



City of Port Moody

Report/Recommendation to Council

Date: November 13, 2019
 Submitted by: Planning and Development Department – Development Planning Division
 Subject: OCP Amendment and Rezoning Application – 2002-2014 St. George Street and
 2003-2009 St. Johns Street

Purpose

To present for Council consideration OCP Amendment Bylaw No. 3222, Rezoning Bylaw No. 3223 and Road Closure Bylaw No. 3225 to facilitate the redevelopment of the properties at 2002-2014 St. George Street and 2003-2009 St. Johns Street.

Recommended Resolution(s)

THAT City of Port Moody Official Community Plan, 2014, No.2955, Amendment Bylaw No. 23, 2019, No. 3222 (2002-2014 St. George Street and 2003-2009 St. Johns Street) be read first time as recommended in the report dated November 13, 2019 from the Planning and Development Department – Development Planning Division regarding OCP Amendment and Rezoning Application – 2002-2014 St. George Street and 2003-2009 St. Johns Street.

THAT Bylaw No. 3222 be read a second time.

THAT City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 24, 2019, No. 3223 (2002-2014 St. George Street and 2003-2009 St. Johns Street) (RM8) be read a first time.

THAT Bylaw No. 3223 be read a second time.

THAT Bylaw No. 3222 and Bylaw No. 3223 be referred to a Public Hearing to be held on Tuesday, January 14, 2020 at City Hall, 100 Newport Drive, Port Moody.

THAT City of Port Moody Road Closure Bylaw, 2019, No. 3225 – 2002-2014 St. George Street and 2003-2009 St. Johns Street be read a first time.

THAT Bylaw No. 3225 be read a second time.

THAT Bylaw No. 3225 be read a third time.

AND THAT notice of Council’s intention to remove the road dedication from an opened portion of the St. Andrews Street road allowance and to dispose of the closed road

allowance be provided in accordance with sections 26(3) and 40 of the Community Charter.

Executive Summary

Bold Properties (New Barnet) LP has submitted an OCP Amendment and Rezoning Application in order to allow for a six storey, 163-unit development on the properties located between 2002-2014 St. George Street and 2003-2009 St. Johns Street. Key aspects of the proposal include:

- two six-storey buildings over a single parkade with access from St. George Street;
- an overall Floor Area Ratio (FAR) of 2.4;
- a mix of units from one-bedroom to three-bedroom + den suites ranging in size from 53.7m² (578ft²) to 122.5m² (1318.3ft²);
- 92 (57%) adaptable units;
- land dedication to enable an additional northbound travel lane and multi-use pathway on Clarke Road;
- improvements to the existing trail from the end of St. George Street to Moody Secondary School; and
- an affordable housing approach based on BC Housing's Affordable Home Ownership Program.

The developer is dedicating land along Clarke Road to enable road improvements and the construction of a multi-use path. Site consolidation, following dedication, will involve the closure of the opened portion of St. Andrews Street east of Clarke Road.

In order to permit the development, the following are required:

- adoption of an OCP amendment bylaw to alter the land use designation from '*Mixed Use – Moody Centre*' to '*Multi-Family Residential*' as the project does not incorporate any commercial use;
- adoption of a bylaw rezoning changing the zoning from '*Single Detached Residential (RS1)*' to '*Six Storey Apartment Residential Zone (RM8)*';
- adoption of a road closure bylaw to enable the closure of St. Andrews Street;
- if required, a housing agreement bylaw to establish the terms and conditions relating to the management of the proposed affordable home ownership program; and
- issuance of a development permit if the OCP amendment, rezoning and road closure bylaws proceed.

Background

Bold Properties (New Barnet) LP has submitted an OCP amendment and rezoning application for seven properties located at 2001-2014 St. George Street and 2003-2009 St. Johns Street as shown on the Location Plan (**Attachment 1**). The application proposes two, six-storey multi-family residential buildings consisting of 163 apartment units containing a mix of unit types and sizes, over underground parking. The two buildings are arranged around the perimeter of the

site enclosing a courtyard incorporating a variety of outdoor amenities. A project fact sheet is included as **Attachment 2**.

Key issues that have been considered by staff during the review include: the provision of an affordable housing component; the St. Andrews Street road closure; building design improvements to create a transition to the single family homes to the south; road improvements on Clarke Road; the provision of a multi-use pathway along Clarke Road; the Clarke Road/St. George Street intersection design and, the reconstruction of the pathway leading from the St. George Street cul-de-sac down the bank to Port Moody Senior Secondary School.

The application was reviewed by the Community Planning Advisory Committee (CPAC) on July 2, 2019 and the following resolution was passed:

CPAC19/005

Moved, seconded, and CARRIED

THAT CPAC provide the following comments on the proposed project as presented in the report dated June 18, 2019 from the Planning and Development Department – Development Planning Division regarding 2002-2014 St. George Street and 2003-2009 St. Johns Street:

- **provide additional details on the value of the affordable housing component of the project;**
- **explore potential partnerships for affordable housing other than with the City;**
- **consider live/work studio spaces within the project;**
- **consider the inclusion of curb space for ride-sharing services;**
- **investigate whether separated multi-use paths are appropriate;**
- **consider including rainwater capturing opportunities;**
- **encourage the inclusion of passive energy designs;**
- **provide motion-sensitive lighting in the corridors and parkades;**
- **encourage the retention of existing trees (such as the mature conifers);**
- **provide more details on the bird-friendly attributes;**
- **consider alternative colour-schemes that fit neighbourhood context;**
- **consider requiring replanting of native species as appropriate; and**
- **provide revised study of anticipated traffic impact.**

In terms of the affordable housing component, staff and the applicant are presently refining the details of the approach based on BC Housing's 'Affordable Home Ownership Program' as discussed later in this report. The remainder of the issues identified by CPAC are detailed design matters which the applicant has attempted to address and they will be discussed in

greater detail in conjunction with a report on the development permit if the OCP amendment and rezoning bylaws proceed.

Discussion

Site and Conditions

The development site consists of seven single-family lots located between St. Johns Street and St. George Street, on the east side of Clarke Road, as shown on the Location Plan included as

Attachment 1. The lots are developed with single family dwellings with the exception of the lot at 2005 St. Johns Street which is vacant.

The site slopes down by approximately 10.35m (34ft) from St. George Street to the northeast to St. Johns Street. The site is located at the top of a heavily-treed, steep bank that separates the site from the vacant property to the east. This bank varies in height from 12.2m (40ft) at the south end of the site to 3m (10ft) at the north end.

Surrounding development consists of:

- North: across St. Johns Street, developed three-storey multi-family buildings (RM4), which are designated Multi-Family Residential in the OCP up to a maximum of three storeys;
- East: the former Barnet Hotel site (C5), now vacant, which is designated in the OCP for mixed-use development up to six storeys in height and is the subject of a current development application;
- South: Single Detached Residential (RS1) lots, which are proposed to remain Single Family Low Density under the OCP; and
- West: across Clarke Road are five undeveloped properties, including one private RS1 lot and four City parcels zoned Civic Service (P1).

Official Community Plan

The subject property is designated Mixed Use – Moody Centre which allows for mixed commercial/residential development up to a maximum height of six storeys. The site is also situated within the Evergreen Line Westport Sub-Area. Sub-Area Policy 15.5.1.4 anticipated that the subject lots and the adjacent vacant Barnet Hotel site would be developed based on a comprehensive site plan addressing site access, existing grades and compatibility with surrounding uses. The Sub-Area Policy also indicated that that commercial uses would be limited to the St. Johns Street and Albert Street frontages. The site is located within Development Permit Area 1, which regulates the form and character of development in neighbourhoods and the east portion of the site is designated as an Environmentally Sensitive Area (Development Permit Area 4) for the protection of the existing tree resource on the bank to the east.

Zoning: The subject properties are currently zoned Single Detached Residential (RS1).

The OCP and Zoning designation maps are included as **Attachment 3**.

Analysis

Development Proposal Description

The development proposal consists of two, six-storey apartment buildings enclosing an outdoor amenity courtyard over a parking structure with access off St. George Street. Project details include:

- 163 apartment units including:
 - 79 (48.5%) studio, one-bedroom and one-bedroom and den units ranging from 42.9m² (462.5ft²) to 67.8m² (729.7ft²);
 - 74 (45.4%) two-bedroom and two-bedroom and den units ranging from 70.8m² (762.3ft²) to 93.4m² (1005.8ft²);
 - 10 (6.1%) three-bedroom and three-bedroom and den units ranging from 95.7m² (1,029.8ft²) to 106m² (1140.8ft²); and
 - 92 (56.4%) adaptable units;
- a total floor area of 13,851.2m² (149,092.96ft²), which results in a Floor Area Ratio of 2.4;
- 219 resident parking spaces and 27 visitor spaces;
- 270 long- and short-term bicycle parking spaces, which satisfies the Zoning Bylaw requirement of 258 spaces;
- 123.6m² (1,330.4ft²) of common indoor amenity space; and
- approximately 477m² (5,134.4ft²) of common outdoor amenity space within the central courtyard (excluding the landscaped areas) plus 252m² (2,720ft²) of communal outdoor roof deck spaces. The total indoor and outdoor amenity areas amount to 852m² (9,177ft²) or 5.22m² (56.3ft²)/unit, exceeding the Zoning Bylaw requirement of 3m² (32.3ft²)/unit.

The following Table 1 compares the project elements to the RM8 zoning regulations and other regulations relating to parking, bicycle parking, adaptable units and, amenity area. As illustrated, the project meets and exceeds the RM8 Zone regulations with the exception of the rear (south) setback (shown bolded) which is 0.84m (2.76ft.) short of the RM8 requirement. Staff propose that the site be rezoned to RM8 and the non-conformity be addressed through a variance in conjunction with the development permit if the project proceeds.

Table 1 – Zoning Comparison

Zoning Regulation	RM8 Zone/Other Regs.	Proposal
Density (FAR)	2.4	2.4
Height	21.5m (70.5ft) and 6 storeys, whichever is less	N. Bldg. – 17.46m (57.3ft.) S. Bldg. – 18.8m (61.68ft)
Lot Coverage	60%	56.5%
Setbacks		
- Front	3.0m (9.8ft.)	Front (North) – 5.48m (18ft.)
- Rear	4.5m (14.76ft.)	Rear (South) - 3.66m (12ft.)
- Side	3.0m (9.8ft.)	Side (East/West) – 5.45m (18ft.)/ 3.81m (12.5ft.)

Parking		
- Resident	208	219
- Visitor	27	27
Bicycle Parking		
- Long and short term	258	270
Adaptable Units	Min. 50%	56.4%
Amenity Space	3m ² (32.3ft.) / Unit	5.22m ² (56.2ft ²) / unit

Reduced site, architectural, and landscape drawings are included as **Attachment 4**.

Road Dedication and Intersection Design:

In accordance with the Master Transportation Plan, the developer will reconstruct a portion of Clarke Road and St. Johns Street to include a second northbound travel lane, a dedicated southbound left turn lane from Clarke Road to St. George Street and a multi-use pedestrian/cycling pathway along the east side of Clarke Road. The purpose of these measures is to improve traffic flow and safety, improve pedestrian safety and to incorporate improvements to the cycling network. To implement these improvements, the developer will dedicate a portion of the properties at 2002 St. George Street and 2003 St. Johns Street.

The proposed unsignalized St. George Street/Clarke Road intersection design will enable all-directional movements with the exception of left turns from St. George Street to southbound Clarke Road. Traffic wishing to proceed southbound will travel up Seaforth Way to Seaview Drive and access Clarke Road at a new signalized intersection.

Site Consolidation

Following dedication, the applicant will purchase the open portion of the St. Andrews Street road allowance to consolidate the site which requires a road closure bylaw. **Attachment 5** illustrates the area to be dedicated and the St. Andrews Street road allowance to be closed.

Affordable Housing – BC Housing Affordable Home Ownership Program

As indicated in the letter from Bold Properties (**Attachment 6**), the applicant is presently working with staff and BC Housing to refine an affordable housing approach for 100% of the units in the project utilizing BC Housing's 'Affordable Home Ownership Program' (AHOP). The goal of the Program is to create new ownership homes that are affordable for eligible middle income households with incomes between \$112,000 and \$155,000, don't own a home, and who currently reside in an qualifying rental unit.

Briefly, affordability is achieved by contributions from three parties: developer, through a reduced profit margin; BC Housing, through low-cost interim construction financing and, as is currently being proposed by the developer, the City of Port Moody, through a deferral of all fees and charges, land contributions, etc. These contributions are then used to lower the amount of a first mortgage by 10-20%. That reduction is secured as a second (AHOP) mortgage held by BC Housing which will be interest free and payment free for 25 years which effectively increases the affordability for purchasers. When the unit is sold (or the amortization period ends), the AHOP mortgage is required to be paid out and those funds will be returned by BC Housing to the City's Affordable Housing Reserve Fund to the City's deferred fees and charges. The funds being returned to the City do not only include the City's deferred revenue but also the developer's subsidy and the value of BC Housing's contribution. That amount may either be more or less than the initial mortgage amount depending upon whether the unit increases or decreases in value.

At this point, the details as to how this program will be applied to the subject project have not been finalized and staff will come back with a final proposal for Council's consideration prior to adoption of the required bylaws and issuance of a development permit. Staff tentatively support the program outline for the purpose of the Public Hearing on the basis that BC Housing would

be involved, it would offer first time home owner options as well as having the potential of freeing up 162 rental units elsewhere.

Form and Character

The project is situated within Development Permit Area 1: Neighbourhood Residential and the project generally addresses the applicable design guidelines. This will be addressed in detail at the development permit stage if the required bylaws proceed. Of note, the south building has been redesigned with a significant stepped break in the upper levels in order to reduce the massing of the building and ease the transition to the single family homes across St. George Street. This break is shown on **Attachment 4, Sheet A3.0** and varies between 9.4m (31ft) at the 4th level and 23.3m (76.5ft) at the 6th level.

Sustainability Report Card

The current Sustainability Report Card is included as **Attachment 7** and the project is standing at a score of 68%.

Sustainability Pillar / Application	Cultural	Economic	Environmental	Social	Overall Total
2002-2014 St. George Street and 2003-2009 St. Johns Street	57% (4 out of 7)	100% (7 out of 7)	72% (43 out of 57)	51% (18 out of 35)	68%

Implementation

Implementation of this project requires:

- an amendment to the OCP to change the land use designation from 'Mixed Use – Moody Centre' to 'Multi-Family Residential' to reflect the fact that the project does not contain any commercial use. In support of the proposed amendment, the applicant provided a Letter of Opinion (**Attachment 8**) from a commercial brokerage firm which indicates that the location of the site and the access challenges suggest that the site is not one that would support commercial use. CPAC encouraged the developer to incorporate live-work units in the project but that use is not permitted in the RM8 Zone. The RM8 Zone does allow for home occupations subject to the regulations in sections 5.2.3(a) and (b) of the Zoning Bylaw and the developer has offered to ensure that a future strata council cannot prohibit that use which may have to be implemented through a restrictive covenant as a condition of a development permit. To implement the land use change, OCP Amendment Bylaw No. 3222 is included as **Attachment 9**;
- rezoning from 'Single Detached Residential (RS1)' to 'Six-Storey Apartment Residential Zone (RM8)'. Rezoning Bylaw No. 3223 is included as **Attachment 10**;

- closure of the opened portion of St. Andrews Street to enable the consolidation of the site. Road Closure Bylaw No. 3225 is included as **Attachment 11**; and
- a Housing Agreement Bylaw to implement the affordable housing approach if required.

If the above Bylaws proceed, a development permit will be presented to Council for consideration at the time the Bylaws are ready to be considered for Adoption.

Concluding Comments

The proposed development while requiring an OCP amendment to eliminate the requirement for commercial use, is otherwise in conformance with the six storey built form policies established in the OCP. The development has generally addressed the applicable development permit area design guidelines to the satisfaction of staff. The Affordable Home Ownership Program will enable more buyers to enter the ownership market and potentially free up rental units in the City. Overall, this project will provide some variety of housing sizes for different segments of the market and given the proximity to transit, schools and commercial uses on St. Johns Street, it represents a positive addition to the community. If the project proceeds, a further report relating to the Affordable Home Ownership Program and development permit will be provided for Council's consideration.

Other Option(s)

1. THAT City of Port Moody Official Community Plan, 2014, No. 2955, Amendment Bylaw No. 23, 2019, No. 3222 and City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 24, 2019, No. 3223 (3105-3113 St. Johns Street) (CD 75) be given first reading only and that the applicant be requested to work with staff on an updated affordable housing proposal prior to second reading and Public Hearing.

THAT the staff report dated November 13, 2019 from the Planning and Development Department – Development Planning Division regarding OCP Amendment and Rezoning Application – 2002-2014 St. George Street and 2003-2009 St. Johns Street be received for information and that the applicant be requested to update the proposal by addressing the following concerns / suggestions

Financial Implications

Community Amenity and Public Art Contributions

The applicant is required to pay the Community Amenity Contribution (CAC) amount which will be established at the development permit stage once the final residential floor area is confirmed and prior to the adoption of Rezoning Bylaw No. 3223. Based on a current gross residential floor area of 14,035m² (151,072.8ft²) at \$6.00/ft², the contribution would be in the order of \$900,000. Of that total, approximately \$300,000 would be directed to the Affordable Housing Reserve Fund and the remaining \$600,000 would go towards general community amenities.

The applicant has committed to provide a contribution to the Public Art Reserve Fund, which will be based on 0.5% of the cost of construction in accordance with the Public Art Policy. Based on a construction cost estimate of approximately \$37,800,000, the contribution would be \$189,000.

The CAC and the Public Art Reserve Fund contribution are payable prior to adoption of the OCP Amendment Bylaw No. 3222 and Rezoning Bylaw No. 3223 unless receipt is deferred to support the implementation of the Affordable Home Ownership Program.

Implications of City contributions for affordable ownership program

If Council is supportive of the Affordable Home Ownership Program approach for the project, then it may include deferring all or some of fees and charges above, as well as the proceeds of the land sale of St. Andrews Street, to be paid back overtime through BC Housing once the second mortgages are paid out by owners. The City's deferral of all fees and charges would be one of three sources of financial support for the affordable ownership program. The financial implications for the City have not yet been fully evaluated.

Staff note that the proposed new DCC bylaw is envisioned to provide partial waivers for affordable housing rental units, but not for ownership units. The policies for CAC's do offer in kind contribution options. For land sales proceeds there is no formal policy. To date, the City has not financially contributed to all but 1 affordable housing project (St. Andrews) and in that context the City's support would constitute a entire new approach in supporting affordable ownership housing options. If supported by Council, staff would continue to work with the developer and BC Housing to further discuss this proposal prior to Council confirming any commitments regarding contributing to the program through a full or partial deferral of fees and charges.

Communications and Civic Engagement Initiatives

In accordance with the City's Public and Stakeholder Consultation for Major Development Projects or Area Plans policy, the applicant held a Community Information Meeting on May 23, 2019 to engage the public about the proposal and solicit feedback. The meeting was attended by 24 residents and a total eight feedback responses were received. Comments received related to:

- the parking and safety impacts associated with the additional traffic on Seaforth Way;
- the proposed design of the intersection of St. George Street and Clarke Road and the absence of a signalized intersection;
- implications for emergency access/egress due to the limited access off St. George Street;
- a suggestion that a road connection be provided through the former Barnet Hotel site to Albert Street;
- the impact of the building on views from the surrounding neighbourhood; and
- the need for designated on-street service vehicle parking.

As noted previously in the report, the proposed Clarke Road and St. George Street intersection will not be signalized for operational reasons due to the grade of the road. In order to ensure that a potentially dangerous situation is not created, the intersection design will not allow for southbound left turns from St. George Street onto Clarke Road. This will necessitate that southbound traffic utilize Seaforth Way and Seaview Drive to enter Clarke Road at a signalized intersection.

Due to the steep bank and the riparian area associated with South Schoolhouse Creek to the east and the fact the site is being developed as a single site, access through to Albert Street will not be possible.

The St. George Street road allowance will be rebuilt as part of the project and a pull out bay will be provided on the north side to allow for deliveries and parking.

Should this rezoning application proceed to a Public Hearing, notices will be sent to adjacent properties within a 140m radius of the site and will be advertised in the local newspaper in accordance with the Development Approval Procedures Bylaw and the *Local Government Act*.

Council Strategic Plan Objectives

The proposal is consistent with the strategic priority of Community Evolution in the 2019-2022 Council Strategic Plan as it relates to the objective of ensuring that future community growth is carefully considered and strategically managed, consistent with the targets approved in the City's Official Community Plan.

Attachments:

1. Location Plan.
2. Application Fact Sheet.
3. OCP Land Use and Zoning Designation Maps.
4. Reduced Site, Architectural and Landscaping Plans.
5. Plan Showing Dedication and Road Closure Areas.
6. Sustainability Report Card.
7. Letter from Bold Properties regarding the Affordable Home Ownership Program.
8. Report From Commercial Real Estate Consultant.
9. Draft City of Port Moody Official Community Plan, 2014, No. 2955, Amendment Bylaw No. 23, 2019, No. 3222.
10. Draft City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 23, 2019, No. 3223.
11. Draft City of Port Moody Road Closure Bylaw, 2019, No. 3225.

Report Author

Doug Allan, MCIP, RPP
Senior Planner.

Report Approval Details

Document Title:	OCP Amendment and Rezoning - 2002-2014 St. George Street and 2003-2009 St. John Street.docx
Attachments:	<ul style="list-style-type: none"> - Attachment 1 to Council Report (Location Plan).DOCX - Attachment 2 to council report (Fact Sheet).DOCX - Attachment 3 to Council Report.DOCX - Attachment 4 - architectural and landscape plans.PDF - Attachment 5 to council Report.DOCX - Attachment 6 - Sustainability report Card.PDF - Attachment 7 - Letter from Bold Properties re Affordable Home Ownership Program.PDF - Attachment 8 - Letter from Commercial Real Estate Consultant.PDF - Attachment 9 - OCP Amendment Bylaw 3222.DOCX - Attachment 10 - Rezoning Bylaw 3223.DOCX - Attachment 11 - Road Closure Bylaw .DOCX
Final Approval Date:	Nov 19, 2019

This report and all of its attachments were approved and signed as outlined below:

Rosemary Lodge, Manager of Communications and Engagement - Nov 15, 2019 - 3:20 PM

Paul Rockwood, General Manager of Finance and Technology - Nov 18, 2019 - 8:43 AM

André Boel, General Manager of Planning and Development - Nov 18, 2019 - 11:07 AM

Tim Savoie, City Manager - Nov 19, 2019 - 8:57 AM

ATTACHMENT 1

LOCATION PLAN



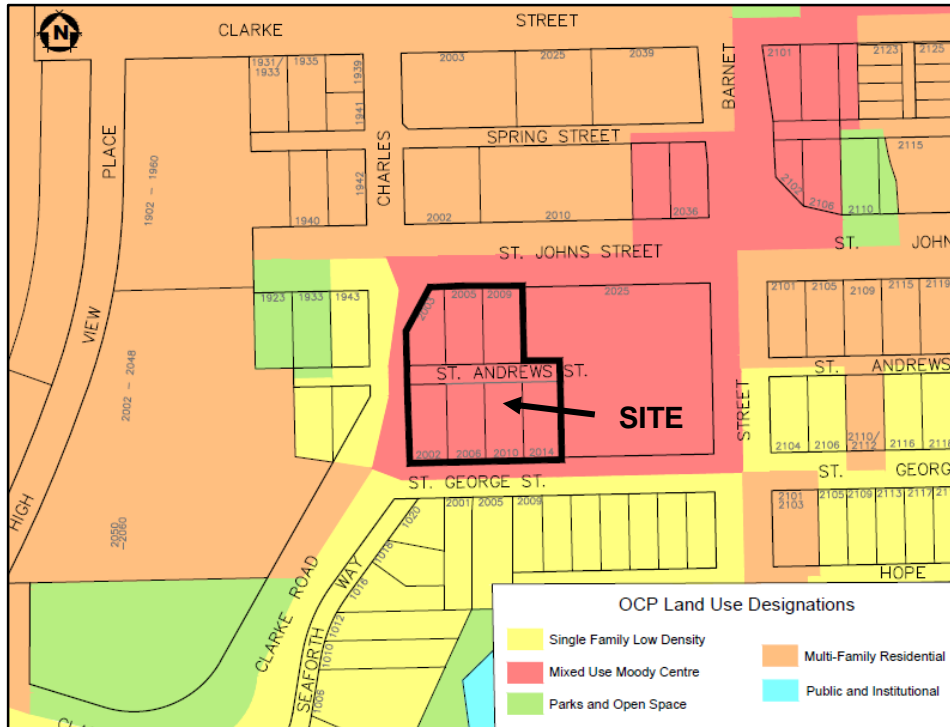
ATTACHMENT 2**APPLICATION FACT SHEET**

Applicant:	Bold Properties (New Barnet) LP
Application No. and Type	6700-20-186 Rezoning from Single Detached Residential (RS1) to Six-Storey Apartment Residential Zone (RM8).
Project Description:	A six-storey mixed-use project comprised of 163 apartment units in two buildings over underground parking.
Existing OCP Designation:	Mixed Use – Moody Centre (max. six storeys).
Development Permit Areas:	Development Permit Area 1: Neighbourhood Residential. Development Permit Area 4: Environmentally Sensitive Areas.
Community Information Meeting:	May 23, 2019
Community Planning Advisory Committee Meeting:	July 2, 2019

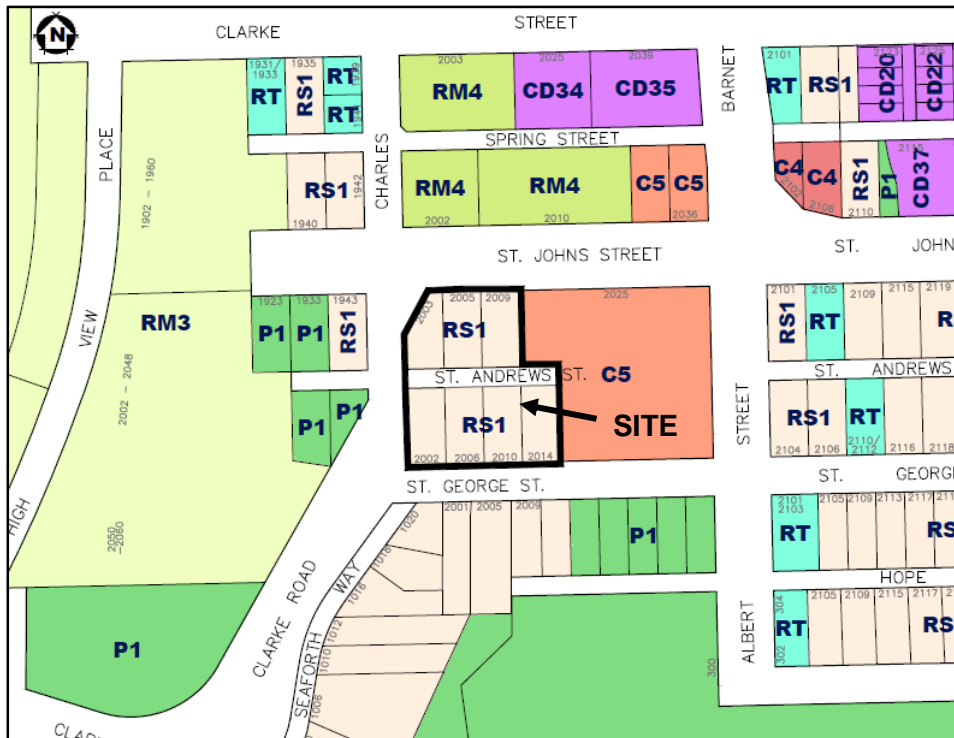
Proposed Development Statistics:

Number of residential units	163	
Density	13,851m ² (149,092.96ft ²) net floor area Floor Area Ratio: 2.4	
Lot Coverage	56.5%	
Resident Parking	219 Spaces	
Visitor Parking	27 Spaces	
Bicycle Parking	270 Long- and short-term spaces	
Setbacks – South	South – 3.66m (12ft)	
– West	West – 3.81m (12.5ft)	
– North	North – 5.48m (18ft)	
– East	East – 5.48m (18ft)	
Number of Studios, One-Bedroom and One-Bedroom + Den Units and size range	79	42.9m ² (462.5ft ²) to 67.8m ² (729.7ft ²)
Number of Two-Bedroom and Two-Bedroom + Den Units and size range	74	70.8m ² (762.3ft ²) to 93.4m ² (1005.8ft ²)
Number of Three-Bedroom and Three-Bedroom + Den Units and size range	10	95.7m ² (1,029.8ft ²) to 106m ² (1140.8ft ²)

OCP LAND USE DESIGNATIONS



ZONING DESIGNATIONS





PARAMOUNT

Clarke Road @ St. Johns Street
City of Port Moody

GATEWAY
ARCHITECTURE
P A R T N E R S

Michael Cox, Architect AIBC

220 - 601 8th Street
New Westminster, BC V3L 3C1
Tel: (604) 688-1868

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The contractor is responsible for verifying all zoning and regulatory requirements and for obtaining all necessary permits and approvals from the relevant authorities.

Information is provided for general information only and does not constitute a contract. The contractor shall verify all information with the appropriate authorities.

Architect's seal:

BOLD PROPERTIES

DRAWING LIST:

- A-0.1 COVER PAGE - STATISTICS / DRAWING LIST
- A-0.2 AREAS CALCULATION / FSR / UNITS / COVERAGE
- A-0.3 AVERAGE BUILDING HEIGHT + AREA COVERAGE
- A-1.1 LOCATION PLAN
- A-1.2 SITE PHOTOS
- A-1.3 SITE PLAN - SETBACKS + DIMENSIONS
- A-2.0 FLOOR PLAN : LEVEL 113 - PARKING LEVEL 3
- A-2.1 FLOOR PLAN : LEVEL 126/123 - N+S BLDG - PARKING LEVEL 2
- A-2.2 FLOOR PLAN : LEVEL 136/133 - N+S BLDG - PARKING LEVEL 1
- A-2.3 FLOOR PLAN : LEVEL 146 S BLDG + 143 N BLDG
- A-2.4 FLOOR PLAN : LEVEL 156 S BLDG + 153 N BLDG
- A-2.5 FLOOR PLAN : LEVEL 166 S BLDG + 163 N BLDG
- A-2.6 FLOOR PLAN : LEVEL 176 S BLDG + 173 N BLDG
- A-2.7 FLOOR PLAN : LEVEL 186 S BLDG
- A-2.8 FLOOR PLAN : LEVEL 196 S BLDG
- A-2.9 FLOOR PLAN : LEVEL 206 - N+S BLDG - ROOF
- A-3.0 SOUTH BUILDING ELEVATIONS
- A-3.1 NORTH + SOUTH BUILDINGS ELEVATIONS
- A-3.2 NORTH BUILDING ELEVATIONS
- A-4.0 BUILDING SECTION : 1-1
- A-4.1 BUILDING SECTION : 2-2
- A-4.2 BUILDING SECTION : 3-3
- A-4.3 BUILDING SECTION : 4-4
- A-5.0 PERSPECTIVE VIEWS FROM N-E
- A-5.1 PERSPECTIVE VIEWS FROM N-W
- A-5.2 PERSPECTIVE VIEWS FROM S-E
- A-5.3 PERSPECTIVE VIEWS FROM S-W
- A-5.4 PERSPECTIVE VIEWS FROM COURTYARD
- A-6.0 SHADOW ANALYSIS
- A-7.0 MATERIAL BOARD

CONSULTANT LIST	ADDRESS	CITY	PROVINCE	POSTAL	PHONE	CONTACT	EMAIL
• DEVELOPER	BOLD PROPERTIES INC.	600-688 WEST HASTINGS	VANCOUVER	BC	V6H 1P1 604 944 8942 / 140	CHARLIE KEAY	charliek@bold.ca
• ARCHITECT	GATEWAY ARCHITECTURE INC.	220-601 6TH STREET	NEW WESTMINSTER	BC	V3L 3C1 604 608 1868 / 203	MICHAEL COX DAN DIACONU	mike@designvancouver.com dan@designvancouver.com
• LANDSCAPE ARCHITECT	PERRY AND ASSOCIATES	112 EAST BROADWAY	VANCOUVER	BC	V5T 1V9 604 738 4118 604 738 4118 / 111	MICHAEL PATTERSON KARA SINGBEIL	mmp@perryandassociates.ca ks@perryandassociates.ca
• STRUCTURAL ENGINEER	BMZ STRUCTURAL ENGINEERS	700-609 WEST HASTINGS STREET	VANCOUVER	BC	V6H 4W4 604 685 9533	DAVID STUART	dstuart@bmzse.com
• CIVIL ENGINEER	BINNIE & ASSOCIATES	# 300 4940 CANADA WAY	BURNABY	BC	V5G 4H7 604 420 1721	JUSTIN MARCHAND	dmarchand@binnie.com
• CODE CONSULTANT	CAMPDORA ENGINEERING	2479 KINGSWAY	VANCOUVER	BC	V5R 5G8 604 800 9822 X 1	SUSANA D. CHUI	schui@campdora.ca
• GEOLOGICAL CONSULTANT	GEO PACIFIC CONSULTANTS	1779 WEST 75TH AVENUE	VANCOUVER	BC	V6P 6P2 604 439 0922	BYRON RICHARDSON	richardson@geopacific.ca
• TRAFFIC	BINNIE & ASSOCIATES	# 300 4940 CANADA WAY	BURNABY	BC	V5G 4H7 604 420 1721	DAVID MARCHAND	dmarchand@binnie.com
• ARBORIST	ARBORTECH CONSULTING	#145 12051 HORSESHOE WAY	RICHMOND	BC	V7A 4V4 604 275 3784 EXT: 102	NORM HOL	norm@actgroup.ca
• ENVIRONMENTAL	KEYSTONE ENVIRONMENTAL	# 320 4400 DOMINION STREET	BURNABY	BC	V5G 4G3 604 430 0671	LIBOR MICHALAK	lmichalak@keystonemontreal.com
• SURVEY	PAPOVE	# 1120 WESTWOOD STREET	COQUITLAM	BC	V3B 4S4 604-464-5199	BILL PAPOVE	landsurveyors@telus.net
• ACOUSTIC	BKL	1200 LYNN VALLEY ROAD	NORTH VANCOUVER	BC	V7J 2A2 604 988 2508 EXT: 153	NICK DOBBS	dobbs@bkl.ca

STATISTICS

CIVIC ADDRESS:
2002, 2006, 2010, 2014 ST. GEORGE STREET
2009, 2005, 2003 ST. JOHNS STREET

LEGAL ADDRESS:
LOTS: 3, 4, 5, 6, 16, 17 + LOT 18
EXCEPT: PART RED ON PLAN WITH BYLAW FILED 62959,
BLOCK 4, DISTRICT LOT 202, GROUP 1,
NEW WESTMINSTER DISTRICT, PLAN 55

EXISTING REZONING: RS 1
PROPOSED ZONING: RM 8

TOTAL FLOOR AREA
(EXISTING HOMES ON S.F. LOTS): **14,136**

SITE AREA CALCULATION:

LOT	AREA (sq ft)
16+17+18	24900.79
ST. ANDREWS STREET	8712.54
3+4+5+6	34849.73
TOTAL	68463.06
ROW AREA	6332.15
SITE AREA	62130.91
FSR	2.40

FLOOR AREA CALCULATION

NORTH BUILDING	FLOOR AREA (sq ft)	AMENITY	MINUS AMENITY SPACE
1ST GROUND LEVEL (123)	5923.3		
2ND 2ND LEVEL (133)	9931.1	612.7	
3RD 3RD LEVEL (143)	10092.4		
4TH 4TH LEVEL (153)	10011.6		
5TH 5TH LEVEL (163)	9916		
6TH 6TH LEVEL (173)	6910.6		
	52785		52172.3

SOUTH BUILDING	FLOOR AREA (sq ft)	AMENITY	MINUS AMENITY SPACE
1ST GROUND LEVEL (146)	18221.2	717.7	
2ND 2ND LEVEL (156)	19301.6		
3RD 3RD LEVEL (166)	18976.4		
4TH 4TH LEVEL (176)	17194.9		
5TH 5TH LEVEL (186)	13878.9		
6TH 6TH LEVEL (196)	12045.2		
	99618.2		98900.5

FLOOR AREA TOTAL	151072.8
TOTAL # OF UNITS	163
ADAPTABLE # OF UNITS	92
ALLOWABLE DEDUCTED AREA (SQ.FT.)	2 SQ. M. / UNIT 21.52 1979.84
FLOOR AREA AFTER DEDUCTIONS	149092.96

PARKING REQUIRED

	1 BED (1 / UNIT)	>2 BED (1.5 / UNIT)	TOTAL
N BLDG	38	35	73
S BLDG	41	96	137
N+S BLDG	79	126	205

	FIRST 100 UNITS	OVER 100 UNITS	TOTAL
100 UNITS (0.2 / UNIT)	20	7	27
100 UNITS (>100 UNITS) (0.1 / UNIT)			232

PARKING PROVIDED (w/ ACCESS TO ELECTRIC VEHICLE CHARGING STATIONS)

	STANDARD	SMALL	HC	TOTAL
VISITORS	18	8	1	27
PARKING 1	6	8	1	15
PARKING 2	73	18	3	94
PARKING 3	79	28	1	108
	176	62	6	244

BICYCLES REQUIRED

	/ UNIT	VEH (%)	HOR (%)	LOCKERS (%)	SHORT TERM	TOTAL
NORTH BLDG	87	44	26	18	6	94
SOUTH BLDG	158	79	47	32	6	164
N+S TOTAL	245	123	73	50	12	258

BICYCLES PROVIDED

(ON LEVEL P3 AND P1)	=	127 V + 77 H + 54 L	=	258
(ON COURTYARD LEVEL)	=		=	12 = 12
				TOTAL = 270

LOCKERS PROVIDED

(ON LEVEL P3 AND P2)	=	163 (1/UNIT) + 3 (STRATA)
----------------------	---	---------------------------

Project Title: Drawing Title:

PARAMOUNT
Clarke Road @ St. Johns Street
City of Port Moody

Drawn By: []
Date: 2018.02.11
Project Number: 031
Scale: AS SHOWN

COVER PAGE

Drawing Number:
A-0.1

AVERAGE	LEVEL	STUDIO	1 BED	2 BED	3 BED	4 BED	AMENITY	ENTRY	LOBBY	AD. UNITS
657.6	661.3	671.9	681.3	1124.5						
123	A5	726.0								
	A7	668.0								
	AP	592.8								
133	A4	696.0								636.5
	A5	726.0								
	A7	668.0								
	AP	592.8								
143	A4	696.1								
	A5	726.0								
	A7	668.0								
	AP	592.8								
153	A4	696.1								
	A5	726.0								
	A7	668.0								
	AP	592.8								
163	A4	696.1								
	A5	726.0								
	A7	668.0								
	AP	592.8								
173	A4	696.1								
	A5	726.0								
	A7	668.0								
	AP	592.8								
TOTAL	0.0	10521.9	14548.3	5221.3	10421.8	0.0	1020.9	812.7	756.2	
NORTH BLDG	0	16	22	6	12	0	2			28

AVERAGE	LEVEL	STUDIO	1 BED	2 BED	3 BED	4 BED	AMENITY	ENTRY	LOBBY	AD. UNITS
466.2	591.8	694.7	796.2	918.5	1049.4	1029.8				
146	A1E	477.1								
	A1S	587.8								
	A1E	477.1								
156	A1S	492.5								
	A1	587.9								
	A1S	492.5								
166	A1S	492.5								
	A1	587.9								
	A1S	492.5								
TOTAL	0.0	10521.9	14548.3	5221.3	10421.8	0.0	1020.9	812.7	756.2	

TO CONTINUE AT LEVEL 4 (176')

CONTINUED FROM LEVEL 3 (166')

AVERAGE	LEVEL	STUDIO	1 BED	2 BED	3 BED	4 BED	AMENITY	ENTRY	LOBBY	AD. UNITS
466.2	591.8	694.7	796.2	918.5	1049.4	1029.8				
176	A1S	492.5								
	A1	587.9								
	A1S	492.5								
186	A1S	492.5								
	A1	587.9								
	A1S	492.5								
196	A1S	492.5								
	A1	587.9								
	A1S	492.5								
TOTAL	0.0	10521.9	14548.3	5221.3	10421.8	0.0	1020.9	812.7	756.2	

PERCENTAGE	TARGETED	ACHIEVED
100%	50%	43%
48.5%	45.4%	6.1%
>50%	56.4%	

N+5 BLDGS	TOTAL UNITS
4	23
52	29
45	2
8	
TOTAL	105

UNIT NUMBER CALCULATION	STUDIO	1 BED	1 BED-DEN	2 BED	2 BED-DEN	3 BED	3 BED-DEN	AMENITY	FOYER
NORTH BLDG									
LEVEL 123	3	1	2						
LEVEL 133-DENY	3	4	1	2				1	1
LEVEL 143	4	5	1	1					
LEVEL 153	3	4	1	2					
LEVEL 163	3	4	1	2					
LEVEL 173	3	4	1	2					
TOTAL	0	16	22	6	12	0	2	1	1
5B									
SOUTH BLDG									
LEVEL 146-DENY	1	1	3	5	5			1	1
LEVEL 154	1	1	5	5	8				
LEVEL 164	1	1	7	6	4				
LEVEL 174	1	3	3	5	4				
LEVEL 184	4	1	5	1	1				
LEVEL 194	4	1	3	1	1				
TOTAL	4	7	30	23	33	2	6	1	1
105									
TOTAL UNITS									
163	4	23	52	29	45	2	8		

GATEWAY ARCHITECTURE
 Michael Cox, Architect AIA
 220 - 601 6th Street
 New Westminster, BC V3L 3C1
 Tel: (604) 688-1888

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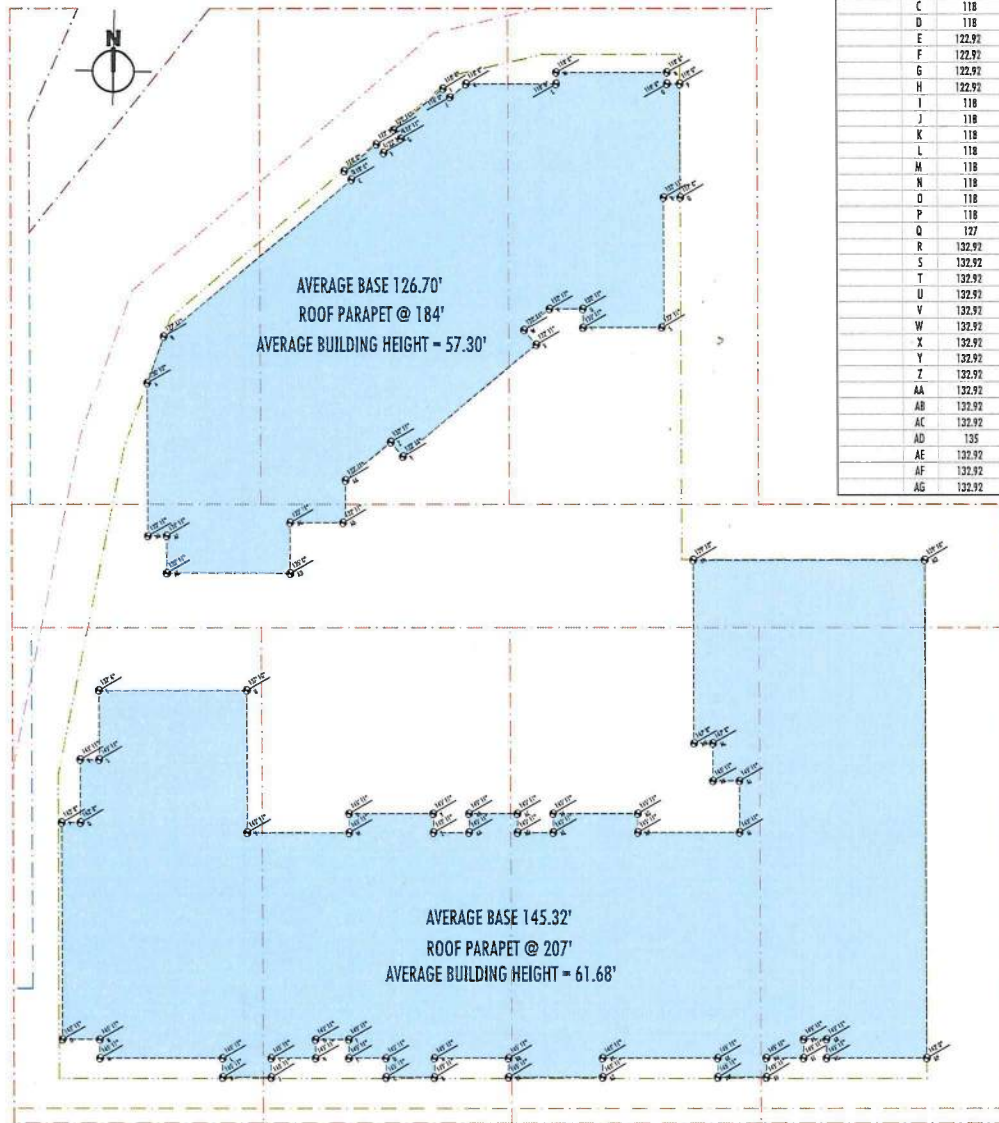
BOLD PROPERTIES

PARAMOUNT
 6144 Road B, St. Johns Street
 Unit #1 (FOR RFP USE)

STATISTICS

Drawn: []
 Date: 2019-05-31
 Project No: 105
 Title: 4518000

Drawing Number:
A-0.2

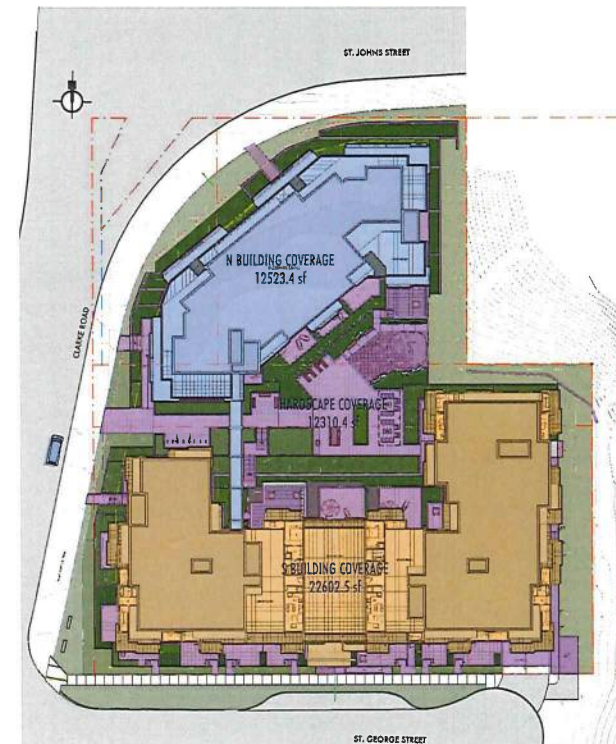


1 AVERAGE BUILDING HEIGHT
Scale: 1/118" = 1'-0"

	BASE POINT (FT)
AVERAGE BASE	126.70
ROOF PARAPET @	184.00
AVERAGE N BLDG HEIGHT	57.30
A	130.81
B	122.91
C	118
D	118
E	122.91
F	122.91
G	122.91
H	122.91
I	118
J	118
K	118
L	118
M	118
N	118
O	118
P	118
Q	127
R	132.92
S	132.92
T	132.92
U	132.92
V	132.92
W	132.92
X	132.92
Y	132.92
Z	132.92
AA	132.92
AB	132.92
AC	132.92
AD	135
AE	132.92
AF	132.92
AG	132.92

	BASE POINT (FT)
AVERAGE BASE	145.32
ROOF PARAPET @	207.00
AVERAGE S BLDG HEIGHT	61.68
A	145.92
B	145.92
C	145.92
D	145.92
E	145.92
F	145.92
G	145.92
H	145.92
I	145.92
J	145.92
K	145.92
L	145.92
M	145.92
N	145.92
O	145.92
P	143.67
Q	143.67
R	145.92
S	145.92
T	137.5
U	137.83
V	145.92
W	145.92
X	145.92
Y	145.92
Z	145.92
AA	145.92
AB	145.92
AC	145.92
AD	145.92
AE	145.92
AF	145.92
AG	145.92
AH	145.92
AI	145.92
AJ	145.92
AK	145.92
AL	147.67
AM	147.67
AN	139.83
AO	139.83
AP	143
AQ	145.92
AR	145.92
AS	145.92
AT	145.92
AU	145.92
AV	145.92
AW	145.92
AX	145.92
AY	145.92
AZ	145.92
BA	145.92
BB	145.92

		COVERAGE AREA
	NORTH BUILDING	12523.4
	SOUTH BUILDING	22602.5
	TOTAL	25126.9
SITE COVERAGE		56.5%
	HARDSCAPE	12310.4
SITE COVERAGE INCLUDING HARDSCAPE		76.3%



2 AREA COVERAGE
Scale: 1/32" = 1'-0"

GATEWAY ARCHITECTURE P.C.A. P.C.A. P.C.A.
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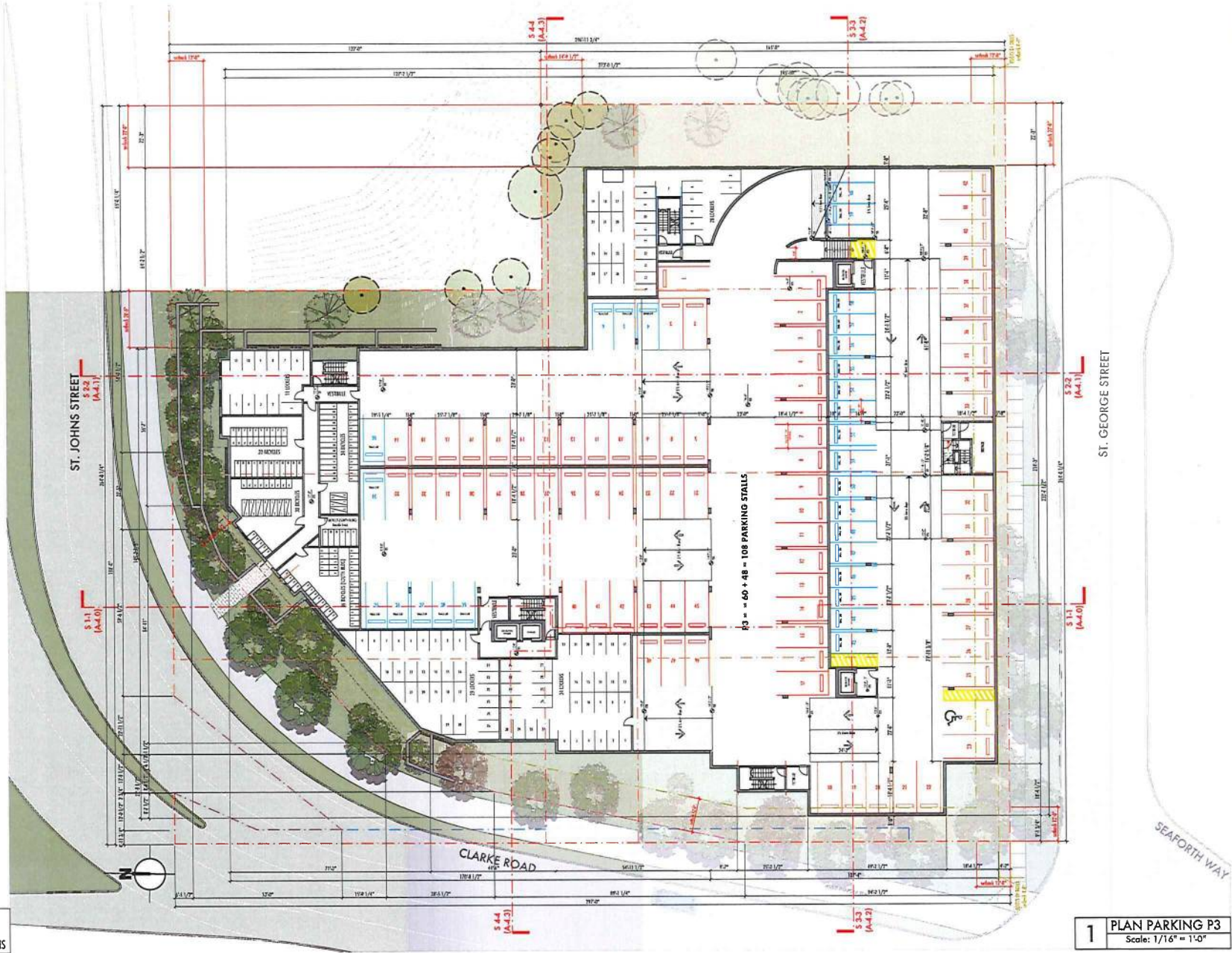
Architect's seal:

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1. (Professional) (Architect) (Architectural)	1. (Professional) (Architect) (Architectural)
2. (Professional) (Architect) (Architectural)	2. (Professional) (Architect) (Architectural)
3. (Professional) (Architect) (Architectural)	3. (Professional) (Architect) (Architectural)
4. (Professional) (Architect) (Architectural)	4. (Professional) (Architect) (Architectural)

PARAMOUNT
125 St. John's Street
New Westminster, BC V3C 3C1
Project Name: Drawing Title:
Date: 2015.03.31
Project Number: 033
Scale: AS SHOWN

Drawing Number:
A-0.3



ALL RESIDENTIAL PARKING STALLS ARE PROVIDED WITH CONNECTIONS TO ELECTRIC VEHICLE CHARGING STATIONS

1 PLAN PARKING P3
Scale: 1/16" = 1'-0"

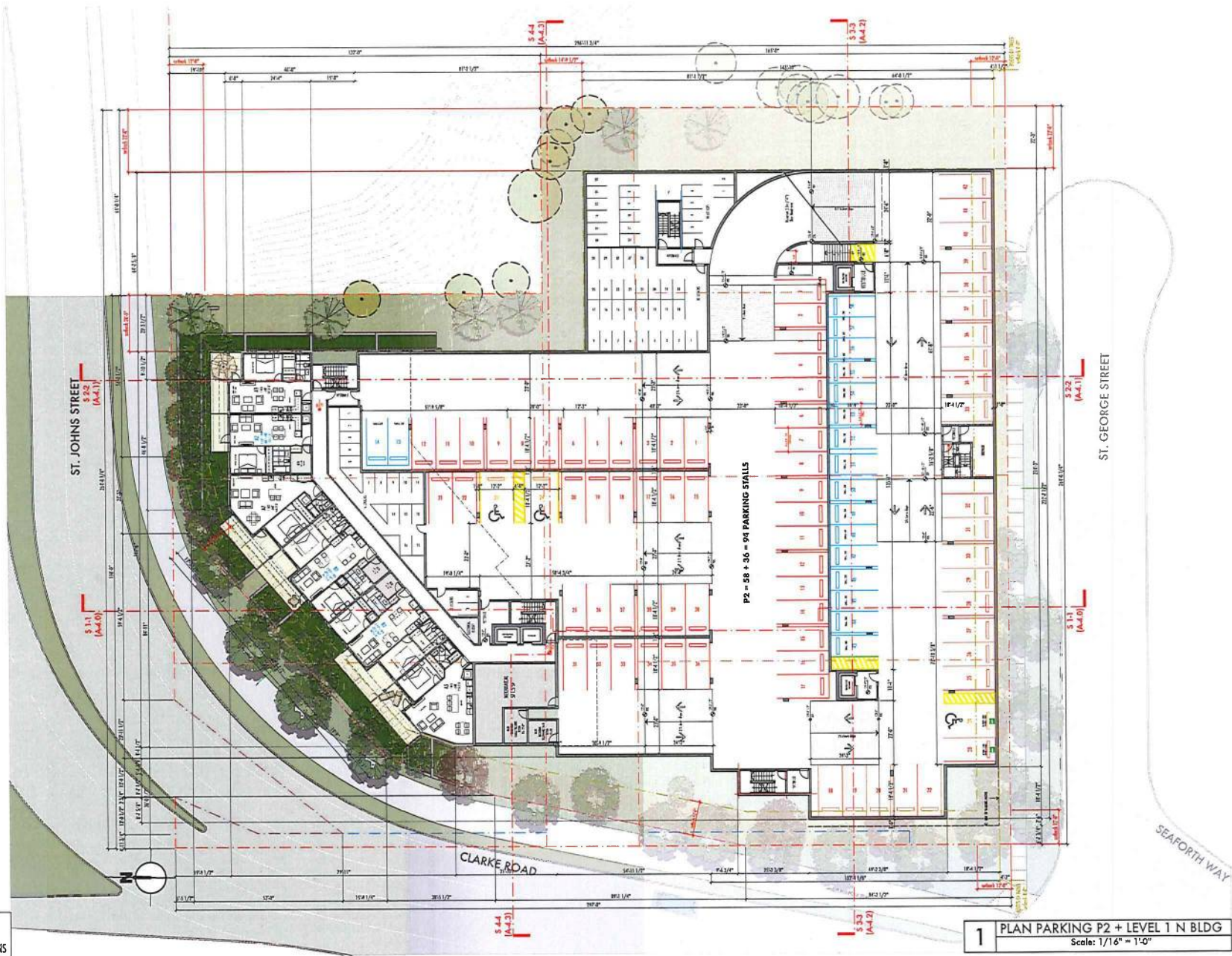
GATEWAY ARCHITECTURE INC.
MICHAEL COX, ARCHITECT A I B C
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<p>PARAMOUNT Clark Road @ St. Johns Street City of Fort Meade</p>	<p>Project Title: Drawing Title: PLAN PARKING P3</p>
<p>Rev: 010 Date: 2018 03 31 Project No: 039 Scale: AS SHOWN</p>	<p>Prepared by: mcoy / rchance 1. 1/10/18 Pro-Applicance Brief 2. 01/13/18 Rezoning - Development Application Submission 3. 03/03/18 Community Information Meeting 4. 03/03/18 Community History Agency (on other meeting)</p>
<p>Drawing Number: A-2.0</p>	



ALL RESIDENTIAL PARKING STALLS ARE PROVIDED WITH CONNECTIONS TO ELECTRIC VEHICLE CHARGING STATIONS

1 PLAN PARKING P2 + LEVEL 1 N BLDG
Scale: 1/16" = 1'-0"

GATEWAY
ARCHITECTS
Michael Cox, Architect AIA BC
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New Washington, DC 20032
tel: (804) 609-1848

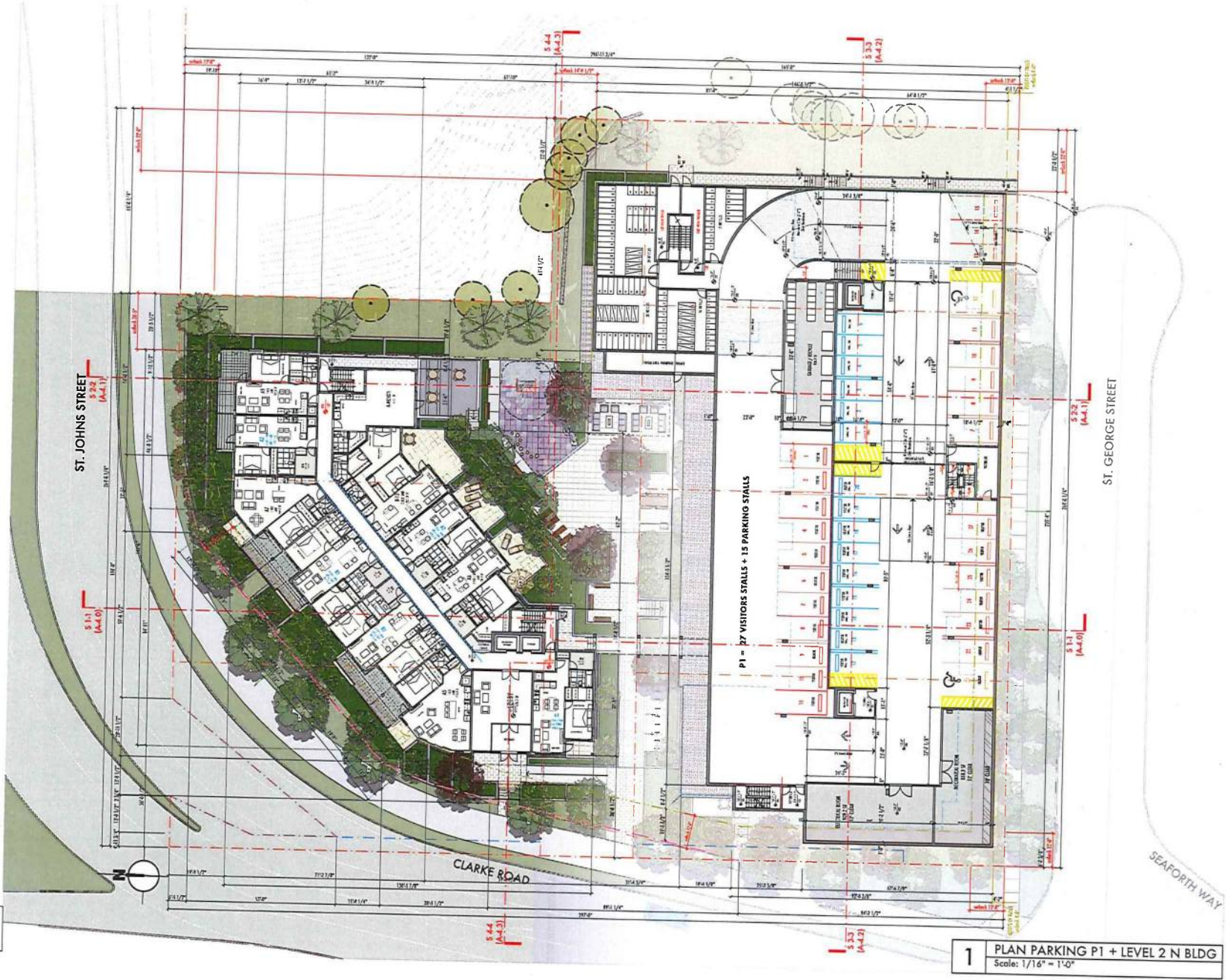
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<p>PARAMOUNT Clark Road @ St. Johns Street City of Fort Meade</p>	<p>Project Title: PLAN PARKING P2 LEVEL 1 N BLDG</p>
<p>Drawn by: 010 Rev: 2019 05 31 Project No: 030 Date: 05/30/19</p>	<p>Project No: 030 Date: 05/30/19</p>
<p>Drawing Number: A-2.1</p>	<p>Project No: 030 Date: 05/30/19</p>

ALL RESIDENTIAL PARKING STALLS ARE PROVIDED WITH CONNECTIONS TO ELECTRIC VEHICLE CHARGING STATIONS



GATEWAY
ARCHITECTURE
INCORPORATED

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tel: (604) 509-1900

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BOLD PROPERTIES

PARAMOUNT Climate Lead @ St. Johns Street City of Fort St. Vrain		Project Title: Drawing Title:
Drawn: 018	Rev: 2018.05.21	Project Title: Drawing Title:
Reviewed: 018	Rev: 2018.05.21	Project Title: Drawing Title:
Scale: 1/16" = 1'-0"	Sheet: 45-2008	Project Title: Drawing Title:

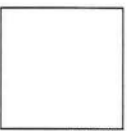
A-2.2



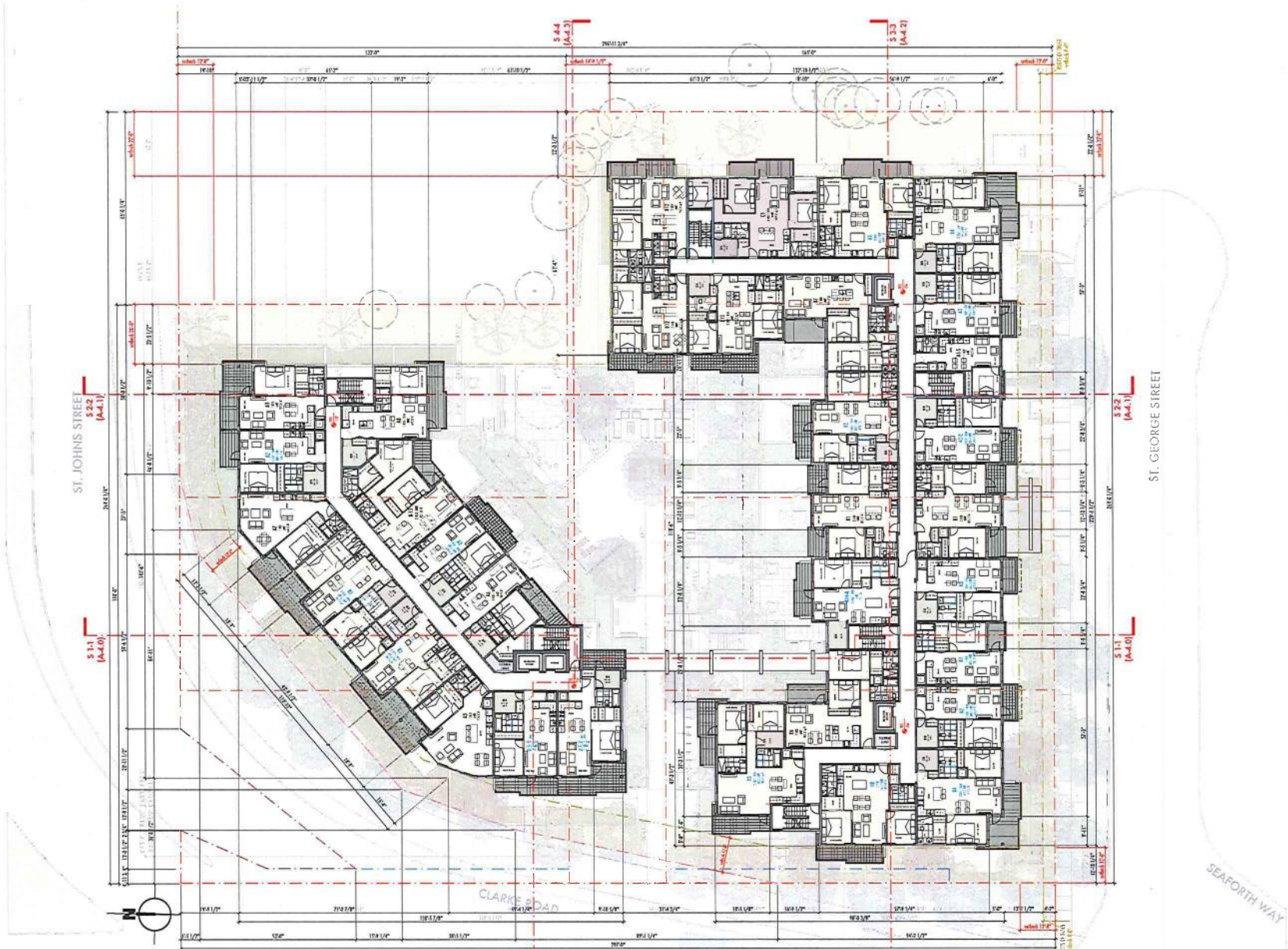
1 PLAN LEVEL 1 S BLDG + LEVEL 3 N BLDG
Scale: 1/16" = 1'-0"

PARAMOUNT Clark Road @ St. Johns Street City of Fort Worth		Project Title:	1. Paramount	Project Number / Address:	17800
		Client:	18130	Architect:	19530
PLAN LEVEL 1 S BLDG LEVEL 3 N BLDG		Phase:	2019-05-31	Revision:	03
		Drawn By:	AS/SDB	Scale:	AS/SDB

BOLD PROPERTIES



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 Tel: (502) 608-1988
GATEWAY ARCHITECTURE & CONSTRUCTION, L.P.
 Michael Cox, Architect AIA C



1 PLAN LEVEL 2 S BLDG + LEVEL 4 N BLDG
Scale: 1/16" = 1'-0"

GATEWAY ARCHITECTURE INC. ARCHITECTS
Michael Cox, Architect AIA C
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New Westminster, BC V3L 3J1
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Contractor shall be responsible to ensure that all work is completed in accordance with the requirements of the applicable codes and standards.

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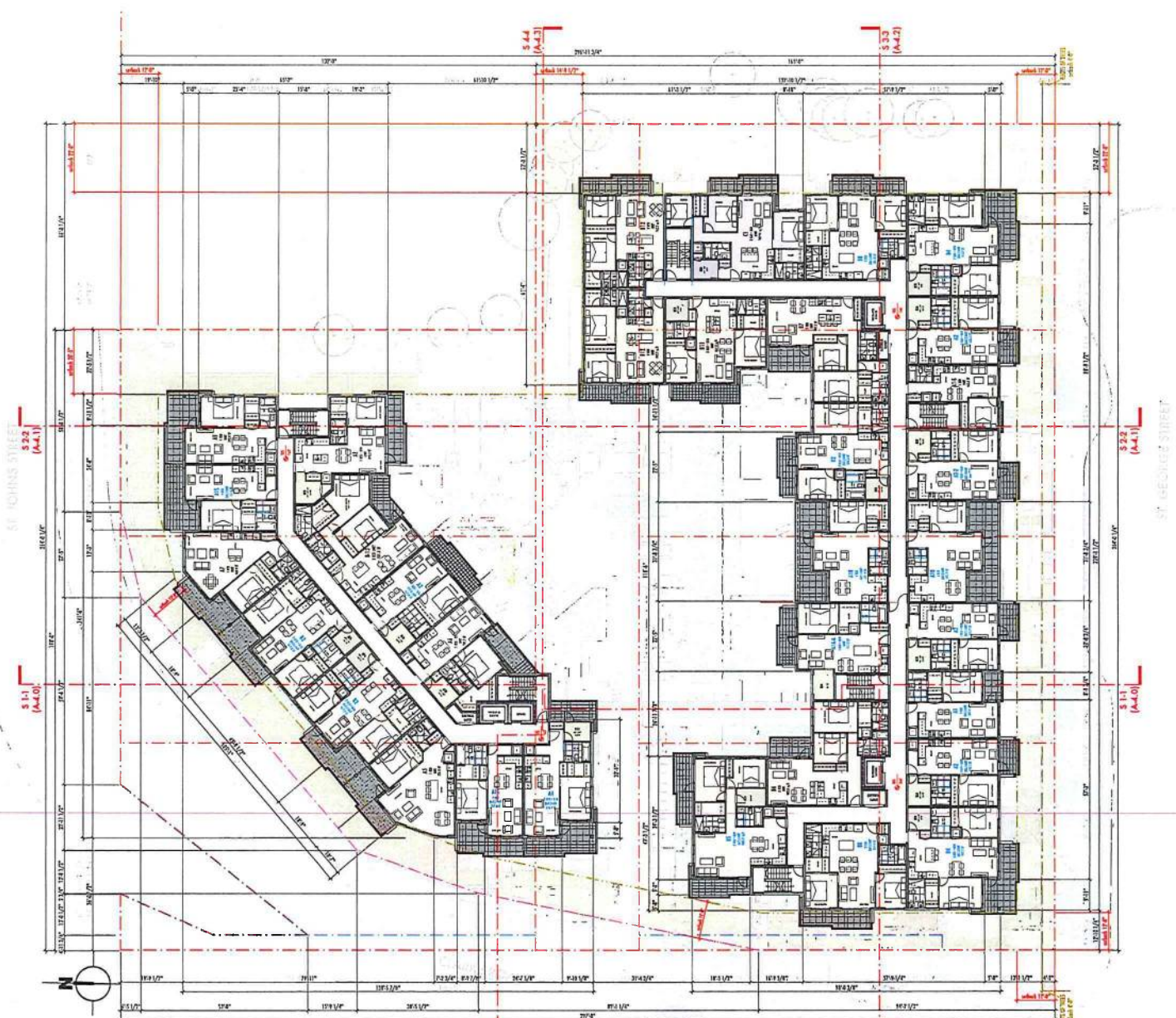
BOLD PROPERTIES

REV	DESCRIPTION
1	Issued for construction
2	For Applications Review
3	Revised - Development Application Submittal
4	Revised - Development Application Submittal
5	Revised - Development Application Submittal
6	Revised - Development Application Submittal
7	Revised - Development Application Submittal
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99	Revised - Development Application Submittal
100	Revised - Development Application Submittal

PARAMOUNT
Clark Road @ St. Johns Street
City of New Westminster
Site No: 882
Date: 2019-05-31
Project Name: 513
Title: 4150000

Project Title: Drawing Title:
**PLAN LEVEL 2 S BLDG
LEVEL 4 N BLDG**

Drawing Number:
A-2.4



1 PLAN LEVEL 3 S BLDG + LEVEL 5 N BLDG
Scale: 1/16" = 1'-0"

GATEWAY
ARCHITECTURE
INCORPORATED
Michael Cox, Architect A.I.C.C.
220 - 401 4th Street
New Westminster, BC V3L 3C3
Tel: (604) 678-1868

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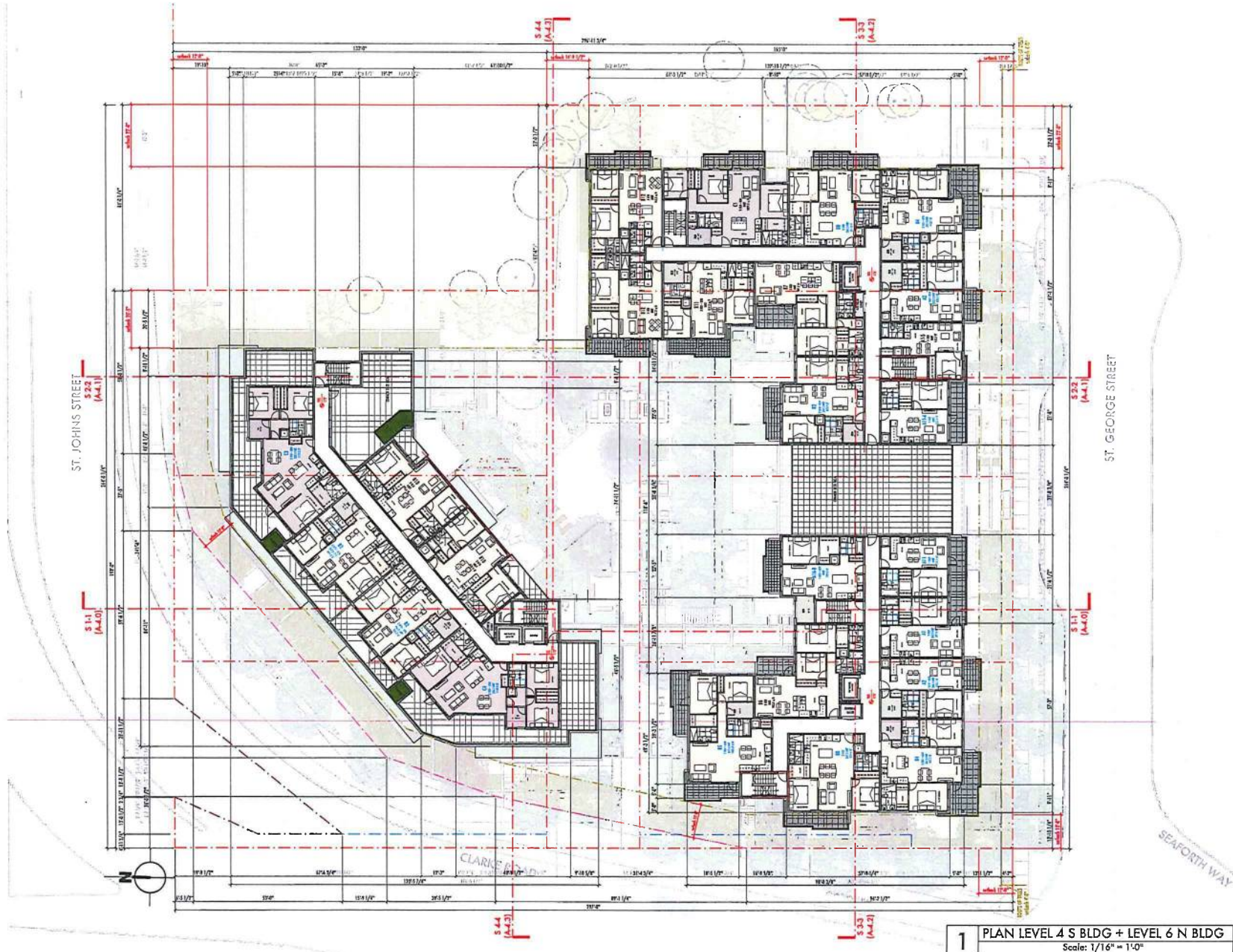
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Architect's seal:

BOLD PROPERTIES

PARAMOUNT (City of Richmond)	
Project Title: Drawing Title:	
PLAN LEVEL 3 S BLDG LEVEL 5 N BLDG	
No. (Project) 1. 19898 2. 18139 3. 18033 4. 19231	Activity / Sub-Activity No-Application Review Meeting - Participants Application Submission Community Information Meeting Community Planning Advisory Committee Meeting
Date: 0111 2021 Drawn by: JTB Scale: AS SHOWN	Drawing Number: A-2.5



1 PLAN LEVEL 4 S BLDG + LEVEL 6 N BLDG
Scale: 1/16" = 1'-0"

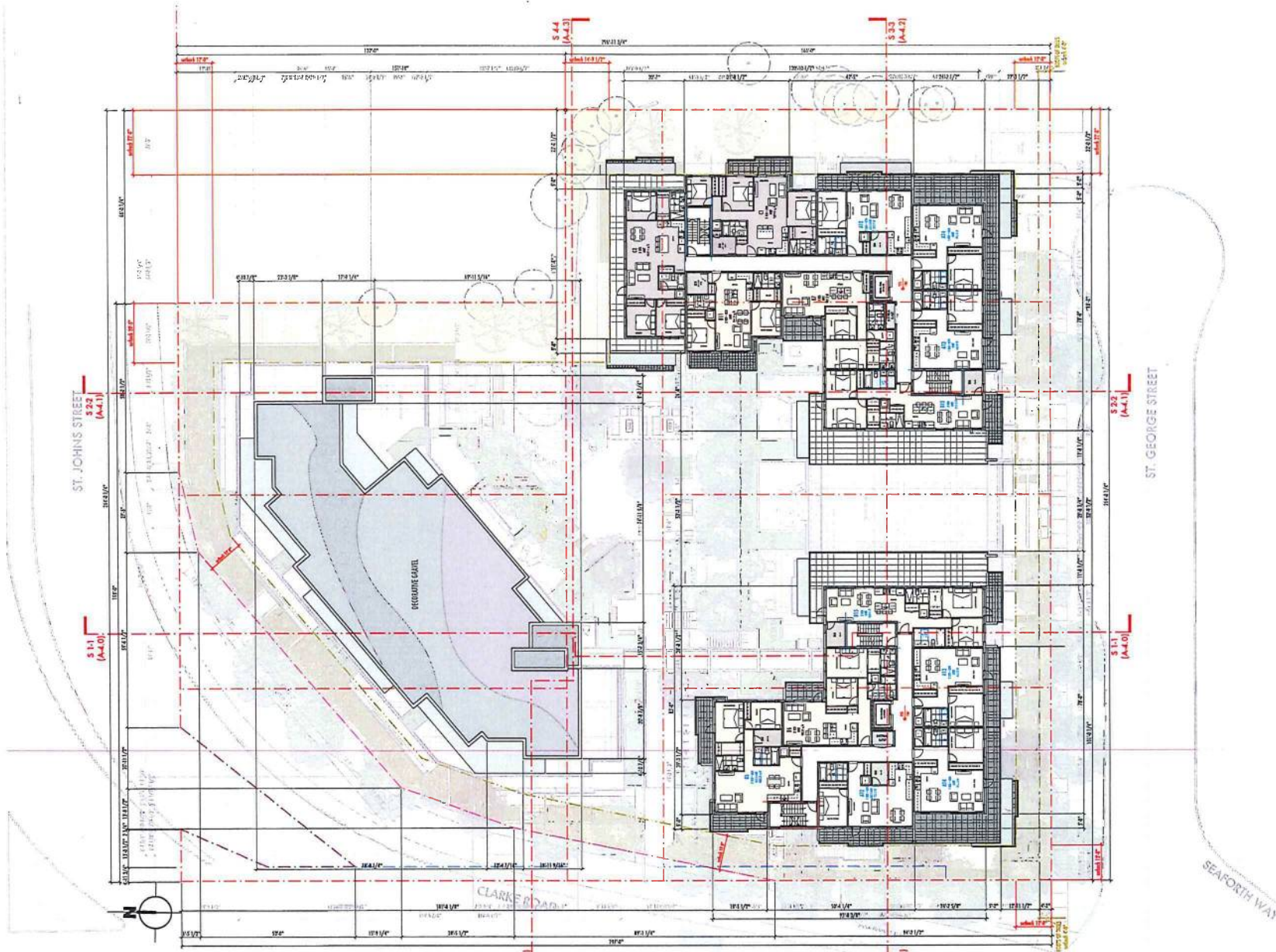
GATEWAY
ARCHITECTURE
IN CONSULTANTS
Michael Cox, Architect A I D C
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New Westminster, BC V2C 3C3
Tel: (604) 699-1998

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Architect's seal:

BOLD PROPERTIES

PARAMOUNT Clerk, Ross & St. Johns Street City of Port Moody	
Project Title: Drawing Title: PLAN LEVEL 4 S BLDG LEVEL 6 N BLDG	Project No.: 2018 05 31 Date: 2018 05 31 Drawn By: JTB Check: AS SKGWA
Project Title: Drawing Title: PLAN LEVEL 4 S BLDG LEVEL 6 N BLDG	Project No.: 2018 05 31 Date: 2018 05 31 Drawn By: JTB Check: AS SKGWA
Drawing Number: A-2.6	



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 New Washington, NC 27561
 Tel: (404) 608-1868

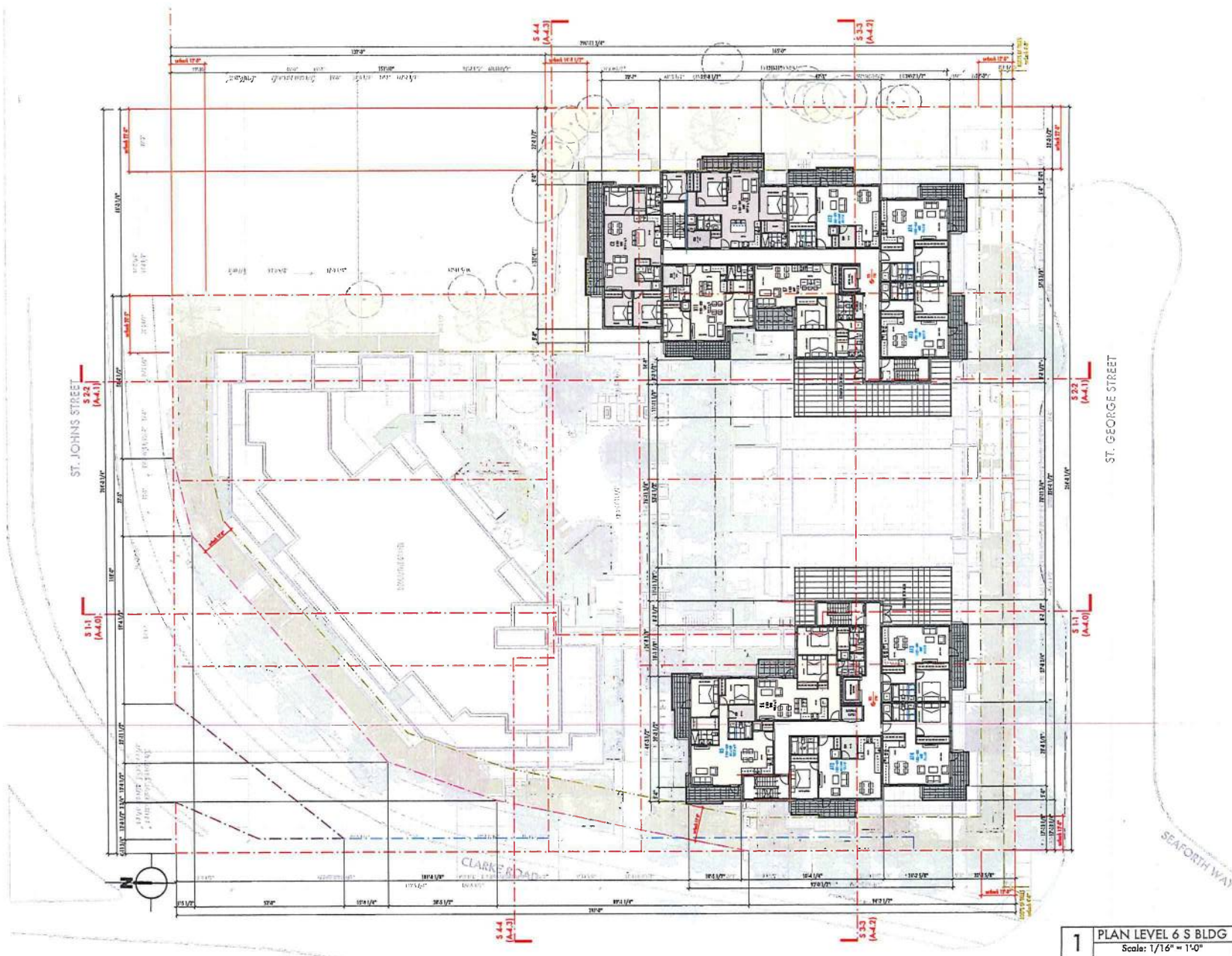
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Architect's seal:

BOLD PROPERTIES

PARAMOUNT Clarke Reed & St. Johns Street City of New Washington PLAN LEVEL 5 S BLDG ROOF PLAN N BLDG	
Project Title: Drawing Title: PLAN LEVEL 5 S BLDG ROOF PLAN N BLDG	Project No.: 20110311 Date: 05/08/11 Drawing No.: 45-0000A
Rev. 1: 07/10/11 Rev. 2: 08/03/11 Rev. 3: 08/03/11	Description: 1. Final 2. Final 3. Final
Rev. 4: 08/03/11 Rev. 5: 08/03/11 Rev. 6: 08/03/11	Description: 4. Final 5. Final 6. Final

1 PLAN LEVEL 5 S BLDG + ROOF N BLDG
 Scale: 1/16" = 1'-0"



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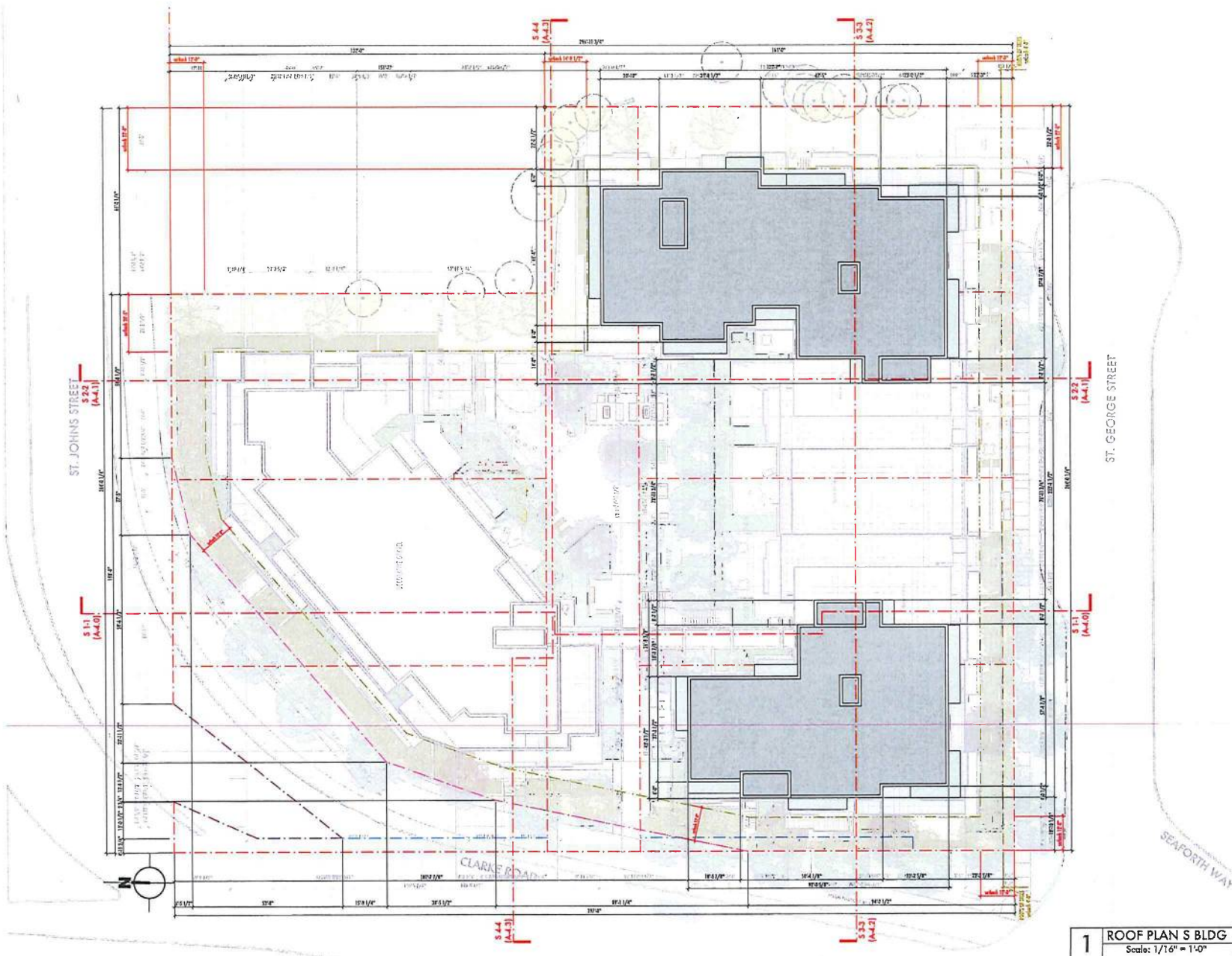
Architect's seal:

BOLD PROPERTIES

<p>PARAMOUNT City of New Westminster City of Port Moody</p>	<p>Project Title: Drawing Info: PLAN LEVEL 6 S BLDG</p>
<p>Project No: 2011 04 01 Project Name: 2011 04 01 Project Date: 2011 04 01</p>	<p>Project Title: Drawing Info: PLAN LEVEL 6 S BLDG</p>
<p>Project No: 2011 04 01 Project Name: 2011 04 01 Project Date: 2011 04 01</p>	<p>Project Title: Drawing Info: PLAN LEVEL 6 S BLDG</p>
<p>Project No: 2011 04 01 Project Name: 2011 04 01 Project Date: 2011 04 01</p>	<p>Project Title: Drawing Info: PLAN LEVEL 6 S BLDG</p>

1 PLAN LEVEL 6 S BLDG
Scale: 1/16" = 1'-0"

A-2.8



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Project Title:	ROOF PLAN S BLDG
Drawing Title:	S BLDG
Project No.:	1918
Revision:	2018 05 31
Project No.:	1918
Date:	15 SEP 2018
Project Title:	PARAMOUNT
Client:	City of Port Moody
Address:	17800 178th Street
City:	Port Moody
Project No.:	1918
Date:	15 SEP 2018

1 ROOF PLAN S BLDG
 Scale: 1/16" = 1'-0"

A - 2.9



MATERIALS + FINISHES (TYPICAL WORK GROUPS)

1. CONCRETE BOARD	2. CONCRETE BOARD	3. CONCRETE BOARD	4. CONCRETE BOARD	5. BRICK	6. METAL PANELS	7. METAL PANELS	8. GLASS	9. GLASS BALCONY	10. WOOD FINISHES	11. EXTERIOR DOOR & WINDOW FRAMES	12. CONCRETE	13. ASPHALT	14. CONCRETE BOARD
2010-01	2010-02	2010-03	2010-04	2010-05	2010-06	2010-07	2010-08	2010-09	2010-10	2010-11	2010-12	2010-13	2010-14
2010-01	2010-02	2010-03	2010-04	2010-05	2010-06	2010-07	2010-08	2010-09	2010-10	2010-11	2010-12	2010-13	2010-14

1 SOUTH BUILDING : ELEVATION SOUTH
Scale: 3/32" = 1'-0"



2 SOUTH BUILDING : ELEVATION NORTH - COURTYARD
Scale: 3/32" = 1'-0"

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Architect's seal:

BOLD PROPERTIES

Project Name:	PARAMOUNT
Project Address:	Clarke Road @ 5th Street, City of Fort Meade
Project Title:	SOUTH BUILDING S + N ELEVATIONS
Drawn by:	018
Check by:	018
Project Manager:	018
Scale:	A5 3/32" = 1'-0"
Drawing Number:	A - 3.0



1 N + S BUILDINGS : ELEVATION WEST
Scale: 3/32" = 1'-0"

MATERIALS + FINISHES (PERMANENT COLORS)

1. CONCRETE BOARD	14. GRC 19 - STAIRWELL
2. CONCRETE BOARD	15. GRC 20 - CORNER RAIL
3. CONCRETE BOARD	16. GRC 21 - PERFORATED MESH
4. CONCRETE BOARD	17. GRC 22 - METALLIC PANELS
5. BRICK	18. METALLIC MATERIALS - COOL CHALK
6. METAL PANELS	19. METALLIC MATERIALS - COOL CHALK
7. METAL PANELS	20. METALLIC MATERIALS - COOL CHALK
8. GRC 14 - IN THE WORKSHOP	21. METALLIC MATERIALS - COOL CHALK
9. GRC 15 - IN THE WORKSHOP	22. METALLIC MATERIALS - COOL CHALK
10. GRC 16 - IN THE WORKSHOP	23. METALLIC MATERIALS - COOL CHALK
11. GRC 17 - IN THE WORKSHOP	24. METALLIC MATERIALS - COOL CHALK
12. GRC 18 - IN THE WORKSHOP	25. METALLIC MATERIALS - COOL CHALK
13. GRC 19 - IN THE WORKSHOP	26. METALLIC MATERIALS - COOL CHALK



2 N + S BUILDINGS : ELEVATION EAST
Scale: 3/32" = 1'-0"

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Architect's seal and stamp area.

Architect's seal area.

BOLD PROPERTIES

Project Information:

Client: **PARAMOUNT**
City of Port Moody
Address: **5 + N BUILDINGS WEST + EAST ELEVATIONS**

Project Title: **5 + N BUILDINGS WEST + EAST ELEVATIONS**

Architect: **Michael Cox Architect A I D C**

Scale: **AS SHOWN**

Drawing Number: **A-3.1**



1 NORTH BUILDING : ELEVATION SOUTH - COURTYARD
Scale: 3/32" = 1'-0"

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2 NORTH BUILDING : ELEVATION NORTH
Scale: 3/32" = 1'-0"

BOLD PROPERTIES

Project Title:	PARAMOUNT NORTH BUILDING ELEVATIONS
Project No.:	191551
City:	City of Fort Mealy
Site:	City of Fort Mealy
Author:	AS 000000
Check:	AS 000000
Date:	2018 03 31
Scale:	AS 000000
Sheet:	AS 000000
Drawing Number:	A-3.2

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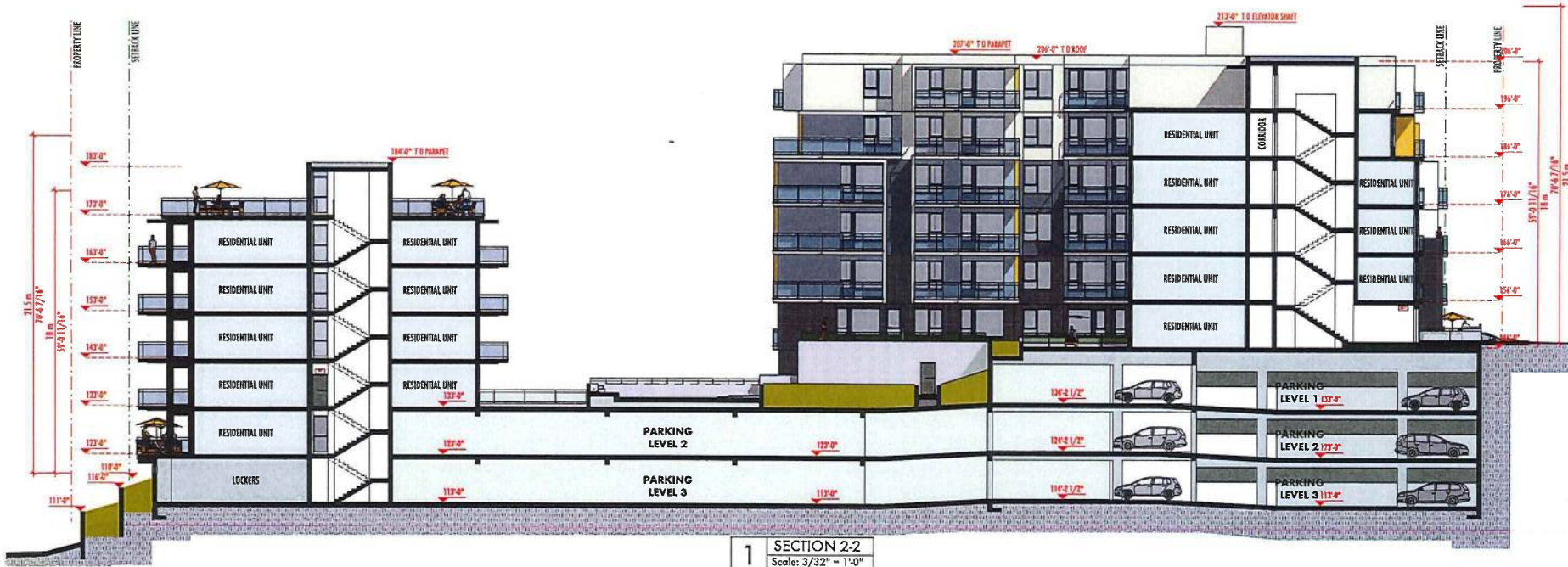
Architect's seal:

BOLD PROPERTIES



1 SECTION 1-1 (N to S)
Scale: 3/32" = 1'-0"

Prepared / revised / estimate	10/18/18	Pre-application Meeting	10/18/18
Checked / approved	10/18/18	City of West Mtns	10/18/18
Project Title	Drawing Title		
PARAMOUNT			
Chelsea Place @ 5th Street			
City of West Mtns			
Drawn by:	018	10/18/18	
Check by:	017 & 011	10/18/18	
Approved by:	011		
Scale:	AS SHOWN		
SECTION 1-1			
Drawing Number:			
A-4.0			



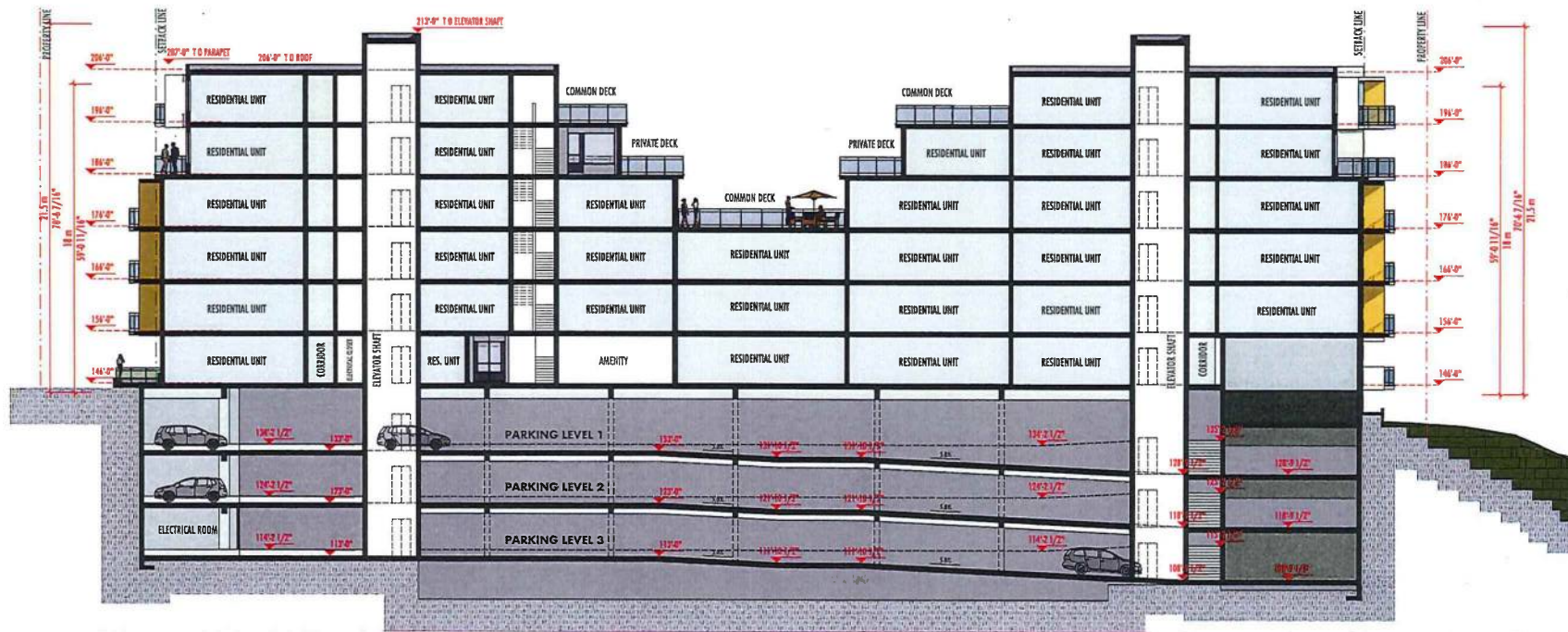
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 Dimensions are responsible to center line of wall, in general to centerline, with the exception of the wall corner elevations, center and figure.

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BOLD PROPERTIES

Project Name: PARAMOUNT Client: CLIVE & SYDNEY STREET 1717-1721 CLIVE STREET 2018 Date: 2018.05.31 Drawn By: SE Title: AS SHOWN	Project Title: SECTION 2-2 Drawing Title: Drawing Number: A-4.1
---	--



1 SECTION 3-3
Scale: 3/32" = 1'-0"



Michael Cox, Architect AIA C

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BOLD PROPERTIES

<p>104-105-01 100108 101100 100000 100000</p> <p>Residential / Architecture Pre-Application Review Permitting - Development Applications Submission Construction Management Construction Management</p>	<p>Project Title: Drawing Title:</p> <p>PARAMOUNT Christie & 35th Street 107-11 35th Street</p> <p>SECTION 3-3</p> <p>Issue: 010 Date: 2018 09 11 Project Number: 010 Scale: AS SHOWN</p>
<p>Drawing Number: A-4.2</p>	



1 SECTION 4-4 (E to W)
Scale: 3/32" = 1'-0"

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BOLD PROPERTIES

PROJECT INFORMATION PROJECT TITLE: PARAMOUNT CLIENT: City of Port Moody PROJECT LOCATION: Clarke Road	
DRAWING INFORMATION DRAWING TITLE: SECTION 4-4 DRAWING NUMBER: A-4.3	
PROJECT NO.: 008 SCALE: 3/32" = 1'-0" DATE: 03/11/2014 DRAWN BY: AS/SMW	CHECKED BY: APPROVED BY:



1 VIEW FROM N-E



2 AERIAL VIEW FROM N-E

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 INCORPORATED
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Architect's seal:

BOLD PROPERTIES

REV.	DESCRIPTION / COMMENTS
1.	100000 Pre-Application Review
2.	101100 Rezoning - Development Application Submission
3.	101110 Community Consultation Meeting
4.	100201 Community Planning Advisory Committee Meeting

Project Title: Drawing Title:	
PARAMOUNT	N + S BUILDINGS
4000 10th Street	VIEW FROM N-E
City of Fort Worth	
Drawn by: 010	Scale: AS SHOWN
Date: 2018 03 21	
Check by: 010	
Issue: 010	

Drawing Number:
A - 5.0



1 VIEW FROM N-W



2 AERIAL VIEW FROM N-W

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BOLD PROPERTIES

Project Title: PARAMOUNT Client: Chirix Real Estate Address: 3111 St. Johns Street Date: 2017.01.21 Project Number: 121 Scale: AS SHOWN	Drawing Title: N + S BUILDINGS VIEWS FROM N-W
No. 121004 Rev. 01 Date: 2017.01.21	Description: Pre-Application Review Drawing: Pre-Application Review Community: Community Planning Drawing: Community Planning Drawing: Community Planning
Drawing Number: A-5.1	



1 VIEW FROM S-E



2 AERIAL VIEW FROM S-E



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BOLD PROPERTIES

Project Title: PARAMOUNT Client: City of New Westminster Address: 301-303 12th Street Date: 2018-02-21 Project Number: 131 Scale: AS SHOWN	Drawing Title: N + S BUILDINGS VIEWS FROM S-E Project Title: PARAMOUNT Client: City of New Westminster Address: 301-303 12th Street Date: 2018-02-21 Project Number: 131 Scale: AS SHOWN
Drawing Number: A-5.2	



1 VIEW FROM S-W



2 AERIAL VIEW FROM S-W

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PROJECT TITLE: PARAMOUNT CLIENT: CLIXBY ROAD @ 3125 WEST STREET DRAWING TITLE: N + S BUILDINGS VIEWS FROM S-W	DATE: 2018 DRAWN: 2018 B.J.1 CHECKED: 2018 B.J.1 SCALE: AS SHOWN
PROJECT FILE: _____ DRAWING TITLE: _____	NO. OF SHEETS: 10 SHEET NO.: 10 DATE: 2018 DRAWN: 2018 B.J.1 CHECKED: 2018 B.J.1 SCALE: AS SHOWN
PROJECT TITLE: _____ CLIENT: _____ DRAWING TITLE: _____	NO. OF SHEETS: _____ SHEET NO.: _____ DATE: _____ DRAWN: _____ CHECKED: _____ SCALE: _____

Drawing Number:
A-5.3



1 COURTYARD VIEW 1



2 COURTYARD VIEW 2



3 COURTYARD VIEW 3



4 COURTYARD VIEW 4

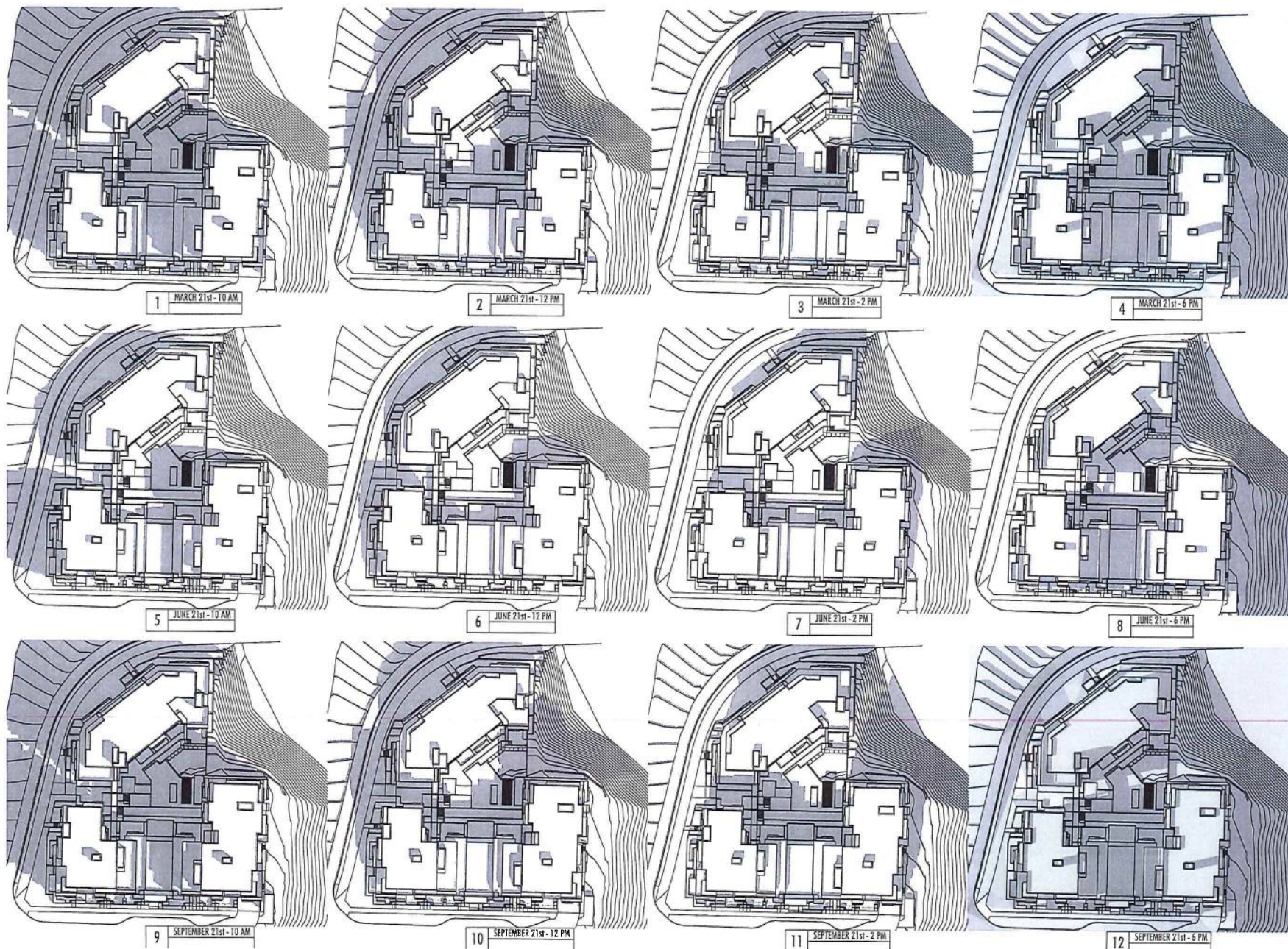
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44. (2024) NOTICE / Avis 1. 07/20/24 Pre-Application Review 2. 08/13/24 Rezoning - Development Applications Sub-committee 3. 08/28/24 Community Information Meeting 4. 09/23/24 Community Planning Advisory Committee Meeting	Project Title: Drawing Title: PARAMOUNT Clerk's Head @ 311-4th Street City of New Westminster N + S BUILDINGS COURTYARD VIEWS
Drawn by: JFD Date: 2024-05-21 Project Number: 1518 Scale: AS SHOWN	Drawing Number: A-5.4



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Architect's seal:



BOLD PROPERTIES

Project Title / Reference	Project Title / Reference
20180808 - Pre-Application Review	20180808 - Pre-Application Review
City of New Westminster	City of New Westminster
City of Park Royal	City of Park Royal
1000333	1000333
1000333	1000333
Community Planning Advisory Committee Meeting	Community Planning Advisory Committee Meeting
Project Title / Drawing Title:	
PARAMOUNT Columbia Blvd @ St. Johns Street City of Park Royal	
Level:	100
Year:	2018 08 31
Prepared by:	JBK
Scale:	AS SHOWN
Drawing Number:	
A-6.0	

PARAMOUNT

Clarke Road @ St. Johns Street
City of Port Moody



GLASS
VITRUM - SOLARBAN 60 OR SYM.

WINDOW FRAMES
VINYL - CHARCOAL

METAL ACCENT
BM 1666 - IN THE MIDNIGHT HOUR



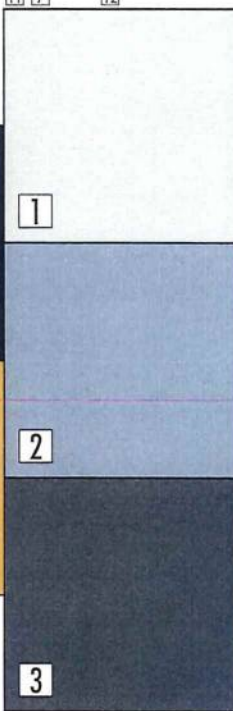
METAL RAILINGS
BM 2132-20 - EBONY KING



ENTRANCE DOOR & WINDOW FRAMES
ALUMINUM - CHARCOAL



CEMENT BOARD
BM 180 - BEVERLY HILLS

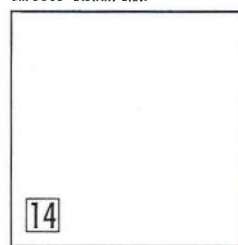


CEMENT BOARD
BM 180 - BEVERLY HILLS

CEMENT BOARD
BM 1642 - CAPE BLUE

CEMENT BOARD
BM 1636 - PROVIDENCE BLUE

CEMENT BOARD
BM OC 68 - DISTANT GRAY



BRICK
MUTUAL MATERIALS - COAL CREEK



SOFFIT ALUMINUM
LONGBOARD - DARK FIR OR SYM.

12

CONCRETE
SACK & GRIND FINISH

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BOLD PROPERTIES

Project Name:	PARAMOUNT
Project Address:	Clarke Road @ St. Johns Street City of Port Moody
Project Title:	Drawing Title:
Project No.:	100551
Project Date:	2018-03-31
Project Status:	AS SHOWN
Project Manager:	AS SHOWN
Project Engineer:	AS SHOWN
Project Designer:	AS SHOWN
Project Checker:	AS SHOWN
Project Approver:	AS SHOWN
Project Title:	MATERIALS BOARD
Drawing Number:	A-7.0



P+A
 Landscape Architecture
 Site Planning

R. Don Perry & Associates Inc.
 112 East Broadway
 Mechanicsville, VA 23103
 T: 804 738 4118
 F: 804 738 4119
 www.perryandassociates.com

6	Issued for Community Planning Advisory Committee Meeting	05/21/2019
5	Re-issued for Recording/Development Permit	04/18/2019
4	Issued for Recording/Development Permit	11/29/2018
3	Issued for Pre Application Review	09/06/2017
2	Issued for Coordination	08/22/2017
1	Issued for Preliminary Review	08/15/2017
	Revision No.	Date

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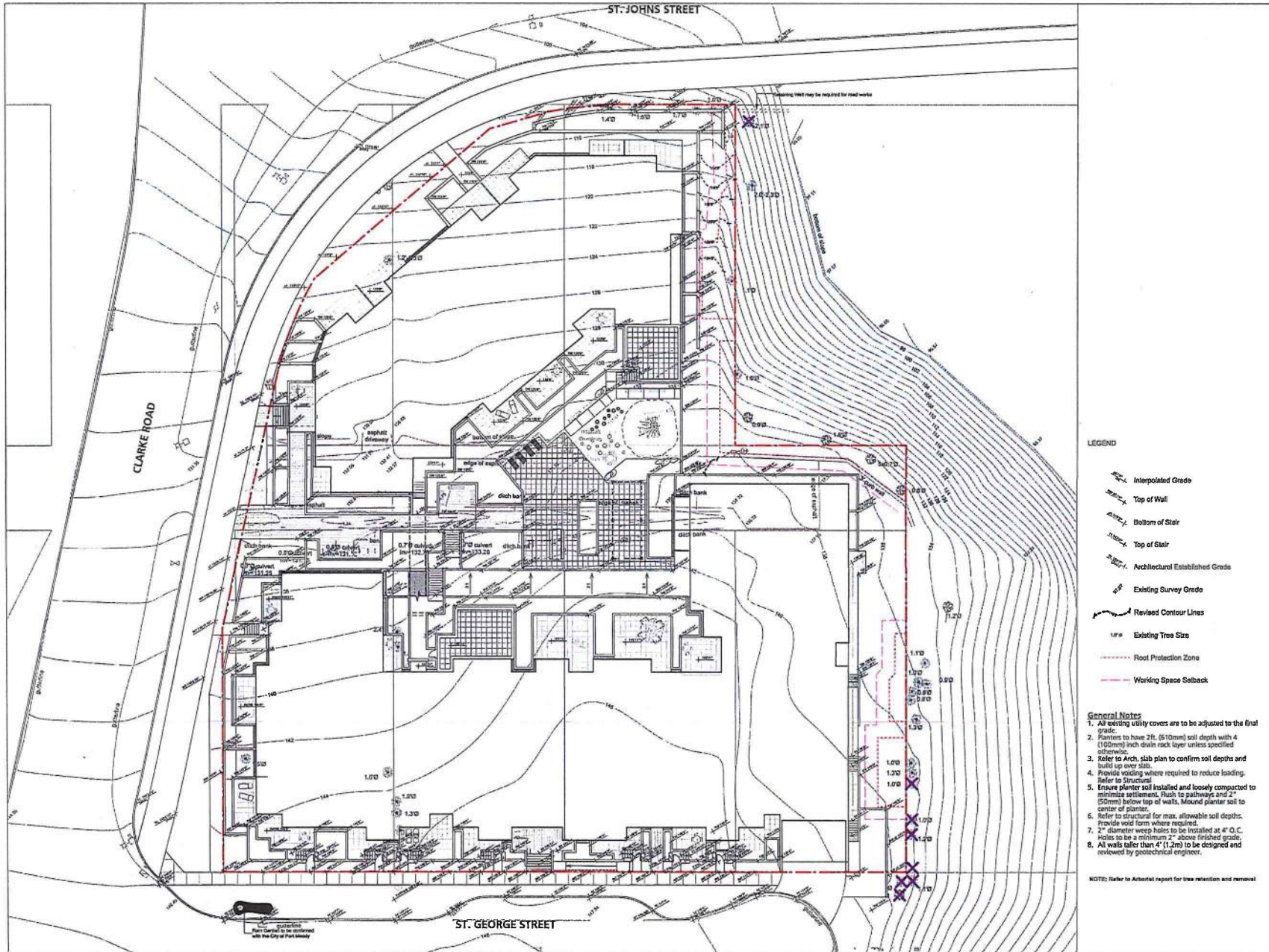
Client: **BOLD PROPERTIES**

Project Title: **PARAMOUNT**

Drawing Title: **LANDSCAPE LAYOUT PLAN**

Project No.:
 Drawn By: **KS**
 Checked By: **MP**
 Scale: **1/8" = 1'0"**
 Job No.: **15-082**
 Sheet No.:

L1.0



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 Landscape Architecture
 Site Planning

R. Kim Perry & Associates Inc.
 112 East Broadway
 Mechanicsville, VA 23103
 TEL: 754-4118
 FAX: 754-4110
 www.parpainstitute.com

- LEGEND**
- Interpolated Grade
 - Top of Wall
 - Bottom of Wall
 - Top of Stair
 - Bottom of Stair
 - Architectural Established Grade
 - Existing Survey Grade
 - Revised Contour Lines
 - Existing Tree Size
 - Root Protection Zone
 - Working Space Subback

Revision No.	Date
4	05/01/2019
3	04/17/2019
2	11/08/2018
1	09/06/2017

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BOLD PROPERTIES

- General Notes**
- All existing utility covers are to be adjusted to the final grade.
 - Planters to have 2ft. (610mm) soil depth with 4 (100mm) inch drain rock layer unless specified otherwise.
 - Refer to Arch. slab plan to confirm soil depths and build up over slabs.
 - Provide grading where required to reduce loading. Refer to Structural.
 - Ensure planter soil installed and loosely compacted to minimize settlement. Flush to pathways and 2" (50mm) below top of walls. Mound planter soil to center of planter.
 - Refer to structural for max. allowable soil depths. Provide void form where required.
 - 2" diameter weep holes to be installed at 4' O.C. Holes to be a minimum 2" above finished grade.
 - All walls taller than 4' (1.2m) to be designed and reviewed by geotechnical engineer.

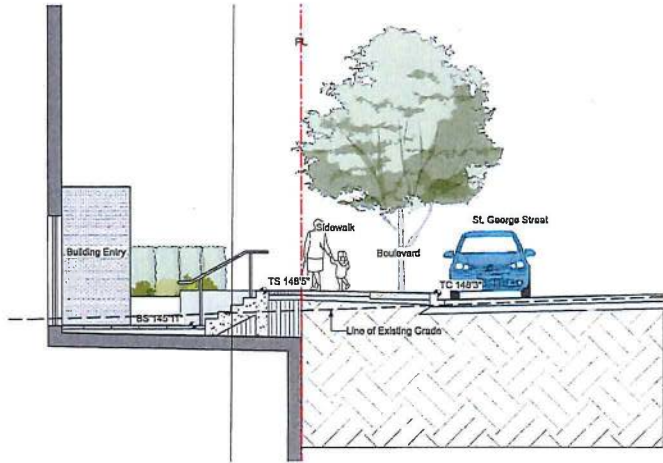
NOTE: Refer to Archival report for tree retention and removal

Project Title: **PARAMOUNT**

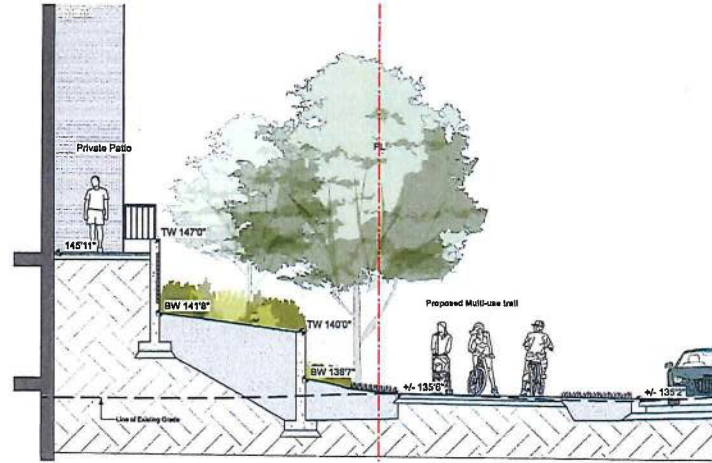
Drawing Title: **LANDSCAPE GRADING PLAN**

Project Name: _____ Drawn By: **KS**
 Scale: _____ Checked By: **MP**
 Date: **1/10" = 1'0"** Job No.: **15-082**
 Sheet No.: _____

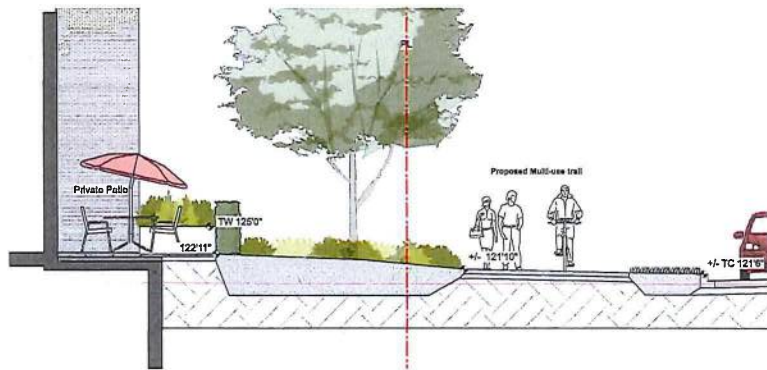
L2.0



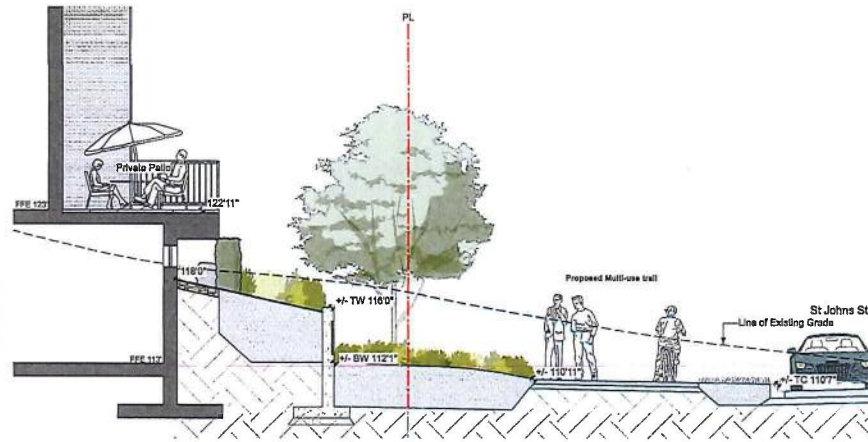
1 South Building Entrance Section
 1/4" = 1'-0"



2 South Building Clarke Rd Section
 1/4" = 1'-0"



3 North Building Clarke St. Section
 1/4" = 1'-0"



4 North Building St. John Section 1
 1/4" = 1'-0"

- 4 Issued for Community Planning Advisory Committee Meeting 05/31/2019
- 3 Re-labeled for Rezoning/Development Permit 04/16/2019
- 2 Issued for Rezoning/Development Permit 11/25/2018
- 1 Issued for Pro Application 09/01/2017

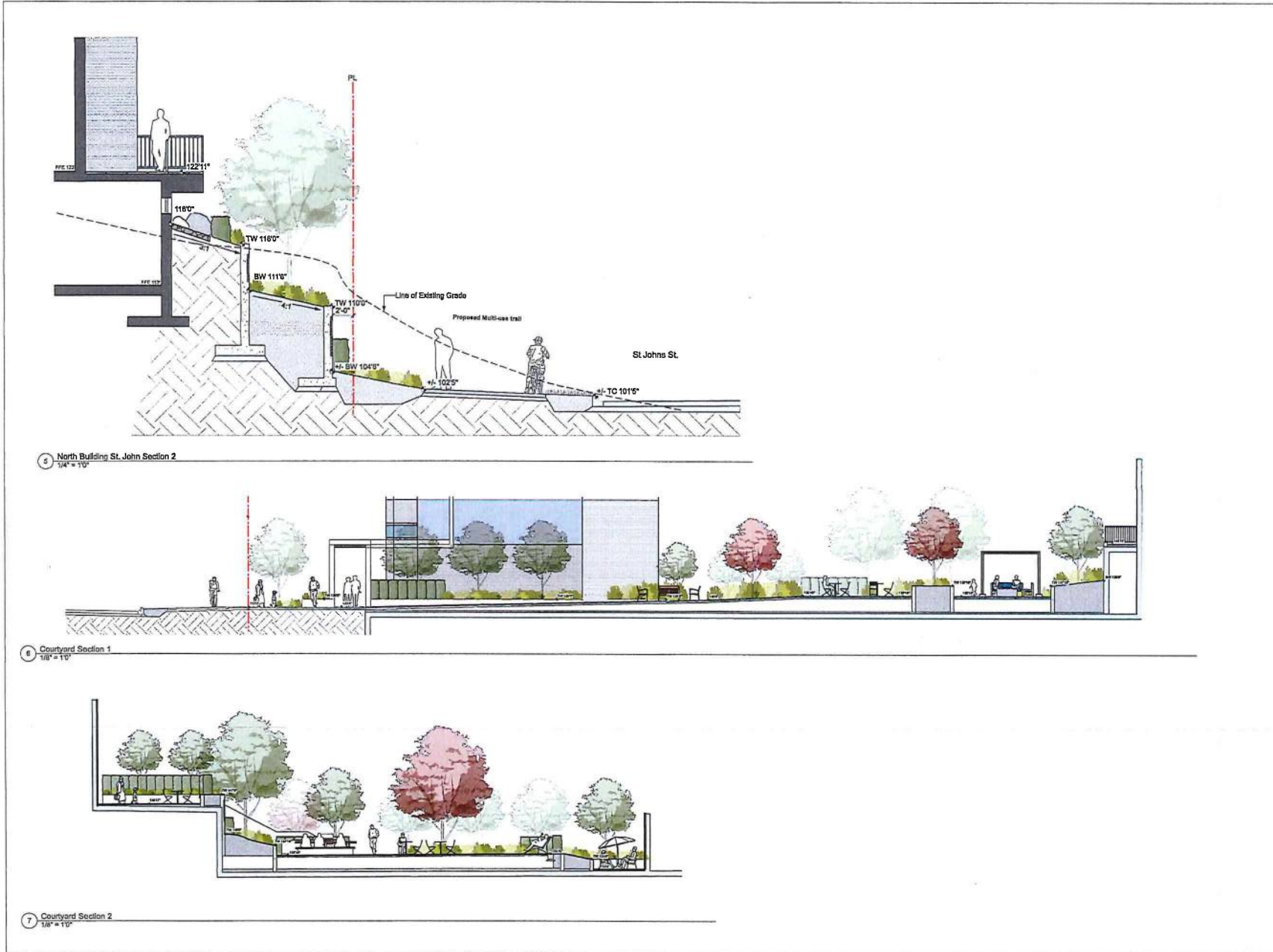
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 Date:

BOLD PROPERTIES

Project Title: **Paramount**

Drawing Title: **Illustrative Sections**

Project Name: _____ Drawn By: **KS**
 Checked By: **MP**
 Scale: **As Shown** Job No.: **15-082**
 Sheet No.: _____



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4 Issued for Community Planning Advisory Committee Meeting	03/12/2019
3 Re-issued for Rezoning/Development Permit	04/18/2019
2 Issued for Rezoning/Development Permit	11/28/2018
1 Issued for Pre Application	03/01/2017
Revision No.	Date

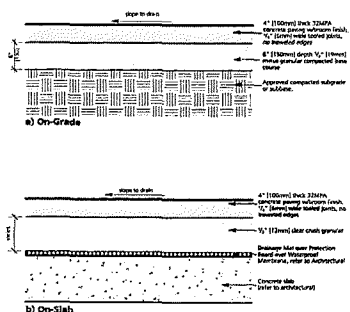
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Client: **BOLD PROPERTIES**

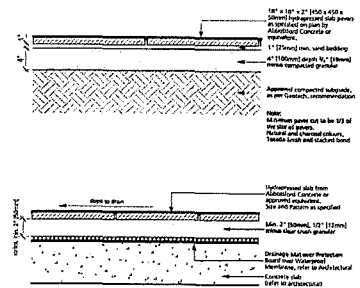
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Drawing Title: **Illustrative Sections**

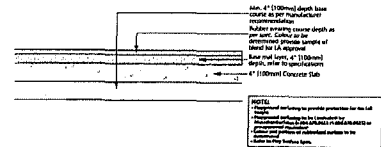
Project Name:	Drawn By:	KS
	Checked By:	MP
Scale:	As Shown	15-082
Sheet No.:		



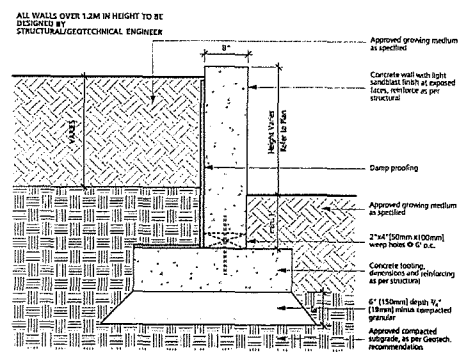
1 CIP Concrete
1" = 10"



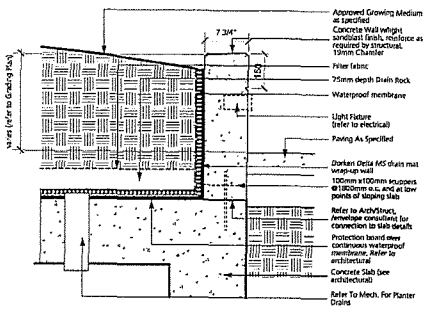
2 Hydrapressed Slab Pavement
1" = 10"



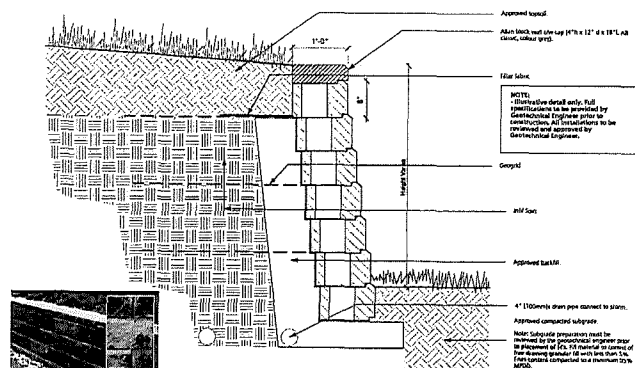
3 Play Surfacing
1" = 10"



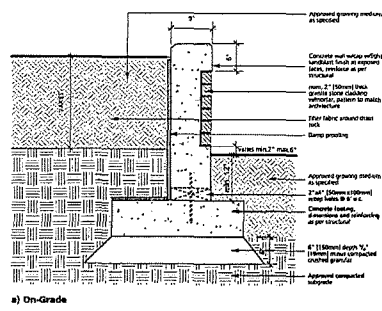
4 CIP Concrete Walls
1" = 10"



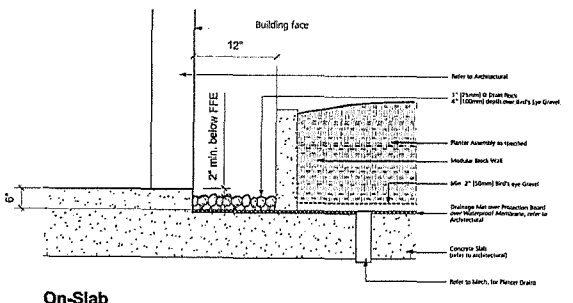
5 Allan Block Wall
1" = 10"



6 CIP Concrete Walls with Brick/Vener Facing
1" = 10"



7 Drain Rock
3/4" = 10"



On-Slab

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5	Issued for Community Planning Advisory Committee Meeting	05/01/2019
4	Re-issued for Rezoning/Development Permit	04/18/2019
3	Issued for Rezoning/Development Permit	11/28/2018
2	Issued for DP	04/05/2017
1	Progress Set	03/28/2017
	Revision No.	Date

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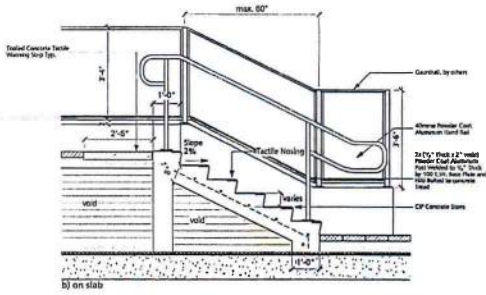
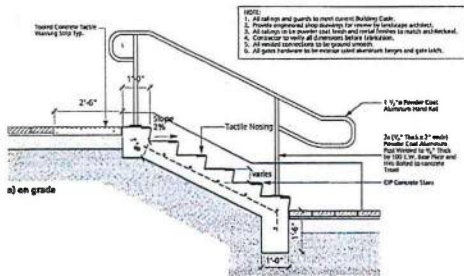
BOLD PROPERTIES

Project Title: **Paramount**

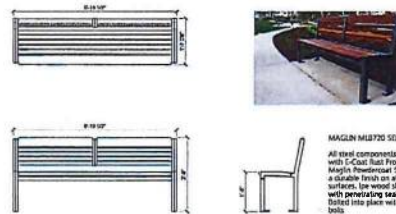
Drawing Title: **Landscape Details**

Project Name:	Drawn By:	KS
	Checked By:	MP
Scale:	Job No.:	15-002
Sheet No.:	As Noted	15-002

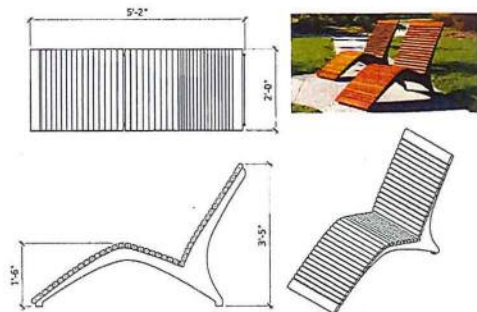
L5.0



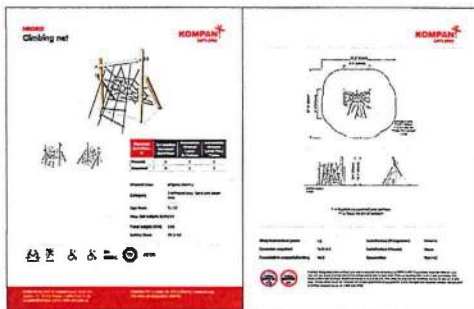
8 CIP Concrete Stairs c/w tactile strip and handrail
1/2" = 1'



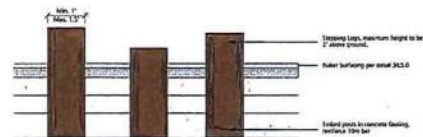
9 Bench
3/4" = 1'



10 Maglin Chaise
3/4" = 1'



11 Climbing Net
NTS

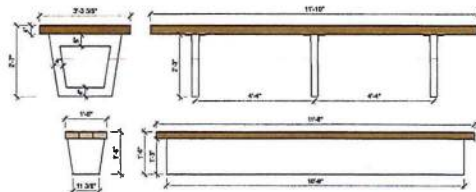


12 Stepping Logs
1" = 10'

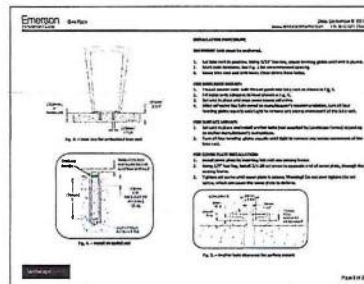


Table and Chairs
to Landscape Table
Table
City 3
Column: TRO
Chair
City 28 Chairs
Column: TRO

13 Landscape Forms Table and Chairs
NTS



14 Concrete and Wood Harvest Table and Bench
1/2" = 10'



15 Bike Racks
NTS



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www.paparameters.com

5	Issued for Community Planning Advisory Committee Meeting	05/31/2019
4	Re-Issued for Rezoning/Development Permit	04/18/2019
3	Issued for Rezoning/Development Permit	11/08/2018
2	Issued for DP	04/05/2017
1	Progress Set	03/28/2017

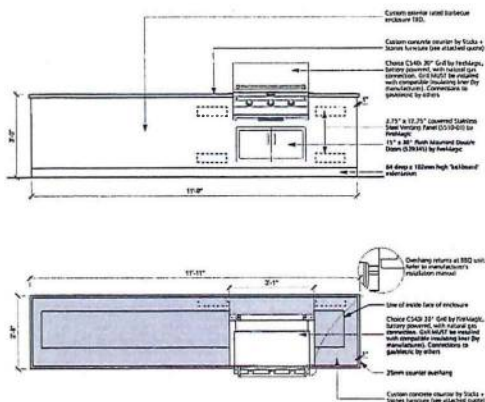
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Client:

BOLD PROPERTIES

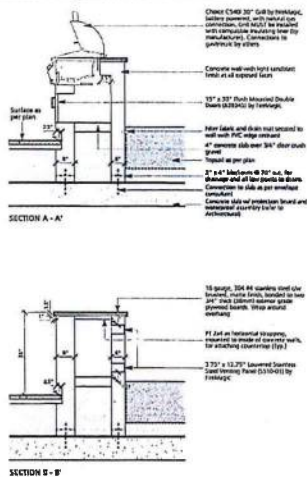
Project Title: **Paramount**

Drawing Title: **Landscape Details**

Project No:	Drawn By:	KS
	Checked By:	MP
Scale:	Job No.:	15-082
Sheet No.:	As Noted	15-082



16 Custom BBQ Enclosure
1/2" = 1'



solus The Features

FINISHES 105 & 17

For a beautiful and safe design, if you need a product, there are a number of options to choose from. Please have a qualified contractor install and maintain this product according to local codes.

This product has been tested and certified to meet or exceed all applicable codes, as long as there is minimum clearance in adjacent materials or structures.

FOR OUTDOOR USE ONLY

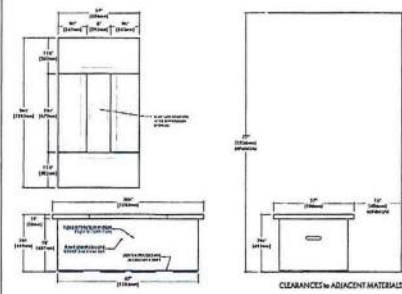
AMERICAN SPECIFICATIONS
 Conductor: 100% Cu, Resistance: 0.000001
 Conductor: 100% Cu, Resistance: 0.000001
 Conductor: 100% Cu, Resistance: 0.000001

AMERICAN SPECIFICATIONS
 Conductor: 100% Cu, Resistance: 0.000001
 Conductor: 100% Cu, Resistance: 0.000001
 Conductor: 100% Cu, Resistance: 0.000001

CE

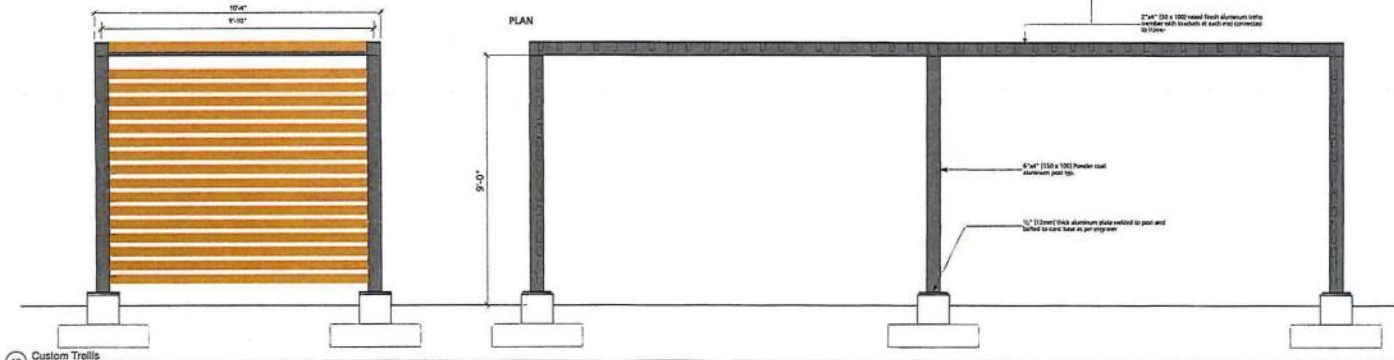
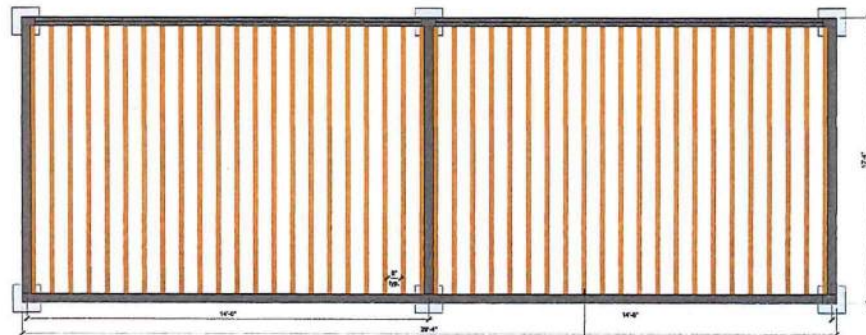
CONCRETE SPECIFICATIONS
 Strength: 5000 psi (compressive) (35)
 Weight: 150 lbs per 100 sq ft

ADA COMPLIANCE
 Name or Number:
 Signature & Date:



17 Firetable by Solus
NTS

Notes:
 -All materials to be considered aluminum unless noted as bare wood finish and/or other. Color to match architectural wood finish.
 -Wood finish aluminum with anodized to be covered by aluminum frame with a finish of each end. It is to be provided to match the color.
 -1/2\"/>



18 Custom Trellis
1/2" = 1'

- 5 Issued for Community Planning Advisory Committee Meeting 05/21/2019
- 4 Re-issued for Stopping/Development Permit 04/18/2019
- 3 Issued for Stopping/Development Permit 11/25/2018
- 2 Issued for DPA 04/05/2017
- 1 Progress Set 03/28/2017

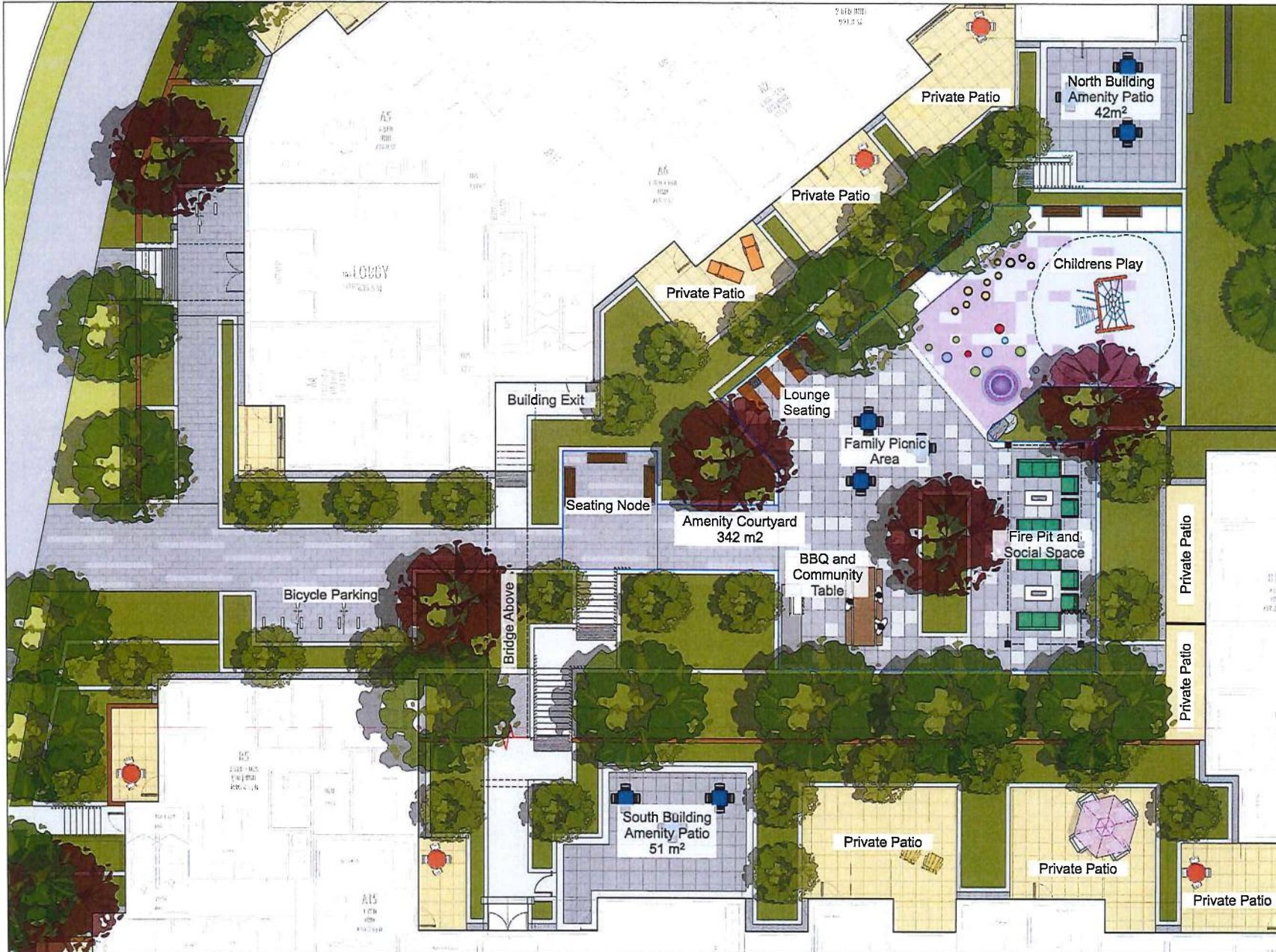
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Project Title: **Paramount**

Drawing Title: **Landscape Details**

Project Name: _____ Drawn By: **KS**
 Checked by: **MP**
 Scale: **As Noted** Job No.: **15-082**
 Sheet No.: _____



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 Client: **BOLD PROPERTIES**

Project Title: **PARAMOUNT**

Drawing Title: **Paramount Amenity Courtyard**

Project No: _____ Drawn By: KS
 Scale: 1/75 Checked By: MP
 Job No: _____ Date: 15-082
 Sheet No: _____

LSK 1.0

LAND DEDICATION AND ROAD ACQUISITION



Multi-Family Sustainability Report Card

Purpose

The Sustainability Report Card recognizes that developers, builders, designers, and others proposing changes to the built environment have an important role in creating a sustainable community. Sustainability involves stewardship of land and environmental resources, as well as green building and a focus on design elements that bring people together and help communities flourish economically, socially, and culturally. Port Moody encourages innovative thinking in community design to achieve a more sustainable community.

To this end, the Report Card is a requirement for rezoning, development permit, and heritage alteration permit applications. The Report Card identifies performance measures based on community sustainability values: these measures are used to evaluate development proposals. The Report Card is intended to be a summary of overall project sustainability. It is a tool to be integrated with all other development approval requirements.

Process

There are six steps to follow in completing the Sustainability Report Card process:

1. Make a development inquiry to Development Services regarding your proposed rezoning, development permit, or heritage alteration permit. Staff will provide you with a hard copy of the Sustainability Report Card and provide a weblink to portmoody.ca/SRC where you can find a fillable PDF version of the Report Card.
2. Attend a pre-application meeting with City staff to discuss your proposal. The Planner will determine if the Sustainability Report Card is a document that must be submitted with your application.
3. If required, complete a Report Card by filling in the appropriate information that applies to your particular application and submit the completed Report Card (saved version of online fillable PDF or hard copy) to the appropriate City staff (sustainabilityreportcard@portmoody.ca or deliver to City Hall Planning Department at 100 Newport Drive), along with a completed land use application.
4. The Planner will review the Report Card for completeness and accuracy and forward to staff in various departments for feedback. The Planner will determine your preliminary score and discuss the results of the staff review with you. You will then have an opportunity to improve your score with respect to the sustainability of your proposal and resubmit an updated Report Card.
5. The Planner will make comments, determine your final score, and prepare the Project Report Card Summary. The Summary will be included in the land use reports that are distributed to the Advisory Design Panel, Community Planning Advisory Committee, and Council.
6. If your application is approved by Council, your final Report Card is maintained in the development file and a copy is provided to the City's Building Division.

Instructions

- Your Report Card must contain sufficient detail to ensure each measure can be evaluated. To do this, make reference to the appropriate plans, drawings, and reports that demonstrate how the performance measure is met.
- The relevance of the questions will depend on the nature and scope of your project, so not all questions will be applicable to all projects.
- Some measures are marked 'EARLY STAGE'. This indicates that these measures must be considered in the design phase as it is unlikely they can be added to a proposal later on.

Italicized words are in the [Glossary](#) at the back of this document.

- Similarly, some measures are marked 'BASELINE'. Although the Report Card is not a pass or fail test of development applications, it does set a minimum score to indicate the City's minimum expectations. Items labelled 'BASELINE' count toward a minimum score as they are considered to be low cost and readily achievable.
- Italicized terms are defined in the Glossary at the end of the Report Card document.
- Refer to the Resources section for links to Internet resources relevant to measures in the Report Card.

Scoring

- Performance measures are assigned weighted scores from 1 to 10 to indicate their significance based on: (1) level of difficulty to integrate into project design; (2) order-of-magnitude cost added to the project; (3) degree of effectiveness for increasing the overall project sustainability; (4) identified community priority in the Official Community Plan; and (5) level of urgency for Port Moody in terms of achieving community sustainability goals.
- City staff score the completed Report Card based on the principle of best achievable on each site for each performance measure. Where possible, points for achieving various means are indicated. In other cases, the number of means to achieve a performance measure may exceed the total points possible for an item. In this case, the Planner will make a fair assessment of the project's performance for this measure with respect to the conditions of the site as a percentage and translate this to the possible score.
- Only whole number scores will be assigned. This will be achieved by rounding to the nearest whole number. For example, if overall performance for a measure is deemed to be about 80 per cent and the possible score is out of 4, then a score of 3 points out of 4 will be assigned.
- The Report Card is an iterative process with the applicant. The applicant has an opportunity to comment and make changes to their proposal before the scores are considered final and shared with public advisory bodies and Council.
- Additional space is provided for the applicant to address innovations and constraints not captured elsewhere in the Report Card. These items are not scored, but are given specific mention on the Project Report Card Summary.
- Staff will review your completed Report Card and provide feedback before your project is scored to give you the opportunity to achieve the highest score possible.

Monitoring

In general, the information required from the applicant for the Sustainability Report Card is similar to the kind of information required for a typical development application. However, to ensure accountability, you can expect the City to request additional information, such as: photos of installed systems or products, design drawings, professional reports, copies of receipts, or other records that can be used to verify the implementation of the selected sustainability measures. We encourage you to provide as much information as possible to assist City staff in their review of your development proposal.

Public Information

The public may request a review of any completed Report Card related to a development application. Copies of the Report Card are maintained by the Planning Division. The Development Services Department makes Report Cards available following completion of the project.

Property and Applicant Information

Applicant BP (New Barnet) LP	Telephone 604.944.8942	Email tylert@bold.ca
Registered Owner BOLD PROPERTIES (NEW BARNET) N	Project Address 2002, 2006, 2010, 2014 St. George St & 2003, 2005, 2009 St. Johns St	
Proposed Use Multi-family residential		

Total Floorspace 14,192 m²

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Arts

Performance Measure Description and Scoring

C1 Project includes public art in publicly accessible or publicly owned space (3 points, +1 bonus point if a Public Art Consultant is used).
OR Project provides an in lieu financial contribution to the City's Public Art Reserve Fund (3 points).
 See links in Resources under "Examples of Good Public Art".

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE + EARLY STAGE

If yes , describe: Project provides an in lieu financial contribution to the City's Public Art Reserve Fund.	Staff Comments
Public Art Consultant:	
Plan reference:	

Bonus Score /1 Score /3

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Arts

Performance Measure Description and Scoring

C2 Project supports Port Moody's desire to be a "City of the Arts" by integrating artistic design into the site or building form or functionality (2 points).
 Examples:
 • Creative stormwater management features.
 • Creative interaction of the project with the public.
 • Artistic panels in entry foyer.

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE

Describe: an artistic use of colour on the building forms to highlight the composition of architectural elements	Staff Comments response does not address intent of the measure
Plan reference:	

Score /2

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C3 Project includes reusing an existing heritage structure with heritage value through *heritage restoration* or *heritage rehabilitation* (4 points).

Where the preservation of a heritage structure in its original location cannot be accommodated, this may include re-location.

See *Standards and Guidelines for the Conservation of Historic Places in Canada*: historicplaces.ca

Applicant Explanation and Reference to Plans, Drawings, and Reports

Describe: N/A	Staff Comments
Plan reference:	

Score N/A /4

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C4 Project includes a *statement of significance* prepared by a heritage conservation specialist where potential heritage value is observed (2 points). Where warranted, project includes a heritage conservation plan prepared by a heritage conservation professional (+2 bonus points, where applicable).

See *Standards and Guidelines for the Conservation of Historic Places in Canada*: historicplaces.ca

Applicant Explanation and Reference to Plans, Drawings, and Reports

Report title: N/A	Staff Comments the existing homes have no identifiable heritage elements
Heritage Consultant:	

Bonus Score /2 Score N/A /2

BASELINE FOR HRA + EARLY STAGE

EARLY STAGE

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C5 Project salvages materials or artefacts from a historic place, or reuses materials or artefacts from architectural/landscape salvage in a manner which supports the authenticity of the site's *character-defining elements*.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details: N/A	Staff Comments The site is not situated in a heritage character or heritage conservation area
Plan reference:	

Score N/A /3

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Arts

Performance Measure Description and Scoring

C6 Project designates space for the arts or creative enterprise to be retained for the lifetime of the project. Ex. artist studio, gallery space, dance studio, indoor/outdoor theatre, live-work units, plaza, etc.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<div style="display: flex; align-items: center; gap: 10px;"> <div style="border: 1px solid black; width: 40px; height: 20px; display: flex; align-items: center; justify-content: center; font-size: 8px;">meters²</div> <input style="width: 40px; height: 20px;" type="text"/> meters² / <div style="border: 1px solid black; width: 40px; height: 20px; display: flex; align-items: center; justify-content: center; font-size: 8px;">feet²</div> <input style="width: 40px; height: 20px;" type="text"/> feet² </div> Description of space: N/A	Staff Comments the project is a residential-only multi-family building
---	--

Score N/A /4

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Complete Community Elements

Performance Measure Description and Scoring

C7 Project improves the *streetscape* beyond minimum City requirements by integrating lasting creative elements and demonstrating effort to optimize the project's *beautification* impact.

Examples:

- Restores the frontage of an existing building in Historic Moody Centre.
- Proposes artistic paving treatments in the public realm.
- Adds creativity to functional elements of the *streetscape*.
- Benches, bike rack, planter, lighting, etc. upgrades.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Details:</p> <p>As a result of this project the Clarke Road and St. Johns Street frontages will be redesigned to provide for a safer vehicular, pedestrian and cyclist environment. This will be accommodated through the widening of the vehicular intersection and the provision of a treed boulevard and a multipurpose trail adjacent to the road and the project.</p> <p>Layered plantings along the street frontages will provide a colourful layered landscape providing interest through the seasons.</p>	<p>Staff Comments</p> <p>opportunities to add an artistic element to the public sidewalks can be investigated with Engineering through the DP process</p>
<p>Plan reference:</p>	

Score 0 /2

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C8 Project will apply to be added to the City's Heritage Register.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p><input type="radio"/> Yes <input type="radio"/> No <input checked="" type="radio"/> N/A</p>	<p>Staff Comments</p>
<p>Details:</p> <p>N/A</p>	

Score N/A /3

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Innovation

Performance Measure Description and Scoring

C9 Cultural sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
--	-----------------------

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Constraints

Performance Measure Description and Scoring

C10 Unique site aspects that limit cultural sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Text	Staff Comments
------	-----------------------

Cultural Sustainability Score Summary

	Score
Total Cultural Pillar Points (Total Points Available – Not Including Bonus Points)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">23</div> <small>Total</small>
Total Cultural Points Not Applicable (Total Points for Items Not Relevant to this Application)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">16</div> <small>n/a</small>
Maximum Achievable Score (Total Cultural Pillar Points Minus Total Cultural Points Not Applicable)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">7</div> <small>Maximum</small>
Cultural Pillar Minimum Score (Sum of Applicable Baseline Items)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">3</div> <small>Cultural Baseline</small>
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">4</div> <small>Total Cultural Points</small>
Cultural Pillar Score (Total Points Achieved/Maximum Achievable Score)	<div style="display: flex; align-items: center; justify-content: center; gap: 10px;"> <div style="border: 1px solid black; padding: 5px; width: 40px; text-align: center;">4</div> / <div style="border: 1px solid black; padding: 5px; width: 40px; text-align: center;">7</div> = <div style="border: 1px solid black; padding: 5px; width: 40px; text-align: center;">57</div> % </div> <div style="display: flex; justify-content: space-around; width: 100%; font-size: 8px; margin-top: 5px;"> Total Cultural Points Max Percent </div>

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*
Land Use/Employment
Performance Measure Description and Scoring

EC1 Supports walking to shops and services by improving the circulation and connectivity of the site to the retail shops and services of the relevant neighbourhood centre.

See Map 1: Overall Land Use in the City's Official Community Plan: [Map 1: Overall Land Use Plan](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Existing:	Staff Comments
Use(s): 6 single family homes, 1 vacant lot.	in addition to constructing the improvements to Clarke Road including improved cycling infrastructure, the applicant will reconstruct the existing trail connection from St. George Street to Port Moody Secondary
Number of jobs on-site relating to this use in operation: 0	
Proposed:	
Use(s): 163 condominium homes.	
Number of jobs estimate:	
Assumptions:	

Score /3

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*
Land Use
Performance Measure Description and Scoring

EC2 Provides more intensive use of land to the allowable housing density that supports local businesses.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
Describe the diversification and how it is appropriate to this particular location: The project proposes 163 homes, current use accommodates 6 homes. Local businesses of Moody Centre are within walking distance and are accessible via public transit.	

Score /1

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Land Use/Employment

Performance Measure Description and Scoring

EC3 Results in net increase in the City's property tax base.

See Map 1: Overall Land Use in the City's Official Community Plan: [Map 1: Overall Land Use Plan](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE + EARLY STAGE

Existing:	Staff Comments
Building type: Single-detached residential	
FSR: 0.13	
Proposed:	
Building type: 163 condominium homes	
FSR: 2.40	

Score 3 /3

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Land Use

Performance Measure Description and Scoring

EC4 Project redevelops and rehabilitates a *brownfield* site.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

Describe:	Staff Comments
The proposed new housing will support existing and proposed future businesses by adding demand for local goods and services. Rezoning to a higher density significantly increases the tax base.	The applicant's response is more suited to EC3 measure above. The development site is not a brownfield site.

Score N/A /3

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Innovation

Performance Measure Description and Scoring

EC5 Economic sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Constraints

Performance Measure Description and Scoring

EC6 Unique site aspects that limit economic sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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Economic Sustainability Score Summary

	Score
Total Economic Pillar Points (Total Points Available – Not Including Bonus Points)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">10</div> <small>Total</small>
Total Economic Points Not Applicable (Total Points for Items Not Relevant to this Application)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">3</div> <small>n/a</small>
Maximum Achievable Score (Total Economic Pillar Points Minus Total Economic Points Not Applicable)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">7</div> <small>Maximum</small>
Economic Pillar Minimum Score (Sum of Applicable Baseline Items)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">7</div> <small>Economic Baseline</small>
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	<div style="border: 1px solid black; padding: 5px; width: 60px; margin: 0 auto;">7</div> <small>Total Economic Points</small>
Economic Pillar Score (Total Points Achieved/Maximum Achievable Score)	<div style="display: flex; align-items: center; justify-content: center; gap: 10px;"> <div style="border: 1px solid black; padding: 5px; width: 40px; text-align: center;">7</div> <div style="font-size: 24px;">/</div> <div style="border: 1px solid black; padding: 5px; width: 40px; text-align: center;">7</div> <div style="border: 1px solid black; padding: 5px; width: 40px; text-align: center;">100</div> <div style="font-size: 24px;">%</div> </div> <div style="display: flex; justify-content: space-around; width: 100%; font-size: 10px; margin-top: 2px;"> Total Economic Points Max Percent </div>

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

EN1 Project protects and enhances an Environmentally Sensitive Area (ESA) as designated on Map 13 in the City's Official Community Plan, i.e. provides positive net benefit.

See [Map 13: Environmentally Sensitive Areas](#) and [Appendix 2: Development Permit Area Guidelines](#) in the Official Community Plan.

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE + EARLY STAGE

<p>Type of ESA:</p> <p><input checked="" type="checkbox"/> High ESA <input type="checkbox"/> Medium ESA <input type="checkbox"/> Low ESA <input type="checkbox"/> 30m Stream Buffer (High Value) <input type="checkbox"/> Special Feature (High Value)</p> <p style="text-align: center;">ESA 8 - West Chineside Forest</p> <p>Features/Species of Value: The ESA habitat long the eastern slope of the Site boundary consisted of disturbed mature mixed wood forest located on a steep slope. Understory vegetation was sparse and comprised primarily of exotic and invasive Himalayan blackberry, English ivy, and English holly. Habitat within the ESA above the top of bank has been cleared for residential use. Wildlife use in this area is anticipated to be limited to +</p> <p>Means of Protection:</p> <p><input checked="" type="radio"/> Covenant <input type="radio"/> Dedication <input type="radio"/> Monitoring</p> <p><input type="radio"/> Other: Municipal Regulation Setback</p> <p>Means of Improvement of ESA: Edge of ESA 8 will be revegetated with native trees and shrubs in accordance with municipal and provincial standards as part of a planting plan.</p>	<p>Staff Comments</p> <p>a covenant may be required to protect trees suitable for retention and minimize disturbance on the bank within the property</p>
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Score 4 /4

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

EN2 Project provides bird-friendly development through landscaping that provides habitat to native species and building design that reduces bird collisions.

See [Vancouver Bird Strategy](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

List all elements that reduce the impact that urbanization has on birds for this project:

Landscape plans include areas for habitat and food sources for birds and insects (through berries and pollen / nectar sources). Riparian area of creeks will retain setbacks and the ESA No.8 will be revegetated to provide habitat and berries for birds in the area. Site will incorporate the Vancouver Bird Strategy "For the Birds Bird Friendly Tips!". It will incorporate where possible the Strategy's "Bird Friendly Design Guidelines - Considerations for Development Permit".

Staff Comments

Score /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

EN3 Design of outdoor lighting minimizes the harmful effects of *light pollution* with technology that ensures lighting is:

- Only on when needed
- Only lights the area that needs it
- No brighter than necessary
- Minimizes blue light emissions
- Fully shielded (pointing downward)

See [International Dark Sky Association](#) for Dark Sky Friendly Lighting.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Describe the lighting plan for the site and its dark sky friendly features:

Landscape lighting would be kept minimal, but sufficient to provide for safety and wayfinding. All fixtures would be full cut-off style to focus lighting and minimize spill-over or glare from fixtures.

Staff Comments

Score /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?***Site | Air Quality – Alternative Transportation****Performance Measure Description and Scoring**

- EN4 Project provides alternative transportation facilities for user groups of each land use type, which contributes to reducing Greenhouse Gas Emissions from this development.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Check all that apply: <input checked="" type="checkbox"/> Short-Term Bicycle parking <input checked="" type="checkbox"/> Long-Term Bicycle parking <input type="checkbox"/> End-of-Trip Bicycle Facilities: <input type="checkbox"/> Bike share and assigned parking <input type="checkbox"/> Co-op vehicle and assigned parking space provision <input checked="" type="checkbox"/> <i>Electric Vehicle</i> plug-ins and designated spaces ¹	Staff Comments The project complies with the bicycle parking and EV parking requirements in the Zoning Bylaw.
Plan references: Drawing Set / Landscape Plans	

Score /3**ENVIRONMENTAL SUSTAINABILITY SECTION** *How well does the project minimize the demands on the environment?***Site | Air Quality – Alternative Transportation****Performance Measure Description and Scoring**

- EN5 Project incorporates measures to support pedestrians and cyclists.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Check all that apply: <input checked="" type="checkbox"/> Connects to existing pedestrian/cycling routes and priority destinations <input checked="" type="checkbox"/> Improves local pedestrian routes, local bike networks/trails <input checked="" type="checkbox"/> Safe, secure, accessible, and sustainable footpaths <input checked="" type="checkbox"/> Pedestrian clearway sufficient to accommodate pedestrian flow <input checked="" type="checkbox"/> Covered outdoor waiting areas, overhangs, or awnings <input checked="" type="checkbox"/> Pedestrian scale lighting <input type="checkbox"/> Pedestrian/bike-only zones <input type="checkbox"/> Other:	Staff Comments
Site circulation plan:	
Other plan references: Drawing Set / Landscape Plans	

Score /3

¹ See BC Hydro's *Electric Vehicle* Charging Infrastructure Deployment Guidelines.

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Waste Storage Space

Performance Measure Description and Scoring

EN6 Project allocates sufficient and accessible recycling and garbage storage space in multi-family and commercial buildings and complexes compatible with City of Port Moody recycling, green waste, and garbage services.

Target 1: Metro Vancouver's Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments.

Target 2: Design provides safe and universally accessible access in a secure common area.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Total residential recycling, garbage, and green waste space proposed:</p> <p>Recycling: <input type="text" value="79"/> m²</p> <p>Garbage: <input type="text"/> m²</p> <p>Green Waste: <input type="text"/> m²</p>	<p>Staff Comments</p> <p>To be confirmed at building permit stage</p>
<p>Total commercial recycling, garbage, and green waste space proposed:</p> <p>Recycling: <input type="text"/> m²</p> <p>Garbage: <input type="text"/> m²</p> <p>Green Waste: <input type="text"/> m²</p>	<p>No commercial component in project</p>
<p>Details regarding design for safety, security, and accessibility:</p> <p>Space for recycling, waste and organics storage has been allocated based on the recommendations of Waste Control Services Inc. See letter and drawing attached to submission. the 79m² room accommodates all 3 types +</p>	

Score /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Urban Forestry

Performance Measure Description and Scoring

EN7 Project protects and enhances the *urban forest*, prioritizing native tree species.

See [City of Port Moody Tree Protection Bylaw](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Check all that apply:</p> <p><input checked="" type="checkbox"/> Existing mature trees protected (# <input type="text" value="1"/>)</p> <p><input type="checkbox"/> Replacement tree ratio (<input type="text"/> : 1)</p> <ul style="list-style-type: none"> • Native tree species planted on site (# <input type="text" value="166"/>) • Native tree species planted off site (# <input type="text" value="26"/>) <p><input type="checkbox"/> Protected/natural park areas added on site (% of total site area: <input type="text"/> %)</p>	<p>Staff Comments</p>
<p>Arborist report:</p> <p>Please see Arborist Report from Arbortech Consulting and ESA Plc +</p>	

Score /3

BASELINE + EARLY STAGE

BASELINE

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Habitat

Performance Measure Description and Scoring

EN8 Project preserves, enhances, and/or compensates for site ecology on site (4 points). Off-site compensation may be considered in some cases, in accordance with all other City regulations and supported by staff (3 points).
 Compensation in the form of a financial contribution to the City toward approved public restoration, rehabilitation, or enhancement projects may be considered (2 points).
 See *City of Port Moody Naturescape Policy 13-6410-03*.
 See also [Invasive Plant Council of BC](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Check all that apply:	Staff Comments
<input checked="" type="checkbox"/> Salvage replanting <input type="checkbox"/> Reduction to existing impervious area <input type="text"/> m ²	
<input checked="" type="checkbox"/> Removal of <i>invasive plant species</i> Names: SA 8 and neighbouring perimeter areas will be enhanced through native tree and shrub plantings. All invasives at the Site and surrounding immediate environs will be eliminated of invasive species and revegetated with natives.	
<input checked="" type="checkbox"/> Native/"naturescape" landscaping <input type="checkbox"/> Watercourse daylighting <input checked="" type="checkbox"/> Riparian area restoration	
<input checked="" type="checkbox"/> Other measures taken to enhance habitat or to compensate for habitat loss: Many of the plant species selected for use on site are native plants to the region.	

Score /4

BASELINE

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Stormwater

Performance Measure Description and Scoring

EN9 Project provides for stormwater retention and evaporation, and groundwater protection in the site stormwater management plan.

Targets:

1. Stormwater retained on-site to the same level of annual volume allowable under pre-development conditions.
2. Maximum allowable annual run-off volume is no more than 50% of the total average annual rainfall depth.
3. Remove 80% of total suspended solids based on the post-development imperviousness.

(3 points if all three targets are achieved)

See link in References to Metro Vancouver's Stormwater Source Control Guidelines

Applicant Explanation and Reference to Plans, Drawings, and Reports

Target(s) reached: 1 2 3	Staff Comments
Means of achieving (check all that apply): <input checked="" type="checkbox"/> Absorbent landscape <input checked="" type="checkbox"/> Roof downspout disconnection <input checked="" type="checkbox"/> Infiltration swales and/or trenches <input checked="" type="checkbox"/> Sub-surface chambers/detention tanks <input checked="" type="checkbox"/> Rain gardens with native plantings <input type="checkbox"/> Rainwater harvesting <input checked="" type="checkbox"/> Tree well structures <input type="checkbox"/> Green roof/wall <input checked="" type="checkbox"/> Water quality structures <input type="checkbox"/> Pervious paving <input type="checkbox"/> Daylighted streams <input type="checkbox"/> Constructed wetlands	Actual target achieved will be determined at the building permit stage but based on available information, one point is given
<input checked="" type="checkbox"/> Other: Native species use for development	
References to plans and documents: Refer to environmental planting plans, landscape, and civil plans	

Score 1 /3

BASELINE

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Water Conservation

Performance Measure Description and Scoring

EN10 Project reduces potable water use for irrigation.
 2 points = 5 actions (from “check all that apply” list)
 1 point = 3 actions (from “check all that apply” list)

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE

<p>Check all that apply:</p> <p><input checked="" type="checkbox"/> Drought-tolerant landscaping (<i>xeriscaping</i>) with native species</p> <p><input checked="" type="checkbox"/> Low-maintenance lawn alternatives</p> <p><input checked="" type="checkbox"/> Non-water dependent materials/features for ground cover treatment</p> <p><input type="checkbox"/> Irrigation system with central control and rain sensors</p> <p><input type="checkbox"/> Captured rainwater irrigation system, e.g. using cisterns/rain barrels</p> <p><input type="checkbox"/> Other:</p>	<p>Staff Comments</p>
<p>Plan reference: Refer to environmental planting plans, landscape plans</p>	

Score 1 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

EN11 Project is sited and designed in order to facilitate and improve wildlife movement and access, particularly within known and suspected *habitat corridors*.
 Ex. Deer, bears, frogs, salmon, etc. (depending on site location).

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

<p>Species supported: Various native common species and tailed-frog along with salmon</p>	<p>Staff Comments</p>
<p>Means of supporting: Native plantings along ESA No. 8 and the riparian corridors. Fencing restricting access to ESA No. 8 and creeks.</p>	
<p>Environmental assessment or site plan reference: Keystone Environmental Ltd. Environmental Overview Report</p>	

Score 2 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Green Building Rating
Performance Measure Description and Scoring

EN12 Project will achieve a recognized industry standard for sustainable design.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p><input checked="" type="checkbox"/> Built Green Level: <input type="text" value="Gold equivalent"/></p> <ul style="list-style-type: none"> • Bronze (2 points) • Silver (5 points) • Gold (8 points) • Platinum (10 points) <p><input type="checkbox"/> LEED Level: <input type="text"/></p> <ul style="list-style-type: none"> • Certified (2 points) • Silver (5 points) • Gold (8 points) • Platinum (10 points) <p><input type="checkbox"/> Canadian Passive House Institute (10 points)</p> <p><input type="checkbox"/> Living Future Institute</p> <ul style="list-style-type: none"> • Living Building Certification (10 points) • Petal Certification (10 points) • Net Zero Energy Certification (10 points) <p><input type="checkbox"/> Other:</p>	<p>Staff Comments</p> <p>Applicant seeking formal BuiltGreen certification</p> <p>Covenant required as condition of development permit to ensure performance.</p>
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Score /10

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Alternative/Renewable Energy
Performance Measure Description and Scoring

EN13 Project provides local, low-carbon energy systems, such as geo-exchange, heat recovery ventilation, solar or district energy.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Details:</p> <p>Project will provide heat recovery ventilation.</p>	<p>Staff Comments</p> <p>amount of energy generated will be confirmed at building permit stage</p>
<p>Specify % of energy generated: TBD</p>	

Score /4

EARLY STAGE

EARLY STAGE

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Energy Reduction and Indoor Climate

Performance Measure Description and Scoring

EN14 Building architecture employs *passive design* strategies appropriate to the local climate to reduce energy use and enhance occupant comfort.

Examples:

- Site design and building massing minimizes east and west exposures to avoid unwanted solar gains.
- Limit windows to 50% of any façade, taking into account other livability and aesthetic criteria.
- Use heat-recovery ventilation during heating season only, and design for natural ventilation and cooling by natural ventilation throughout the rest of the year.
- See [City of Vancouver Passive Design Toolkit](#) for Large Buildings for other examples.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p><input checked="" type="radio"/> Yes <input type="radio"/> No</p> <hr/> <p>Key <i>passive design</i> building elements:</p> <p>Buildings are linear in the east/west direction which reduces the east and west facades. windows are generally limited to 50% of facade area. HRV's will be incorporated.</p>	<p>Staff Comments</p>
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Score 1 /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Smart Technology

Performance Measure Description and Scoring

EN15 Project uses *smart technology* to optimize sustainable use of resources.
Ex. Automated lighting, shading, HVAC, energy/water consumption, security, etc.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Details:</p> <p>LED Lighting, Energy Star appliances, programmable thermostats, Heat Recovery Ventilation.</p>	<p>Staff Comments</p>
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Score 2 /2

EARLY STAGE

EARLY STAGE

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping

Performance Measure Description and Scoring

EN16 Project provides or designates space for growing food in private or common areas including on-site composting to support the gardening activities.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Details:</p> <p>Each home has a private balcony that could accommodate a planter box for growing food.</p>	<p>Staff Comments</p>
<p>Landscape Plan Reference:</p>	

Score 1 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building Energy Performance

Performance Measure Description and Scoring

EN17 Building design incorporates Port Moody Building Energy Performance Design Guidelines.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>BC Energy Step Code:</p> <p><input checked="" type="radio"/> Tier 1 (1 point)</p> <p><input type="radio"/> Tier 2 (2 points)</p> <p><input type="radio"/> Tier 3 (3 points)</p> <p><input type="radio"/> Tier 4 (4 points)</p> <p><i>Attach a copy of Port Moody Building Energy Performance Design Guidelines Checklist.</i></p>	<p>Staff Comments</p> <p>Details will be provided at the building permit stage</p>
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Score 1 /4

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Stormwater and Ecology/Water Conservation

Performance Measure Description and Scoring

EN18 Project incorporates landscaped roofs or living walls that also provide food/habitat for native species.

OR

Project includes on-site grey water reuse.

2 BONUS POINTS EACH

Applicant Explanation and Reference to Plans, Drawings, and Reports

BONUS

Details: Low maintenance planting is included in the landscape design.	Staff Comments neither target measure is included
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Bonus Score /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Environmental Monitoring

Performance Measure Description and Scoring

EN19 Project contracts with an Environmental Monitor(s) to oversee implementation of environmental sustainability measures, i.e. sustainable landscaping measures.

OR

Project employs an energy efficiency consultant.

2 BONUS POINTS EACH

Applicant Explanation and Reference to Plans, Drawings, and Reports

BONUS

Details of Work Overseen/Contribution: R.P.Bio. from Keystone Environmental Ltd. will be Environmental Monitor for the duration of the Site construction period in accordance with a prepared Environmental Management Plan guidelines.	Staff Comments
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Bonus Score /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Innovation

Performance Measure Description and Scoring

EN20 Environmental sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Constraints

Performance Measure Description and Scoring

EN21 Unique site aspects that limit environmental sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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Environmental Sustainability Score Summary

	Score						
Total Environmental Pillar Points (Total Points Available – Not Including Bonus Points)	57 <small>Total</small>						
Total Environmental Points Not Applicable (Total Points for Items Not Relevant to this Application)	0 <small>n/a</small>						
Maximum Achievable Score (Total Environmental Pillar Points Minus Total Environmental Points Not Applicable)	57 <small>Maximum</small>						
Environmental Pillar Minimum Score (Sum of Applicable Baseline Items)	30 <small>Enviro Baseline</small>						
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	43 <small>Total Environmental Points</small>						
Environmental Pillar Score (Total Points Achieved/Maximum Achievable Score)	<table border="0" style="margin: auto;"> <tr> <td style="text-align: center;">43 <small>Total Environmental Points</small></td> <td style="text-align: center;">/</td> <td style="text-align: center;">57 <small>Max</small></td> <td style="text-align: center;">=</td> <td style="text-align: center;">75 <small>Percent</small></td> <td style="text-align: center;">%</td> </tr> </table>	43 <small>Total Environmental Points</small>	/	57 <small>Max</small>	=	75 <small>Percent</small>	%
43 <small>Total Environmental Points</small>	/	57 <small>Max</small>	=	75 <small>Percent</small>	%		

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Accessibility

Performance Measure Description and Scoring

- S1 For single-storey units in multi-family residential development:
 (a) a minimum of 40% are adaptable units (2 points) and, of those units,
 (b) accessible unit(s) providing full wheelchair accessibility are provided (2 points).
 Project incorporates adaptable and accessible design features in the site/building circulation and bathrooms in all other uses (2 points).

Applicant Explanation and Reference to Plans, Drawings, and Reports

Residential	Staff Comments
% of Adaptable Units: <input type="text" value="56%"/>	
Details: Building access and circulation, including access to all Dwelling Units, accessible and visitor parking, common amenity areas, and common washroom and laundry facilities, are designed and built in accordance with the Adaptable Housing standards in the British Columbia Building Code 92 adaptable units provided.	
Number of Accessible Units: <input type="text" value="0"/>	
Details:	
Residential Site/Common Areas and Commercial/Industrial/Institutional Uses:	
Details:	

Score /6

BASELINE + EARLY STAGE

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Complete Community Design

Performance Measure Description and Scoring

S2 Project design is adapted to minimize shadow or privacy impacts to adjacent buildings.

AND/OR

Project design integrates the results of a *viewscape* study with respect to water and mountain views.

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE + EARLY STAGE

<p>Details:</p> <p>Shadow study has been provided to demonstrate the design's limited impact on neighbouring buildings, and no impact on buildings beyond the immediate vicinity of the development.</p>	<p>Staff Comments</p>
<p>Plan/document references:</p>	

Score /1

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Housing Diversity

Performance Measure Description and Scoring

S3 Development includes a mix of housing types.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

		Number of Units	Staff Comments
Live-work units	<input type="text"/>		
Ground-oriented units	<input type="text" value="27"/>		
Apartment units	<input type="text" value="136"/>		

Score /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Housing Diversity

Performance Measure Description and Scoring

S4 Project includes a range of unit sizes for a variety of household types, and the design is flexible to allow for changes, i.e. den can easily become another bedroom.

Targets:

2-bedroom minimum 25% of units

3+ -bedroom minimum 10% of units

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Number of Units	% of Units	Staff Comments
Bachelor/1-bedroom	<input type="text" value="79"/>	<input type="text" value="48"/>	
2-bedroom	<input type="text" value="74"/>	<input type="text" value="45"/> (1 pt)	
3+ -bedroom	<input type="text" value="10"/>	<input type="text" value="7"/> (2 pts)	
Flexible design features: 52 units (32%) are 1 bed + den and 45 (27%) are 2 bed + den. Dens provide excellent opportunities for home offices and storage, allowing for greater flexibility of living spaces.			

Score /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Housing Affordability

Performance Measure Description and Scoring

S5 Project provides new purpose-built *market rental housing* (2 points) or *affordable market rental housing* (3 points) or *non-market rental housing* (4 points).

OR

Development contributes to the City's Affordable Housing Reserve Fund in lieu of provision of affordable housing (2 points).

Applicant Explanation and Reference to Plans, Drawings, and Reports

Types: In lieu contribution to Affordable Housing Reserve Fund	Staff Comments
Description:	The project will contribute to the Affordable Housing
% of total housing units: <input type="text"/> %	
Plan reference:	

Score /4

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Amenities

Performance Measure Description and Scoring

- S6 Project provides voluntary public amenities.
- Examples:
- Child care facility
 - Space for growing food
 - Child play areas
 - Gathering place/space
 - Park/greenspace
 - Public contribution in lieu (CACs), i.e., school, library, arts, etc.
- (5 Points = any approved option)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details: CAC contribution in lieu	Staff Comments No public facilities are included in the project.
Plan reference:	

Score 0 /5

EARLY STAGE

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Amenities

Performance Measure Description and Scoring

S7 Project provides voluntary private amenities.

Examples:

- Accessible green roof
- Communal garden
- Dog runs
- Play areas
- Social gathering place

(1 point per approved amenity item – maximum of 3 points)

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

Details: - Children's play area - Communal BBQ and seating area - Communal lounge seating	Staff Comments
Plan reference: landscape plans	

Score 3 /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Inclusive Community

Performance Measure Description and Scoring

S8 The proposal supports aging-in-place with adult care, assisted living space, and/or independent senior living space.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

Details: The project supports aging-in-place with the provision of over 50% adaptable units	Staff Comments No specific seniors care or independent seniors units are provided but the adaptable units will support aging-in-place.
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Score 2 /4

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Community Building

Performance Measure Description and Scoring

S9 Project provides *urban vitalization* by involving land owners and occupants, community groups, and end user groups who may be affected by the proposal in the planning process to identify and showcase Port Moody's unique assets, i.e. goes above and beyond standard notification and consultation.

Examples:

- Host a community-building workshop with the neighbourhood at the time of a project's inception to determine values and identify unique assets to leverage through design.

Staff will advise on notification requirements and appropriate stakeholder consultation

Applicant Explanation and Reference to Plans, Drawings, and Reports

Please identify stakeholders and explain their involvement:

Consultation with community stakeholders will be undertaken during the course of the application review process. Input will be sought from local resident groups.

Staff Comments

The applicant's response addresses the City's process requirement for a Community Information Meeting but community input has not been obtained outside of this requirement.

Identify actions taken in response to stakeholder input:

Plan references:

Score /4

EARLY STAGE

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Safety

Performance Measure Description and Scoring

S10 The design of the site incorporates *Crime Prevention Through Environmental Design* principles (CPTED).

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Please explain: Public and private areas will be provided with appropriate lighting. The project provides ample 'overlook' to all central courtyard areas.</p>	<p>Staff Comments</p>
<p>Plan references:</p>	

Score /1

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Education and Awareness

Performance Measure Description and Scoring

S11 Project provides education and awareness of the sustainable features of the project for owners/occupants.

Examples:

- Document is given to new owners at time of sale, covenant on title, inclusion/protection of features in strata bylaws
- Signage/display/art recognizing design, etc.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Describe: Homeowners manual will be provided to each purchaser and will include details on the design and sustainability feature.</p>	<p>Staff Comments</p>
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Score /1

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Innovation

Performance Measure Description and Scoring

S12 Social sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Constraints

Performance Measure Description and Scoring

S13 Unique site aspects that limit social sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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Social Sustainability Score Summary

	Score												
Total Social Pillar Points (Total Points Available – Not Including Bonus Points)	<table border="1" style="margin-left: auto; margin-right: auto;"> <tr><td style="text-align: center;">35</td></tr> <tr><td style="text-align: center;">Total</td></tr> </table>	35	Total										
35													
Total													
Total Social Points Not Applicable (Total Points for Items Not Relevant to this Application)	<table border="1" style="margin-left: auto; margin-right: auto;"> <tr><td style="text-align: center;">0</td></tr> <tr><td style="text-align: center;">n/a</td></tr> </table>	0	n/a										
0													
n/a													
Maximum Achievable Score (Total Social Pillar Points Minus Total Social Points Not Applicable)	<table border="1" style="margin-left: auto; margin-right: auto;"> <tr><td style="text-align: center;">35</td></tr> <tr><td style="text-align: center;">Maximum</td></tr> </table>	35	Maximum										
35													
Maximum													
Social Pillar Minimum Score (Sum of Applicable Baseline Items)	<table border="1" style="margin-left: auto; margin-right: auto;"> <tr><td style="text-align: center;">5</td></tr> <tr><td style="text-align: center;">Social Baseline</td></tr> </table>	5	Social Baseline										
5													
Social Baseline													
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	<table border="1" style="margin-left: auto; margin-right: auto;"> <tr><td style="text-align: center;">18</td></tr> <tr><td style="text-align: center;">Total Social Points</td></tr> </table>	18	Total Social Points										
18													
Total Social Points													
Social Pillar Score (Total Points Achieved/Maximum Achievable Score)	<table border="0" style="margin-left: auto; margin-right: auto;"> <tr> <td style="text-align: center;"> <table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">18</td></tr> <tr><td style="text-align: center;">Total Social Points</td></tr> </table> </td> <td style="text-align: center; vertical-align: middle;">/</td> <td style="text-align: center;"> <table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">35</td></tr> <tr><td style="text-align: center;">Max</td></tr> </table> </td> <td style="text-align: center; vertical-align: middle;">=</td> <td style="text-align: center;"> <table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">51</td></tr> <tr><td style="text-align: center;">Percent</td></tr> </table> </td> <td style="text-align: center; vertical-align: middle;">%</td> </tr> </table>	<table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">18</td></tr> <tr><td style="text-align: center;">Total Social Points</td></tr> </table>	18	Total Social Points	/	<table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">35</td></tr> <tr><td style="text-align: center;">Max</td></tr> </table>	35	Max	=	<table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">51</td></tr> <tr><td style="text-align: center;">Percent</td></tr> </table>	51	Percent	%
<table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">18</td></tr> <tr><td style="text-align: center;">Total Social Points</td></tr> </table>	18	Total Social Points	/	<table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">35</td></tr> <tr><td style="text-align: center;">Max</td></tr> </table>	35	Max	=	<table border="1" style="display: inline-table;"> <tr><td style="text-align: center;">51</td></tr> <tr><td style="text-align: center;">Percent</td></tr> </table>	51	Percent	%		
18													
Total Social Points													
35													
Max													
51													
Percent													

Project Report Card Summary

FOR CITY USE ONLY – TO BE FILLED OUT BY THE PLANNER

Project Address/Name:	File No:
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PROJECT SCORE SUMMARY	Cultural	Economic	Environmental	Social
Total Pillar Points Available	23	10	61	35
Sum Of Items Not Applicable	Cultural na 16	Economic na 3	Enviro na 0	Social na 0
Maximum Achievable Score (Total Pillar Points – Sum of Items N/A)	Maximum Cultural Achievable 7	Maximum Economic Achievable 7	Maximum Enviro Achievable 57	Maximum Social Achievable 35
Minimum Score (Sum of Applicable Baseline Items)	Minimum Cultural Score 3	Minimum Economic Score 7	Minimum Enviro Score 30	Minimum Social Score 5
Missed Points (Sum of Applicable Items Not Achieved)	Missed Cultural Points 3	Missed Economic Points 0	Missed Enviro Points 14	Missed Social Points 17
TOTAL PILLAR SCORE ACHIEVED (Total Points Achieved out of Applicable Items)	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">4</div> / <div style="border: 1px solid black; padding: 2px;">7</div> </div> <small>Total Cultural # / Possible Cultural #</small> <div style="text-align: center; margin-top: 5px;"> <div style="border: 1px solid black; padding: 2px; width: 30px; margin: 0 auto;">57</div> % <small>Total Cultural Percent</small> </div>	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">7</div> / <div style="border: 1px solid black; padding: 2px;">7</div> </div> <small>Total Economic # / Possible Economic #</small> <div style="text-align: center; margin-top: 5px;"> <div style="border: 1px solid black; padding: 2px; width: 30px; margin: 0 auto;">100</div> % <small>Total Economic Percent</small> </div>	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">43</div> / <div style="border: 1px solid black; padding: 2px;">57</div> </div> <small>Total Enviro # / Possible Enviro #</small> <div style="text-align: center; margin-top: 5px;"> <div style="border: 1px solid black; padding: 2px; width: 30px; margin: 0 auto;">72</div> % <small>Total Enviro Percent</small> </div>	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">18</div> / <div style="border: 1px solid black; padding: 2px;">35</div> </div> <small>Total Social # / Possible Social #</small> <div style="text-align: center; margin-top: 5px;"> <div style="border: 1px solid black; padding: 2px; width: 30px; margin: 0 auto;">51</div> % <small>Total Social Percent</small> </div>

OVERALL SUSTAINABILITY SCORE (Sum of Four Pillars)	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">72</div> / <div style="border: 1px solid black; padding: 2px;">106</div> </div> <small>Overall # / Overall Possible #</small>	<div style="display: flex; justify-content: center; align-items: center;"> <div style="border: 1px solid black; padding: 2px; width: 30px; margin: 0 auto;">68</div> % <small>Overall Percent</small> </div>
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SUSTAINABILITY HIGHLIGHTS	Cultural	Economic	Environmental	Social
<p>+ Priority Items (Score ≥3) Achieved and Confirmed Innovations</p>	+ Cultural	+ Economic Project will add to the City's tax base and provide additional support for local businesses	+ Environmental Protects high value ESA (tree resource) project addresses on-site and off-site pedestrian measures building energy performance	+ Social provision of adaptable units Affordable Home Ownership Program provision of on-site social spaces
<p>- Priority Items (Score ≥3) Missed and Confirmed Constraints</p>	- Cultural Potential points lost as the site has no heritage values	- Economic	- Environmental	- Social