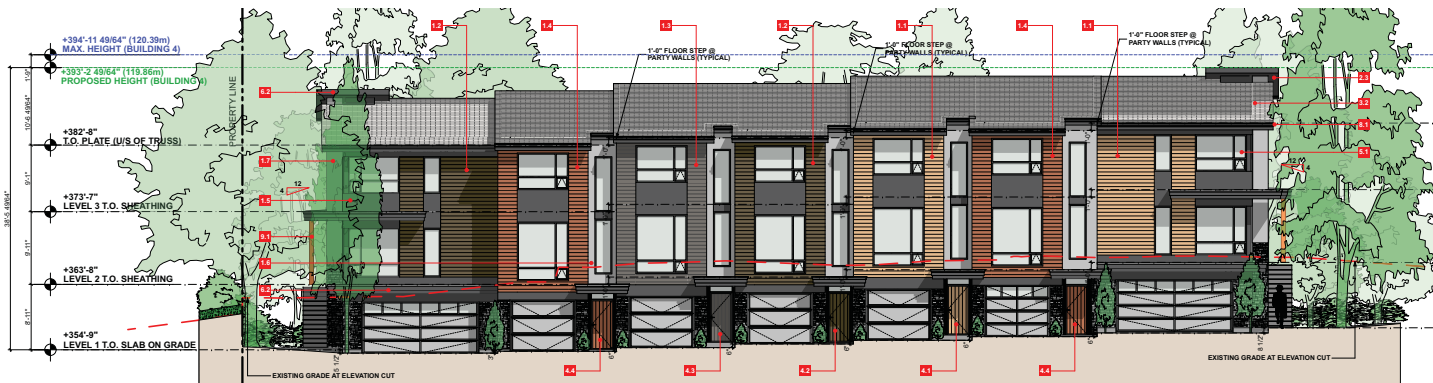
Tuesday, October 22, 2019

(ISSUE)

Rezoning Clarification

(DRAWING)

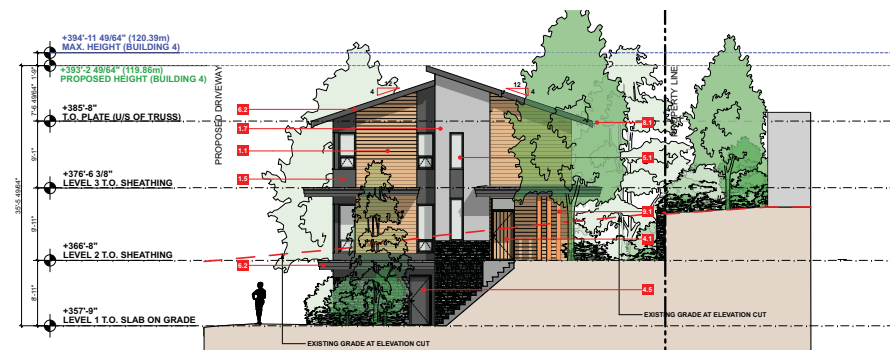
**A-4.300**



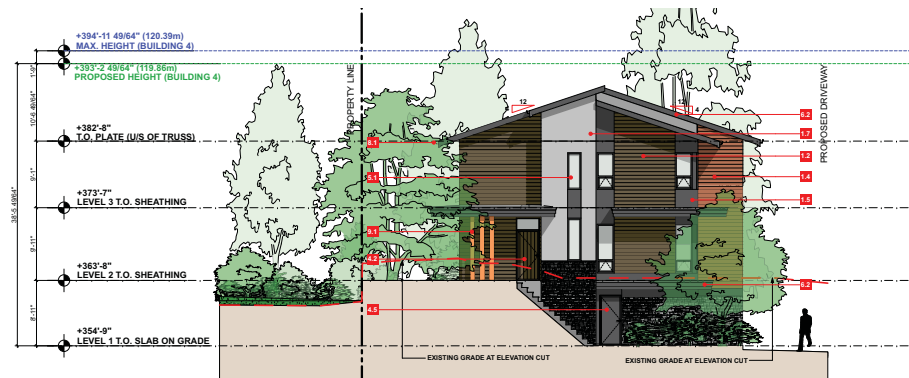
1 Building 4 - North Elevation  
SCALE: 1/8" = 1'-0"



2 Building 4 - South Elevation  
SCALE: 1/8" = 1'-0"



3 Building 4 - West Elevation  
SCALE: 1/8" = 1'-0"



4 Building 4 - East Elevation  
SCALE: 1/8" = 1'-0"

#### MATERIAL AND COLOUR LEGEND

Colour	Product	Finish (S1, S2, S3)
<b>CLADDING</b>		
1.1 Orange Brown	Lap Siding w/ 40% Exposure	Mountain Cedar - Rustic Series by Woodstone
1.2 Brown	Lap Siding w/ 40% Exposure	Timber Trail - Rustic Series by Woodstone
1.3 Grey	Lap Siding w/ 40% Exposure	Crested Grey - Rustic Series by Woodstone
1.4 Rose / Brown	Lap Siding w/ 40% Exposure	Reverend - Rustic Series by Woodstone
1.5 Dark Grey	HardiPanel 2.0 (Panel Recess System)	Beaumont Mouse - Wrought Iron 2124-10
1.6 Light Grey	HardiPanel 2.0 (Panel Recess System)	Grey Slate
1.7 Grey Brown	HardiLoggion	Platinum
<b>TRIM</b>		
2.1 Cedar	Composite Board - Cedar Soffit	Cedar - FSC ColourMatch
2.2 Dark Grey	Aluminum Perforated Veneer	To Match 1.5
2.3 Light Grey	Aluminum Perforated Veneer	To Match 1.6
2.4 Charcoal Grey	Vent Strip	To Match 1.5
<b>ROOFS</b>		
3.1 Black	2 Layer SBS Membrane	Black
3.2 Grey	Asphalt Shingle	Storm Grey
<b>DOORS</b>		
4.1 Orange Brown	Aluminum or Wood Entry Doors	To Match 1.1
4.2 Brown	Aluminum or Wood Entry Doors	To Match 1.2
4.3 Grey	Aluminum or Wood Entry Doors	To Match 1.3
4.4 Rose / Brown	Aluminum or Wood Entry Doors	To Match 1.4
4.5 Dark Grey	Aluminum or Wood Entry Doors	To Match 1.5
4.6 Black / Glass	Aluminum or Wood Entry Doors	To Match 1.5 & Glass
<b>WINDOWS</b>		
5.1 Charcoal Grey	Vinyl Windows	Glass - Frames To Match 1.5
<b>TRIMS</b>		
6.1 Charcoal Grey	HARDI TRIM/SCALED	To Match 1.5
<b>RAILINGS</b>		
7.1 Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match 1.5
<b>ACCESSORIES</b>		
8.1 Charcoal Grey	Flashing, Gutters, and Downspouts	Glass - Frames To Match 1.5
<b>STRUCTURE</b>		
9.1 Wood	Self Seen Trucker	DECKplus™ Semi-Transparent Wood Stain - Cedar Naturaltone ST-533-801R



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(PROJECT TEAM)  
**ALLAIRE**

(ARCHITECT SEAL)

(CLIENT)

Allaire Group

(PROJECT)

Rock Ridge

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

**Building 4  
Elevations**

(PROJECT)

18443

1/8" = 1'-0"

Tuesday, October 22, 2019

Rezoning Clarification

(DRAWING)

**A-4.400**





Charcoal Grey  
Painted Aluminum Railing



Cedar  
Cementitious Soffit Board



Silverado  
Allan Block



Storm Grey  
Asphalt Shingles



#### MATERIAL AND COLOUR LEGEND

Note: All Materials are subject to change during Tender and/or Pricing phase of the project

Colour	Product	Finish (to match)	Manufacturer	Location
<strong>1.0 CLADDING</strong>				
1.1	Orange Brown	Lap Siding w/ 4" Exposure	Mountain Cedar - Rustic Series by Woodtone	JamesHardie or Exterior Walls
1.2	Brown	Lap Siding w/ 4" Exposure	Timber Trail - Rustic Series by Woodtone	JamesHardie or Exterior Walls
1.3	Grey	Lap Siding w/ 4" Exposure	Coastal Grey - Rustic Series by Woodtone	JamesHardie or Exterior Walls
1.4	Rose / Brown	Lap Siding w/ 4" Exposure	Rosewood - Rustic Series by Woodtone	JamesHardie or Exterior Walls
1.5	Dark Grey	HardiePanel 2.0 (Panel Reveal System)	Benjamin Moore - Wrought Iron 2124-10	JamesHardie or Exterior Walls
1.6	Light Grey	HardiePanel 2.0 (Panel Reveal System)	Grey Slate	JamesHardie or Exterior Walls & Fin Walls & Feature Rock @
1.7	Grey Brown	ProFit LedgeStone	Platinum	Exterior Walls
<strong>2.0 SOFFIT</strong>				
2.1	Cedar	Cementitious Board - Cedar Soffit	Cedar - PPG ColourMax	Allura™ Feature Rock & entry Canopies
2.2	Dark Grey	Aluminum Perforated Vent	To Match 1.5	TBC All Other Roofs
2.3	Light Grey	Aluminum Perforated Vent	To Match 1.6	TBC Feature Rock @ Corner Units on Buildings 1
2.4	Charcoal Grey	Vent Strip	To Match 1.5	TBC Vent strip at roof and balcony
<strong>3.0 ROOFS</strong>				
3.1	Black	2-Layer SBS Membrane	Black	TBC SBS Membrane at flat roofs
3.2	Grey	Asphalt Shingle	Storm Grey	TBC Sloped Roofs (4/12)
<strong>4.0 DOORS</strong>				
4.1	Orange Brown	Aluminum or Wood Entry Doors	To Match 1.1	TBC Cladding Scheme "1" Entry Doors
4.2	Brown	Aluminum or Wood Entry Doors	To Match 1.2	TBC Cladding Scheme "2" Entry Doors
4.3	Grey	Aluminum or Wood Entry Doors	To Match 1.3	TBC Cladding Scheme "3" Entry Doors
4.4	Rose / Brown	Aluminum or Wood Entry Doors	To Match 1.4	TBC Cladding Scheme "4" Entry Doors
4.5	Black	Aluminum or Wood Entry Doors	To Match 1.5	TBC Unit B&C and B&D Garage Entry Doors
4.6	Black / Glass	Aluminum or Wood Entry Doors	To Match 1.5 & Glazed	TBC Patio / Balcony Doors
<strong>5.0 WINDOWS</strong>				
5.1	Charcoal Grey	Vinyl Windows	Glass - Frames To Match 1.5	TBC Building 1-4 Windows
<strong>6.0 TRIMS</strong>				
6.1	Charcoal Grey	HARGETRIM® BOARDS	To Match 1.5	JamesHardie Window Trims & Roof Trims
<strong>7.0 RAILINGS</strong>				
7.1	Charcoal Grey	Aluminum Guard Railing	Glass - Frames To Match 1.5	TBC Required Guard Rails Throughout
<strong>8.0 ACCESSORIES</strong>				
8.1	Charcoal Grey	Flashing, Gutters, and Down Spouts	Glass - Frames To Match 1.5	TBC Building 5 - Sliding Shading Screens on Balco
<strong>9.0 STRUCTURE</strong>				
9.1	Wood	B&B Swan Timber	DECKplus™ Semi-Transparent Wood Stain - Cedar Naturaltone ST-533 - BEHR	TBC Feature Entry Columns



Lap Siding w/ 4" Exposure  
Mountain Cedar - Rustic Series by Woodtone



Lap Siding w/ 4" Exposure  
Timber Trail - Rustic Series by Woodtone



Lap Siding w/ 4" Exposure  
Coastal Grey - Rustic Series by Woodtone



Lap Siding w/ 4" Exposure  
Rosewood - Rustic Series by Woodtone



HardiePanel 2.0 (Panel Reveal System)  
Benjamin Moore - Wrought Iron 2124-10



HardiePanel 2.0 (Panel Reveal System)  
Grey Slate



ProFit LedgeStone  
Platinum

**iA**

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(PROJECT TEAM)

**ALLAIRE**

(ARCHITECT SEAL)

(CLIENT)

Allaire Group

(PROJECT)

Rock Ridge

44, 48, 52, 56, 60 Seaview Drive  
Port Moody, BC

(TITLE)

#### Material Board

18443 (PROJECT)

(SCALE)

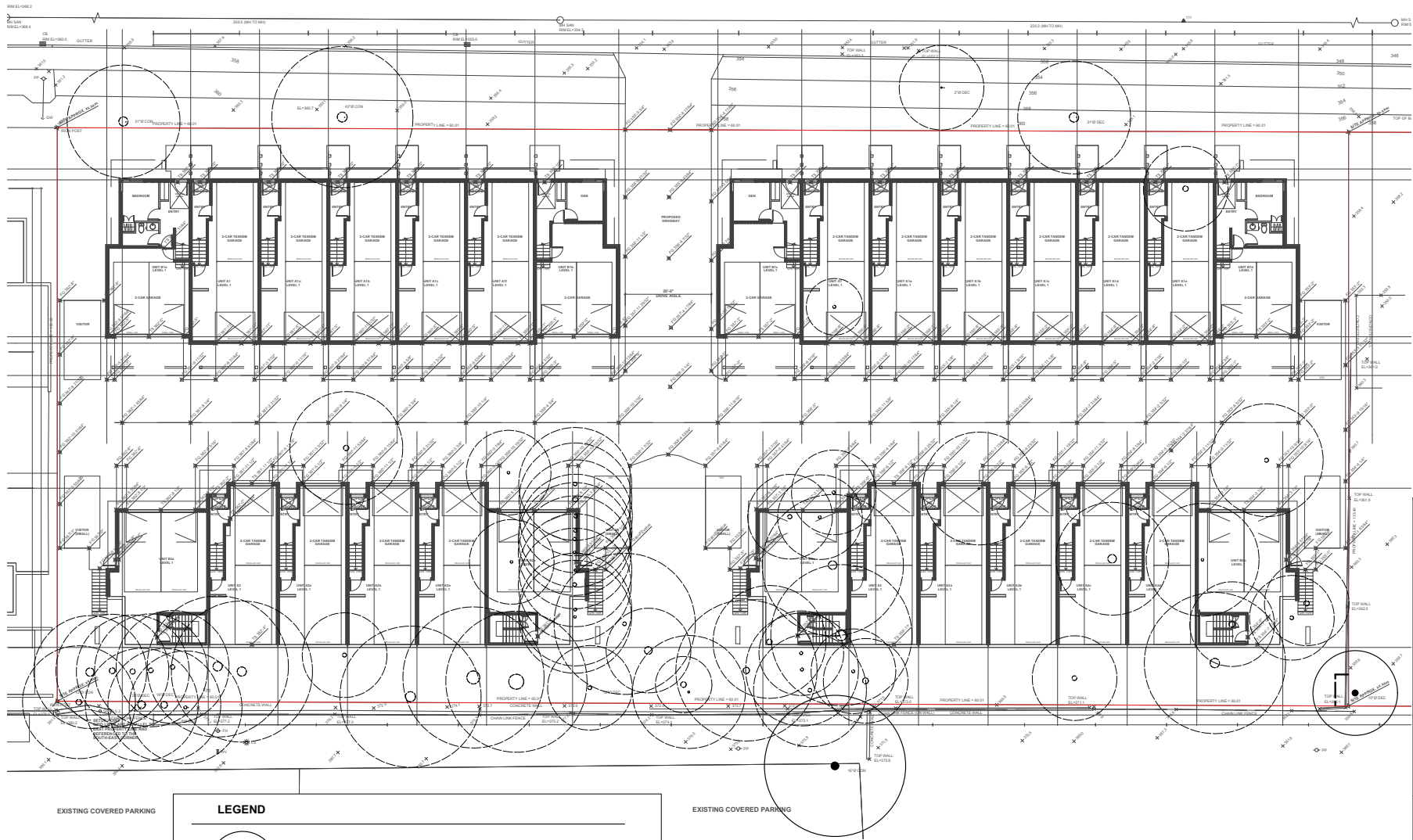
Tuesday, October 22, 2019 (DATE)

Rezoning Clarification (ISSUE)

(DRAWING)


**A-4.500**





**LEGEND**

- Existing trees to retain
- Existing trees to remove  
Evaluate trees to use for on site play amenity and store logs off-site for later use
- Tree Protection Fencing

A 19-10-9 Issued for Rezoning Submission	
Date	Issue Notes
	
<b>Prospect &amp; Refuge</b> LANDSCAPE ARCHITECTS <small>#001 0000 W 30th Ave Vancouver BC V6L 1Y1          604-669-1100 prand@prospectandrefuge.ca          Building on over 25 years of history see Jonathan Lewis Linc</small>	
Project Title and Address <b>Rocky Ridge Allaire</b> Seaview Dr., Port Moody	
Sheet Title <b>Tree Protection Plan</b>	
Project Manager AS	Project No. 2019-20
Drawn By NR	Scale 1/8" = 1'-0"
Reviewed By AS	Sheet No.
Date Oct. 09, 2019	<b>L0</b>



#### Materials

sand play surfacing	Aquadave permeable pavers	6' board fence	Valleystone retaining wall See Architecture Foundation Plans for Grading and Heights of
decomposed granite pathway, stabilized	Abbotsford Concrete 2'x2' Hydrapressed Slabs	3' front yard fence	
non-netted sand based sod w/ 300 mm topsoil	Abbotsford Concrete Standard Pavers	non-climbable guardrail/handrail to BCBC standards	
landscape area w/ 450 mm topsoil	Clear crushed gravel at building edges	PIP concrete retaining wall See Architecture Foundation Plans and Structural for grading and heights of walls	

A 19-10-9 Issued for Rezoning Submission  
Date Issue Notes



### Prospect & Refuge

LANDSCAPE ARCHITECTS

4000 100th St. Suite 100, Richmond, BC V6X 1Y1

604-669-1100 prospect@prospectandrefuge.ca

Building on over 25 years of history as Jonathan Lewis Ltd.

Project Title and Address  
Rocky Ridge Allaire  
Seaview Dr., Port Moody

Sheet Title  
Landscape Layout Plan

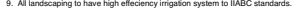
Project Manager AS Project No. 2019-20

Drawn By NR Scale 1/8" = 1'-0"

Reviewed By AS Sheet No.

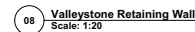
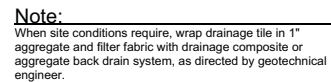
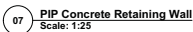
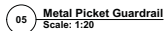
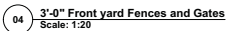
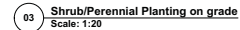
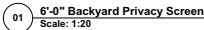
Date Oct. 09, 2019

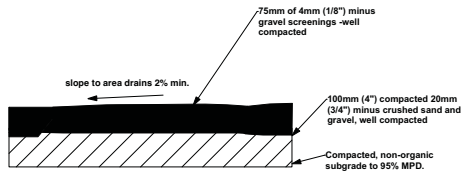
L1

Date \_\_\_\_\_ L2.1

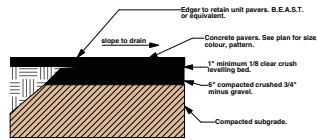


## L2.2

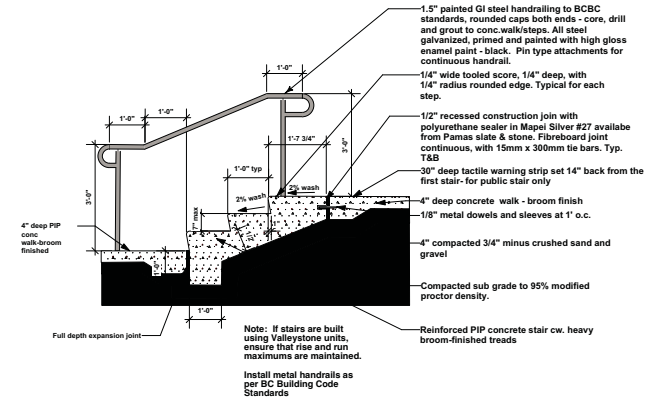




01 **Decomposed Granite Pathway**  
Scale: 1:20



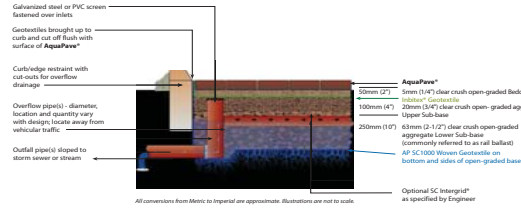
02 **Concrete Unit Pavers**  
Scale: 1:20



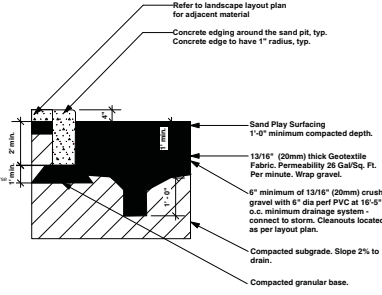
03 **PIP Concrete Steps**  
Scale: 1:20

## AQUAPave® Permeable On-Site Stormwater Source Control System

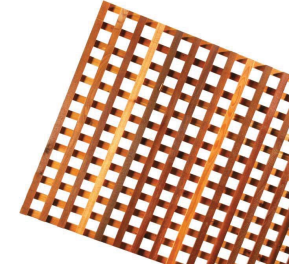
### Partial Exfiltration System




4 **AquaPave Pavers in Driveway**



05 **Sand Play Surfacing**  
Scale: 1:20



6 **Square Lattice- Sunbury Cedar or Equivalent**  
2" squares or less to prevent climbability

A 19-10-9	Issued for Rezoning Submission
Date	Issue Notes
	
<b>Prospect &amp; Refuge</b> LANDSCAPE ARCHITECTS #0001 1000 W. 2nd Ave. Vancouver, BC, V6C 1H5 604-689-1003 - 49-west@prospectandrefuge.ca Building on over 25 years of history on Jonathan Lewis Lane	
Project Title and Address <b>Rocky Ridge Allaire</b> Seaview Dr., Port Moody	
Draw Title <b>Landscape Details</b>	
Project Manager AS	Project No. 2019-20
Drawn By NR	Scale 1/8" = 1'-0"
Reviewed By AS	Sheet No.
Date Oct. 09, 2019	<div>L4</div>