

REZONING

2020-01-08

OWNER:
3000 HENRY STREET LIMITED
PARTNERSHIP

Contact: Phil Scott (Owner Representative)
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V6C 1T2
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ARCHITECTS:
ANKENMAN MARCHAND
ARCHITECTS

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PMG

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ARBORIST:
MIKE FADUM & ASSOCIATES LTD.

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ARCHITECTS

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ANKENMAN MARCHAND

Project:
1112

Henry Street
3000 Henry Street • Port Moody

Drawing:
COVER

Project Status:
REZONING

Date	Description
2020-01-08	Revised for Rezoning

No.	Date	Description
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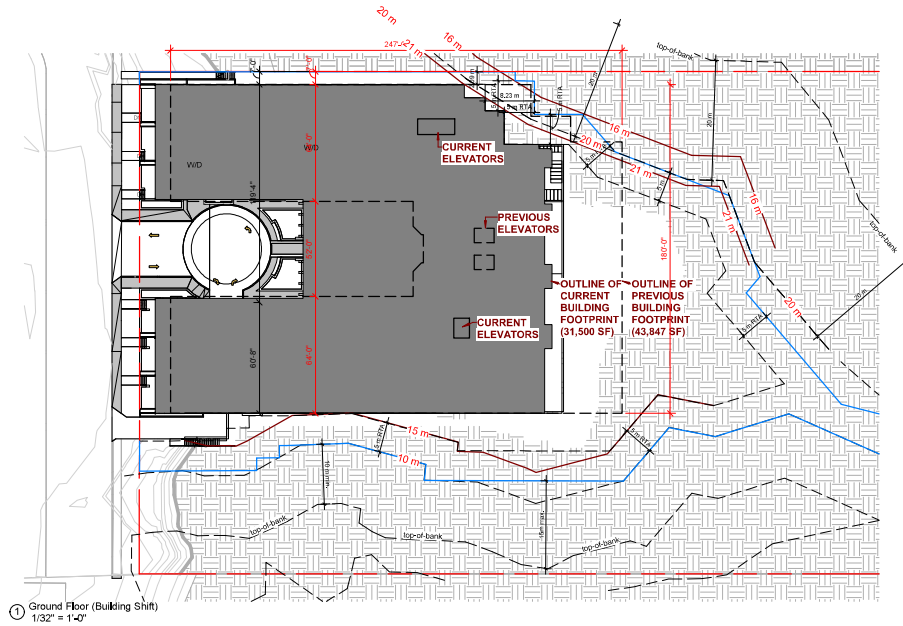
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Scale:		DWG. NO:	A001
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LEGAL DESCRIPTION

LOTS 17, 18, 19 AND 20 DISTRICT LOT 190, GROUP 1
NEW WESTMINSTER DISTRICT, PLAN 11618

CURRENT



STATISTICS

CURRENT ZONING: A1 (Acreage Reserve)

PROPOSED ZONING: Comprehensive Development (CD)

SITE AREA: Current: 188,966.81 SF (17562 m², 4.34 acres)
After dedication: 138,682.81 SF (12,688.25 m², 3.138 acres)

BUILDING FOOTPRINT: 37,620 SF
NOTE: THIS INCLUDES FOOTPRINT OF U/G PARKING UNDER CENTRAL COURTYARD ACCESS AND AT REAR YARD.

BUILDING FOOTPRINT: 33,232 SF
NOTE: FOOTPRINT OF BUILDING ABOVE GROUND.

SITE COVERAGE: 24.3% (AS PER BUILDING FOOTPRINT ABOVE, AFTER DEDICATION)

PROPOSED F.A.R.: 186,733 + 188,966.81 = 0.99 (BEFORE DEDICATION)

PROPOSED F.A.R.: 186,733 + 136,682.81 = 1.37 (AFTER DEDICATION)

TOTAL # OF UNITS: 173

DEVELOPMENT DATA

UNITS PER ACRE: 173/4.34 = 40 UPA (AFTER DEDICATION)

ADAPTABLE UNITS: Bylaw 5.2.1.b
MIN. 50% OF SINGLE-STORY UNITS TO BE ADAPTABLE
173 single-story units x 50% = 87 units (see plans)

FAR EXCLUSION: 87 units x 2 m² = 174 m² (1,872.92 SF)

FAR CALCULATION
NET INCLUSION: 186,733 - 1,873 = 184,860 SF (17,174.06 SM)

INDOOR AMENITY AREA

AREA REQUIRED: 32.29 SF (3.0 SM) / UNIT = 5,586.2 SF (519 SM)

AREA PROVIDED: 5,586.2 SF (695.47 SM)

OUTDOOR AMENITY AREA

AREA PROPOSED: 21.5 SF (2.0 SM) / UNIT = 3724.3 SF (346 SM)

AREA PROVIDED: 12,357 SF (1,148 SM)

BUILDING HEIGHT:
Maximum building height shall not exceed 11 storeys and 33.5m (110ft)

Total number of storeys above street grade: 11

SETBACKS:
Front Setback: 10ft (3.05m)

Side Setback (West): 87.8ft (26.76m)

Side Setback (East): 7ft (2.15m)

Rear Setback: 465.72ft (141.95m)

PARKING CALCULATION

REQUIRED PARKING PER ZONING BYLAW
FOR HIGH DENSITY DEVELOPMENTS:

1 STALL PER 1-BEDROOM UNIT
1.5 STALLS PER 2-BEDROOM+ UNIT
2 STALLS PER 3-BEDROOM+ UNIT

0.2 VISITOR STALLS <100 UNITS
0.1 VISITOR STALLS >100 UNITS

ACCESSIBLE STALLS UP TO 274 REQ. STALLS: 6 REQUIRED

1 X 5 STUDIOS = 5 STALLS
1 X 58 1-BED+ UNITS = 58 STALLS
1.5 X 96 2-BED+ UNITS = 144 STALLS
1.5 X 14 3-BED+ UNIT = 21 STALLS
0.2 X 100 UNITS = 20 VISITOR STALLS
0.1 X 73 UNITS = 7 VISITOR STALLS
TOTAL REQUIRED = 5 + 58 + 144 + 21 = 228 + 27 = 255
(of which 6 are accessible)

Up to 30% max Small Car, clearly marked.

PARKING PROVIDED:
PARKING STALLS PROVIDED = 253 STALLS
TWO CAR SHARE PROVIDED ON GROUND FLOOR = 10 STALLS
TOTAL = 261

REQUIRED BICYCLE PARKING:
1.5 LONG TERM SPACES PER UNIT APARTMENT = 255 SPACES
2 LONG TERM SPACES PER UNIT TOWNHOUSE = 6 SPACES
TOTAL REQUIRED = 255 + 6 = 261

Visitor = 12 Short Term Bicycle Spaces

BICYCLE PARKING PROVIDED:
TOTAL BICYCLE PARKING PROVIDED = 319 SPACES

E- Communications :

All parking levels to comply with City of Port Moody e-communication emergency rescue requirements.

EV CHARGING STATIONS:
Electric Vehicle Charging Stations: TBC
100% of stalls to include an energized outlet capable of providing Level 2 Charging for an electric vehicle.

Car Parking	
Type	Count
Accessible	6
Regular	177
Small	71
Grand total: 254	

Bicycle Parking	
Level	Count
Level P1	93
Ground Floor	226
Grand total: 319	

GARBAGE & RECYCLING CALCULATIONS

RESIDENTIAL - MULTI FAMILY

TOTAL NUMBER OF UNITS: 173

ESTIMATED VOLUME GENERATED PER WEEK			
Waste Categories	(L/unit/week)	(L/Total units/week)	Comments
Garbage	53.03	9169.00	
Mixed Containers	18.53	3200.50	
Mixed Papers (exclude cardboard)	15.03	2599.50	
Cardboard	27.53	4757.50	
glass	2.00	346.00	small container
Compostables	14.03	2427.00	

NUMBER OF CHOSEN CONTAINERS				
Waste Categories	Cart	3 Yard Bin	4 Yard Bin	6 Yard Bin
Garbage	360	2254L	3758 L	4588L
Cardboard	0	0	0	2
Mixed Containers	0	0	1	0
Mixed Papers (exclude cardboard)	1	1	0	0
Cardboard	0	0	0	1
glass	1	0	0	0
Compostables	1	1	0	0
Total	3	2	1	3

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ANKENMAN MARCHAND

Project:

1112

Henry Street

3000 Henry Street - Port Moody

Drawing:

STATISTICS

Project Status:

REZONING

SUBMISSION

Date Description

(11/1/2020)

2020-01-08 Released for Rezoning

Scale:

1/32" = 1'-0"

DWG. NO.:

A003

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Gross Building Service Areas		
Unit Type	Level	Area
AMENITY	Ground Floor	896 SF
AMENITY	Ground Floor	2126 SF
AMENITY	Ground Floor	339 SF
AMENITY	Ground Floor	2289 SF
AMENITY	Level 2	1835 SF
		7486 SF

BIKE PARKING	Level P1	1789 SF
BIKE PARKING	Ground Floor	355 SF
BIKE PARKING	Ground Floor	3788 SF
		5908 SF

CIRCULATION	Level P1	135 SF
CIRCULATION	Level P1	161 SF
CIRCULATION	Level P1	143 SF
CIRCULATION	Level P1	947 SF
CIRCULATION	Ground Floor	2780 SF
CIRCULATION	Ground Floor	167 SF
CIRCULATION	Level 2	1165 SF
CIRCULATION	Level 2	1121 SF
CIRCULATION	Level 3	999 SF
CIRCULATION	Level 3	1448 SF
CIRCULATION	Level 4	1502 SF
CIRCULATION	Level 4	1096 SF
CIRCULATION	Level 4	177 SF
CIRCULATION	Level 5	884 SF
CIRCULATION	Level 5	1570 SF
CIRCULATION	Level 5	177 SF
CIRCULATION	Level 6	3097 SF
CIRCULATION	Level 7	2789 SF
CIRCULATION	Level 8	2053 SF
CIRCULATION	Level 9	1752 SF
CIRCULATION	Level 10	1589 SF
CIRCULATION	Level 11	1561 SF
		27064 SF

PARKING	Level P1	24669 SF
PARKING	Ground Floor	13004 SF
PARKING	Level 2	15633 SF
PARKING	Level 3	15633 SF
PARKING	Level 4	15456 SF
PARKING	Level 5	13079 SF
		97474 SF

SERVICES	Level P1	448 SF
SERVICES	Level P1	121 SF
SERVICES	Level P1	383 SF
SERVICES	Ground Floor	560 SF
SERVICES	Ground Floor	475 SF
SERVICES	Level 3	638 SF
SERVICES	Level 5	239 SF
SERVICES	Level 6	37 SF
SERVICES	Level 6	36 SF
SERVICES	Level 7	32 SF
SERVICES	Level 7	37 SF
SERVICES	Level 7	36 SF
SERVICES	Level 8	37 SF
SERVICES	Level 9	37 SF
SERVICES	Level 10	37 SF
SERVICES	Level 11	37 SF
		3228 SF

STORAGE	Level 2	1489 SF
STORAGE	Level 2	239 SF
STORAGE	Level 2	427 SF
STORAGE	Level 2	406 SF
STORAGE	Level 3	960 SF
STORAGE	Level 3	239 SF
STORAGE	Level 3	427 SF
STORAGE	Level 3	406 SF
STORAGE	Level 4	239 SF
STORAGE	Level 4	406 SF
STORAGE	Level 4	427 SF
STORAGE	Level 5	176 SF
STORAGE	Level 5	247 SF
		6086 SF

Grand total: 66 147246 SF

Net Floor Area by Level			
Level	Name	Area	Unit Type
Level P1	TH01	168 SF	TH
Level P1	TH02	168 SF	TH
Level P1	TH03	432 SF	TH
Level P1: 3		769 SF	

Ground Floor	102	1032 SF	2BR + DEN
Ground Floor	103	933 SF	3BR + DEN
Ground Floor	104	556 SF	1BR
Ground Floor	105	746 SF	2BR
Ground Floor	106	611 SF	1BR + DEN
Ground Floor	106	435 SF	STUDIO
Ground Floor	TH01	492 SF	TH
Ground Floor	TH02	492 SF	TH
Ground Floor	TH03	493 SF	TH
Ground Floor: 9		5789 SF	

Level 2	201	587 SF	1BR + DEN
Level 2	202	719 SF	2BR
Level 2	203	890 SF	2BR
Level 2	204	586 SF	1BR
Level 2	205	883 SF	1BR + DEN
Level 2	206	502 SF	1BR
Level 2	207	739 SF	1BR + DEN
Level 2	208	523 SF	1BR
Level 2	209	706 SF	1BR + DEN
Level 2	210	421 SF	STUDIO
Level 2	211	572 SF	1BR
Level 2	212	572 SF	1BR
Level 2	213	480 SF	STUDIO
Level 2	214	954 SF	2BR
Level 2	TH01	712 SF	TH
Level 2	TH02	752 SF	TH
Level 2	TH03	693 SF	TH
Level 2: 17		11091 SF	

Level 3	301	853 SF	2BR
Level 3	302	534 SF	1BR
Level 3	303	569 SF	1BR
Level 3	304	581 SF	1BR
Level 3	305	742 SF	1BR + DEN
Level 3	306	600 SF	1BR
Level 3	307	720 SF	2BR
Level 3	308	587 SF	1BR
Level 3	309	618 SF	1BR + DEN
Level 3	310	884 SF	1BR + DEN
Level 3	311	502 SF	1BR
Level 3	312	766 SF	1BR + DEN
Level 3	313	572 SF	1BR
Level 3	314	755 SF	1BR + DEN
Level 3	315	420 SF	STUDIO
Level 3	316	572 SF	1BR
Level 3	317	891 SF	2BR
Level 3	318	891 SF	2BR
Level 3	319	953 SF	2BR
Level 3: 19		13029 SF	

Level 4	401	853 SF	2BR
Level 4	402	620 SF	1BR + DEN
Level 4	403	1062 SF	2BR + DEN
Level 4	404	581 SF	1BR
Level 4	405	795 SF	2BR
Level 4	406	879 SF	2BR
Level 4	407	587 SF	1BR
Level 4	408	631 SF	1BR + DEN
Level 4	409	966 SF	2BR + DEN
Level 4	410	953 SF	2BR
Level 4	411	855 SF	1BR + DEN
Level 4	412	502 SF	1BR
Level 4	413	881 SF	2BR
Level 4	414	796 SF	2BR
Level 4	415	421 SF	STUDIO
Level 4	416	571 SF	1BR
Level 4	419	891 SF	2BR
Level 4	417	893 SF	2BR
Level 4: 18		13767 SF	

Net Floor Area by Level			
Level	Name	Area	Unit Type
Level 5	501	904 SF	2BR
Level 5	502	926 SF	2BR
Level 5	503	1061 SF	2BR + DEN
Level 5	504	1040 SF	2BR + DEN
Level 5	505	1094 SF	2BR + DEN
Level 5	506	822 SF	2BR
Level 5	507	700 SF	2BR
Level 5	508	1202 SF	2BR + DEN
Level 5	509	1029 SF	2BR
Level 5	510	851 SF	2BR
Level 5	511	1096 SF	2BR + DEN
Level 5	512	881 SF	2BR
Level 5	513	571 SF	1BR
Level 5	514	891 SF	2BR
Level 5	515	893 SF	2BR
Level 5: 15		13912 SF	

Level 6	601	840 SF	2BR
Level 6	602	566 SF	1BR
Level 6	603	1106 SF	2BR + DEN
Level 6	604	1101 SF	2BR + DEN
Level 6	605	1102 SF	2BR + DEN
Level 6	606	1156 SF	3BR
Level 6	607	733 SF	1BR + DEN
Level 6	608	541 SF	1BR
Level 6	609	784 SF	1BR + DEN
Level 6	610	1207 SF	2BR + DEN
Level 6	611	1136 SF	2BR + DEN
Level 6	612	465 SF	1BR
Level 6	613	529 SF	1BR + DEN
Level 6	614	879 SF	1BR + DEN
Level 6	615	1159 SF	2BR + DEN
Level 6	616	1178 SF	2BR + DEN
Level 6	617	828 SF	1BR + DEN
Level 6	618	546 SF	1BR
Level 6	619	652 SF	1BR + DEN
Level 6	620	1102 SF	2BR + DEN
Level 6	623	984 SF	2BR
Level 6	624	881 SF	2BR
Level 6	625	883 SF	2BR
Level 6: 23		20410 SF	

Level 7	701	840 SF	2BR
Level 7	702	850 SF	2BR + DEN
Level 7	703	1104 SF	2BR + DEN
Level 7	704	1104 SF	2BR + DEN
Level 7	705	1102 SF	2BR + DEN
Level 7	706	1156 SF	3BR
Level 7	707	733 SF	1BR + DEN
Level 7	708	544 SF	1BR
Level 7	709	535 SF	1BR
Level 7	710	928 SF	2BR
Level 7	711	1264 SF	3BR + DEN
Level 7	712	1129 SF	2BR + DEN
Level 7	713	1159 SF	2BR + DEN
Level 7	714	1178 SF	2BR + DEN
Level 7	715	827 SF	1BR + DEN
Level 7	716	720 SF	1BR + DEN
Level 7	717	1079 SF	2BR + DEN
Level 7	718	781 SF	2BR
Level 7	719	572 SF	1BR
Level 7	720	893 SF	2BR
Level 7: 20		18497 SF	

Net Floor Area by Level			
Level	Name	Area	Unit Type
Level 8	801	840 SF	2BR
Level 8	802	850 SF	2BR
Level 8	803	1103 SF	2BR + DEN
Level 8	804	1104 SF	2BR + DEN
Level 8	805	1103 SF	2BR + DEN
Level 8	806	1156 SF	3BR
Level 8	807	733 SF	1BR + DEN
Level 8	808	543 SF	1BR
Level 8	809	1078 SF	2BR + DEN
Level 8	810	1404 SF	3BR + DEN
Level 8	811	738 SF	1BR + DEN
Level 8	812	1084 SF	2BR + DEN
Level 8	813	1176 SF	2BR + DEN
Level 8	814	763 SF	1BR + DEN
Level 8	815	1484 SF	3BR + DEN
Level 8	816	1084 SF	2BR + DEN
Level 8	817	896 SF	2BR
Level 8: 17		17119 SF	

Level 9	901	715 SF	2BR
Level 9	902	850 SF	2BR
Level 9	903	1103 SF	2BR + DEN
Level 9	904	1104 SF	2BR + DEN
Level 9	905	1102 SF	2BR + DEN
Level 9	906	1156 SF	3BR
Level 9	907	731 SF	1BR + DEN
Level 9	908	1186 SF	3BR
Level 9	909	995 SF	2BR
Level 9	910	774 SF	1BR + DEN
Level 9	911	1089 SF	2BR + DEN
Level 9	912	1178 SF	2BR + DEN
Level 9	913	763 SF	1BR + DEN
Level 9	914	1099 SF	2BR + DEN
Level 9	915	1093 SF	2BR + DEN
Level 9: 15		14849 SF	

Level 10	1001	715 SF	2BR
Level 10	1002	850 SF	2BR
Level 10	1003	1103 SF	2BR + DEN
Level 10	1004	1104 SF	2BR + DEN
Level 10	1005	1104 SF	2BR + DEN
Level 10	1006	1154 SF	3BR
Level 10	1007	1506 SF	3BR + DEN
Level 10	1008	1307 SF	3BR
Level 10	1009	1089 SF	2BR + DEN
Level 10	1010	1178 SF	2BR + DEN
Level 10	1011	1175 SF	3BR
Level 10	1012	731 SF	1BR + DEN
Level 10: 12		13016 SF	

Level 11	1101	1033 SF	2BR + DEN
Level 11	1102	850 SF	2BR + DEN
Level 11	1103	1104 SF	2BR + DEN
Level 11	1104	1104 SF	2BR + DEN
Level 11	1105	1104 SF	2BR + DEN
Level 11	1106	1154 SF	3BR
Level 11	1107	965 SF	2BR
Level 11	1108	1168 SF	2BR + DEN
Level 11	1109	634 SF	1BR
Level 11	1110	634 SF	1BR
Level 11	1111	1166 SF	2BR + DEN
Level 11: 11		10915 SF	
Level 11: 11		153164 SF	

This total includes all residential areas included in

"livable space."

FSR & GROSS AREA

Gross Circulation Area		
Area Type	Level	Area
Circulation		27064 SF
Grand total: 23		27064 SF

Gross Services Area		
Unit Type	Level	Area
SERVICES		2275 SF
		2275 SF
STORAGE		6086 SF
		6086 SF
Grand total: 28		8361 SF

RESIDENTIAL + CIRCULATION	
Area Type	Area
Circulation	25977 SF
Residential	152395 SF
Grand total: 194	178372 SF

EFFICIENCY 85%

FAR CALCULATION	
Area Type	Area
Circulation	25977 SF
Residential	152395 SF
Services	8361 SF
Grand total	186733 SF

FAR = 1.37

Gross Residential Area		
Unit Type	Count	Area
1BR	29	16253 SF
1BR + DEN	29	21311 SF
2BR	43	37185 SF
2BR + DEN	50	54844 SF
3BR	9	10601 SF
3BR + DEN	5	6589 SF
STUDIO	5	2177 SF
TH	3	1477 SF
TH	6	2727 SF
	173	153164 SF

* Total includes levels P1, and Level 2 of Townhomes that are not included in unit count of 173.

UNIT MATRIX BY TYPE		
Unit Type	Area	Count
1BR	485 SF ... 634 SF	29
1BR + DEN	529 SF ... 884 SF	29
2BR	700 SF ... 1029 SF	43
2BR + DEN	850 SF ... 1207 SF	50
3BR	1154 SF ... 1307 SF	9
3BR + DEN	933 SF ... 1505 SF	5
STUDIO	420 SF ... 480 SF	5
TH	492 SF ... 493 SF	3
		173

ARCHITECTS

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Project:
1112
-
Henry Street
3000 Henry Street - Port Moody

Drawing:
AREA BREAKDOWN TABLES

Project Status:
REZONING

SUBMISSION	
Date	Description
(1711-16-20)	
2020-01-08	Reissued for Rezoning

REVISION		
No.	Date	Description

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A006

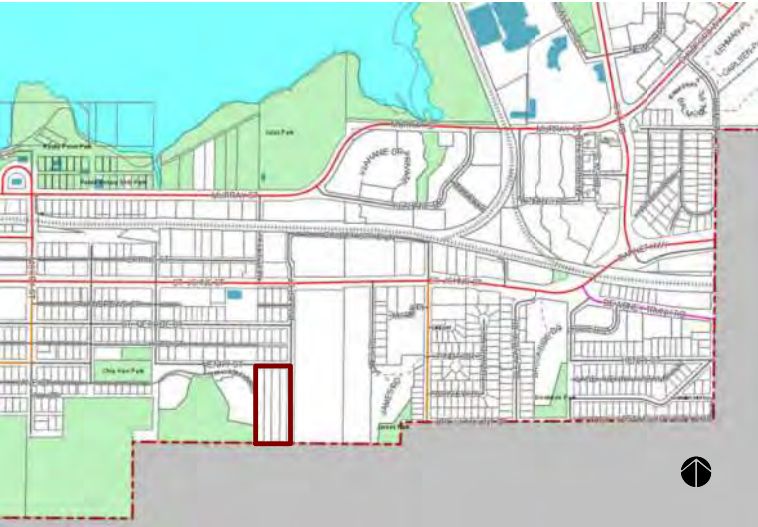
*current estimates only - on top of off-site improvements to infrastructure required through development approvals (civil works, lighting and safety, street and traffic improvements, habitat restoration, etc.)



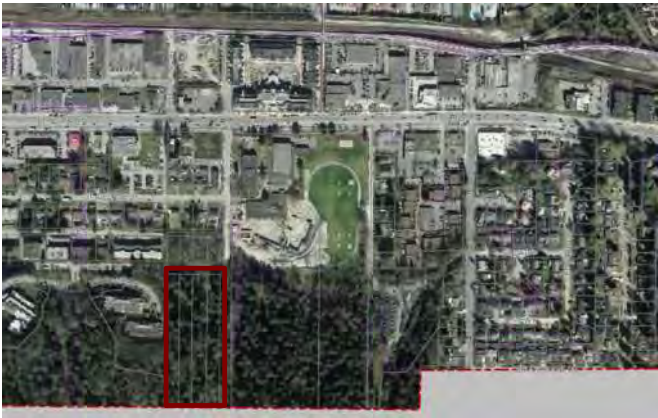
From Buller and Henry looking West



From Henry looking East



Context Map



Orthophoto

Project:
1112
Henry Street
3000 Henry Street • Port Moody
Drawing:
CONTEXT

Project Status:
REZONING

SUBMISSION	
Date	Description
Sept. 27, 2018	Re-issue for -CP
Jan. 10, 2019	Revisions
2020-01-08	Revised for Rezoning

REVISION		
No.	Date	Description

Architects in this set to be read in conjunction with each other. Any errors or discrepancies in this set shall be the responsibility of the architect. All drawings are subject to the terms and conditions of the contract. All drawings are the property of the architect. All drawings are the property of the architect. All drawings are the property of the architect.



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Project:

1112

Henry Street

3000 Henry Street • Port Moody

Drawing:
SURVEY

Project Status:
REZONING

SUBMISSION

Date (YYYY-MM-DD)	Description
2020-01-08	Relinquished for Rezoning

REVISION

No.	Date	Description
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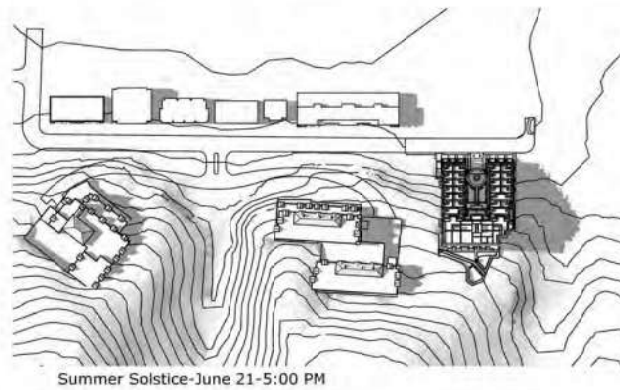
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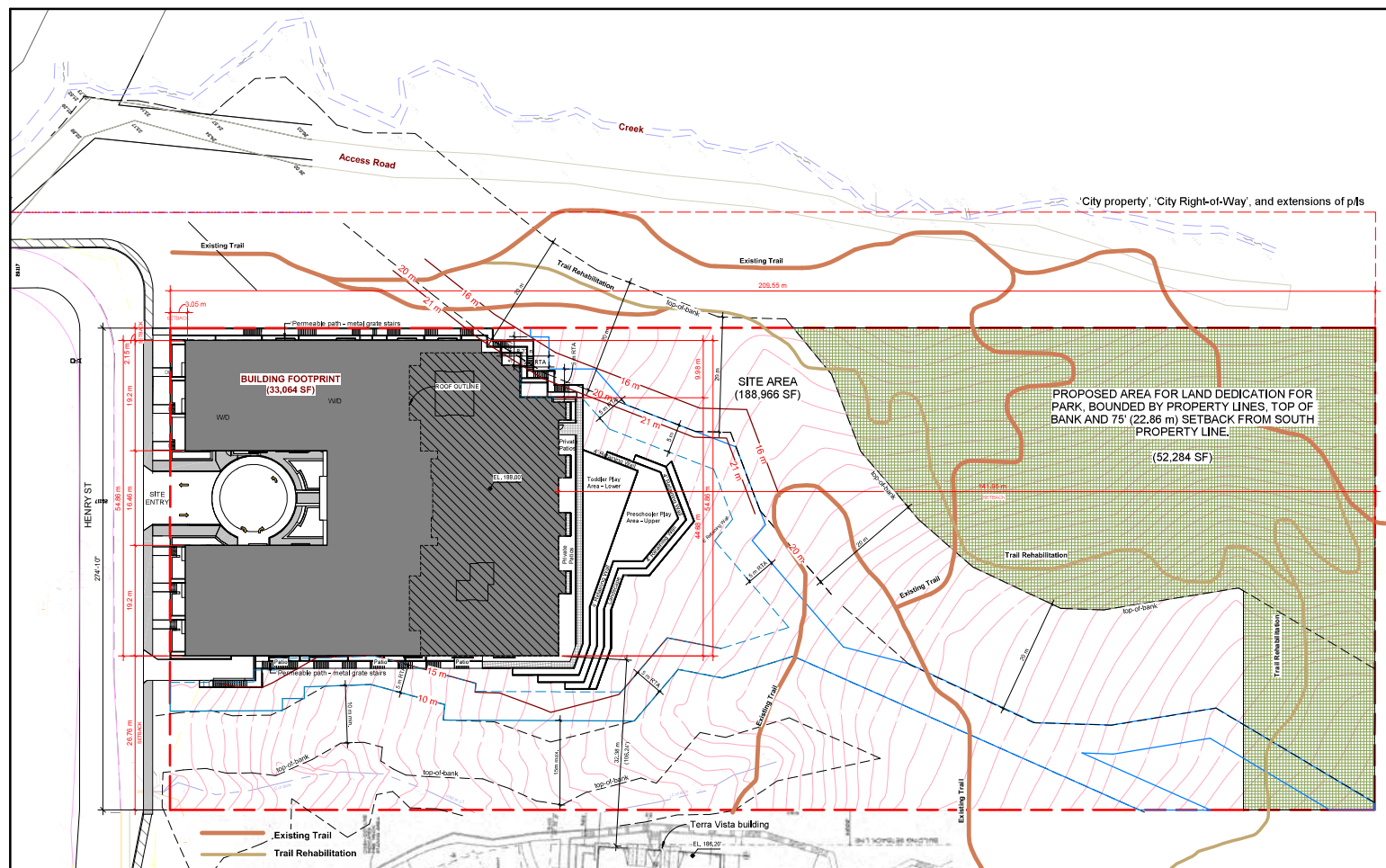
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DWG. NO: **A050**

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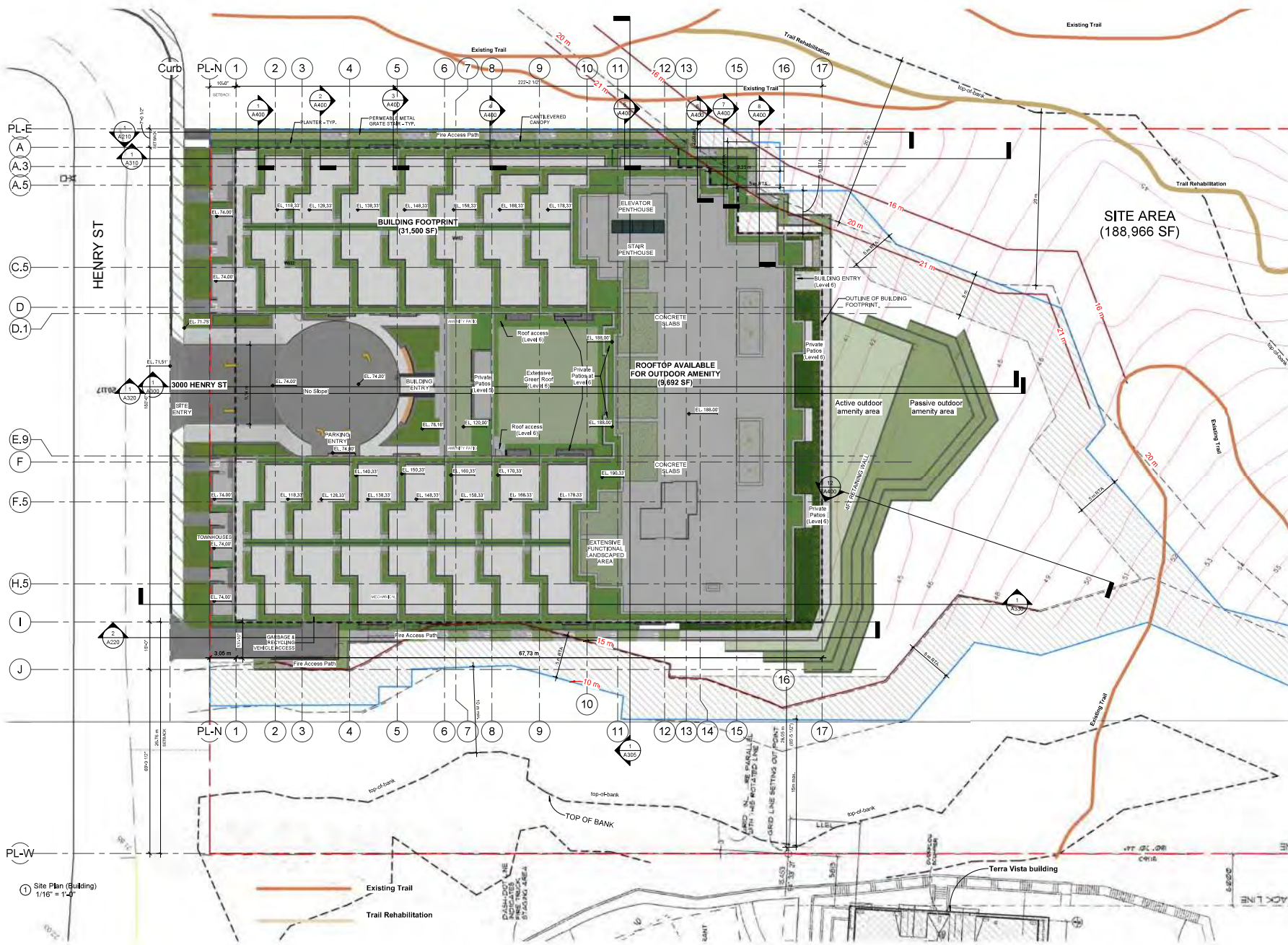
A060





① Site Plan (Full)
1" = 30'-0"

PLEASE REFER TO
ENVIRONMENTAL PLANS AND
RIPARIAN SETBACKS



Project:

1112

Henry Street
3000 Henry Street - Port Moody

Drawing:
SITE PLAN (BUILDING)

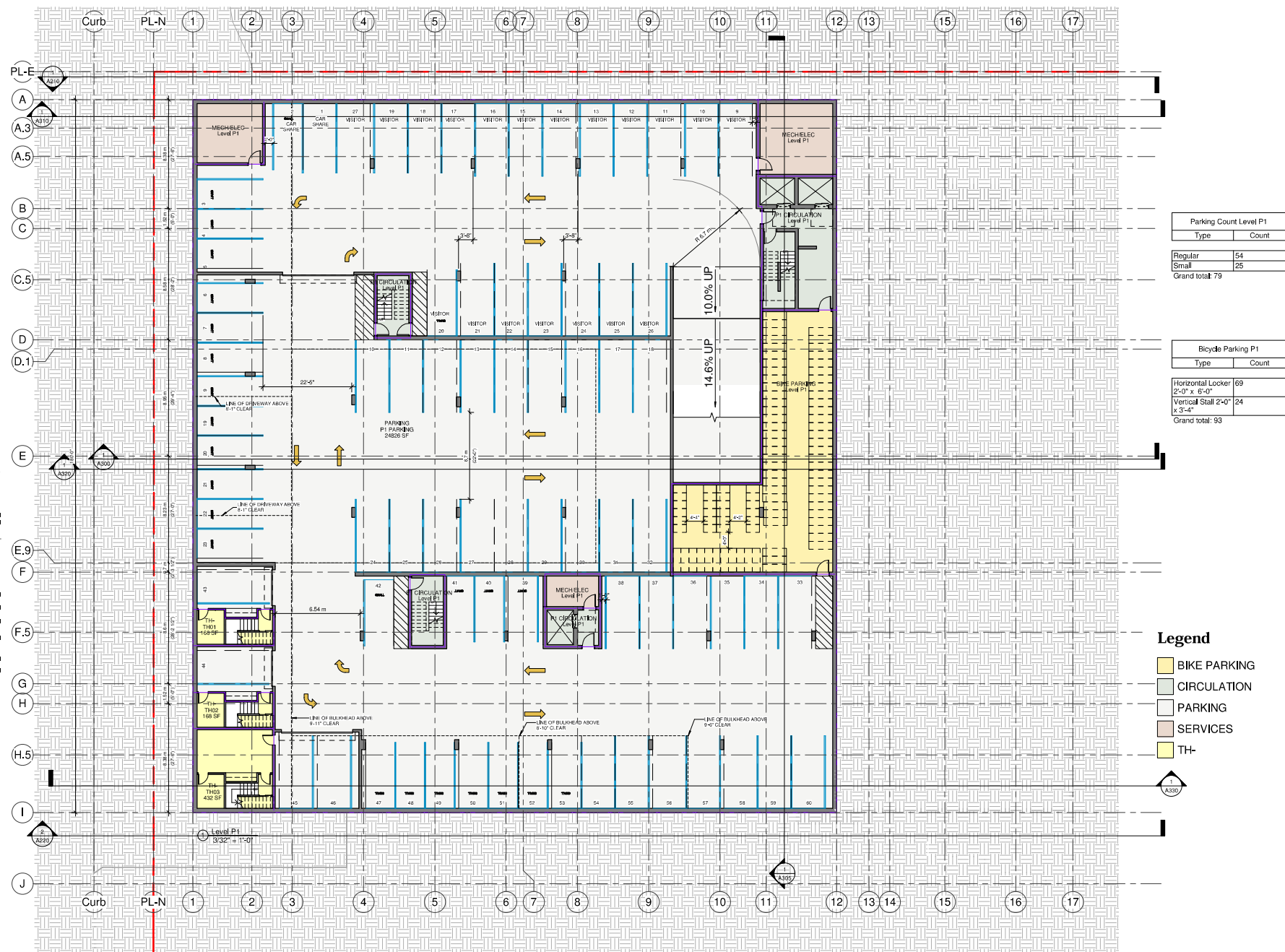
Project Status:
REZONING

DATE	DESCRIPTION
2020-01-08	Released for Rezoning

REVISION
No. Date Description

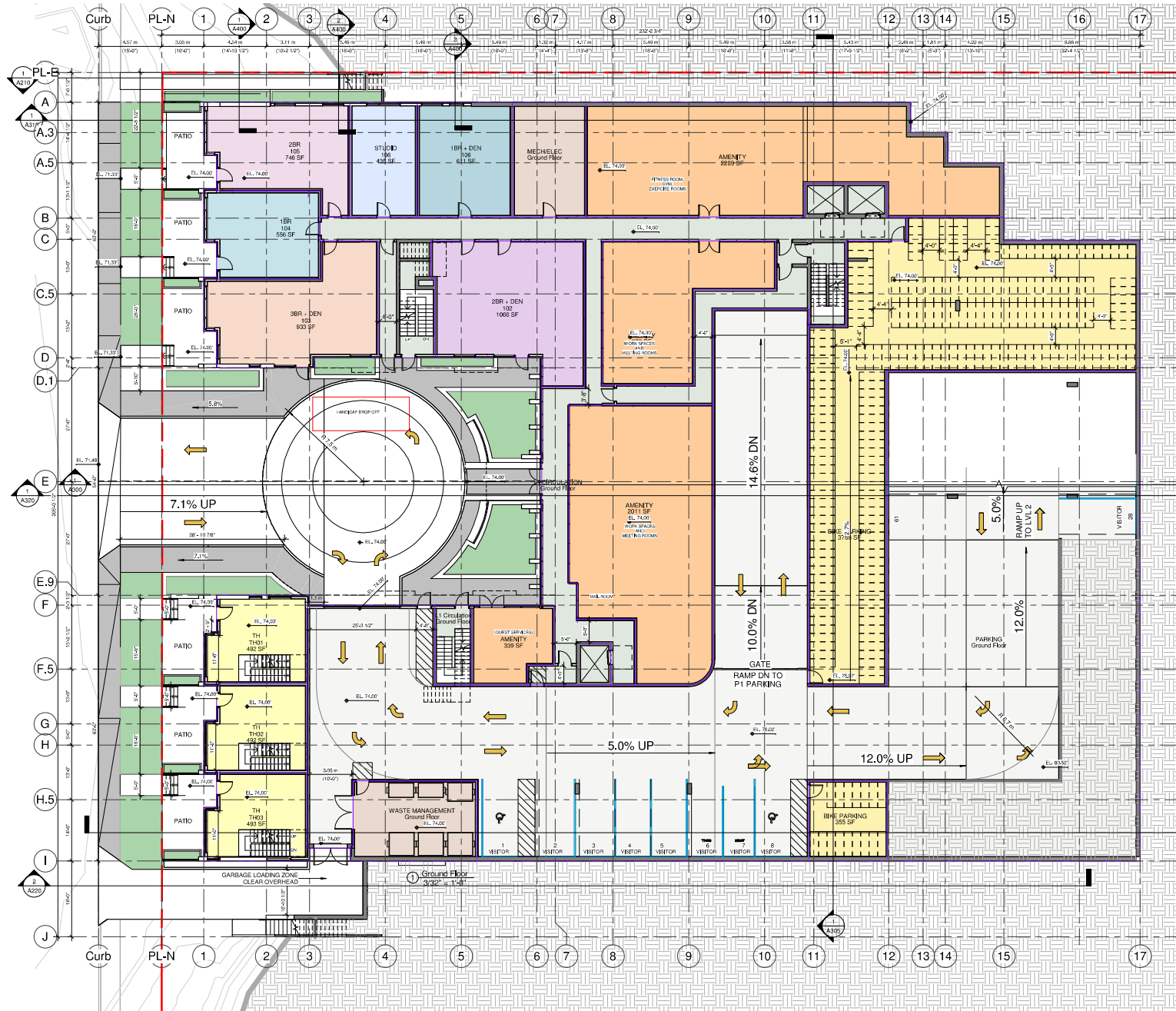
1. Revisions to this set to be noted in conjunction with each other. Any errors or omissions in this set shall be the responsibility of the architect. The architect's liability is limited to the professional fee received by the architect. The architect is not responsible for the accuracy of the information provided by the client.

Scale: 1/16" = 1'-0"
DWG. NO.: A101



G:\001 REVIT LOCAL FILES\1736_01_MAIN_R19_CF_SD_The Terraces - Option_2_DANIEL D.rvt

Plot Date: 2020-01-08 12:03:22 PM



Parking Count Ground Floor	
Type	Count
Accessible	2
Regular	5
Small	2
Grand total:	9

Bicycle Parking Level Ground...	
Type	Count
Horizontal Locker 2'-0" x 6'-0"	190
Vertical Stall 2'-0" x 3'-0"	36
Grand total:	226

Legend

- 1BR
- 1BR + DEN
- 2BR
- 2BR + DEN
- 3BR + DEN
- AMENITY
- BIKE PARKING
- CIRCULATION
- PARKING
- SERVICES
- STUDIO
- TH

ARCHITECTS

ANKENMAN MARCHAND

1645 West 5th Avenue
Vancouver, BC V6L 1N5

Tel: (604) 672-2595 Fax: (604) 672-2595
Email: office@amarchand.com

Project: 1112
Henry Street
3000 Henry Street • Port Moody

Drawing:
LEVEL 1 AREA PLAN

Project Status:
REZONING

SUBMISSION

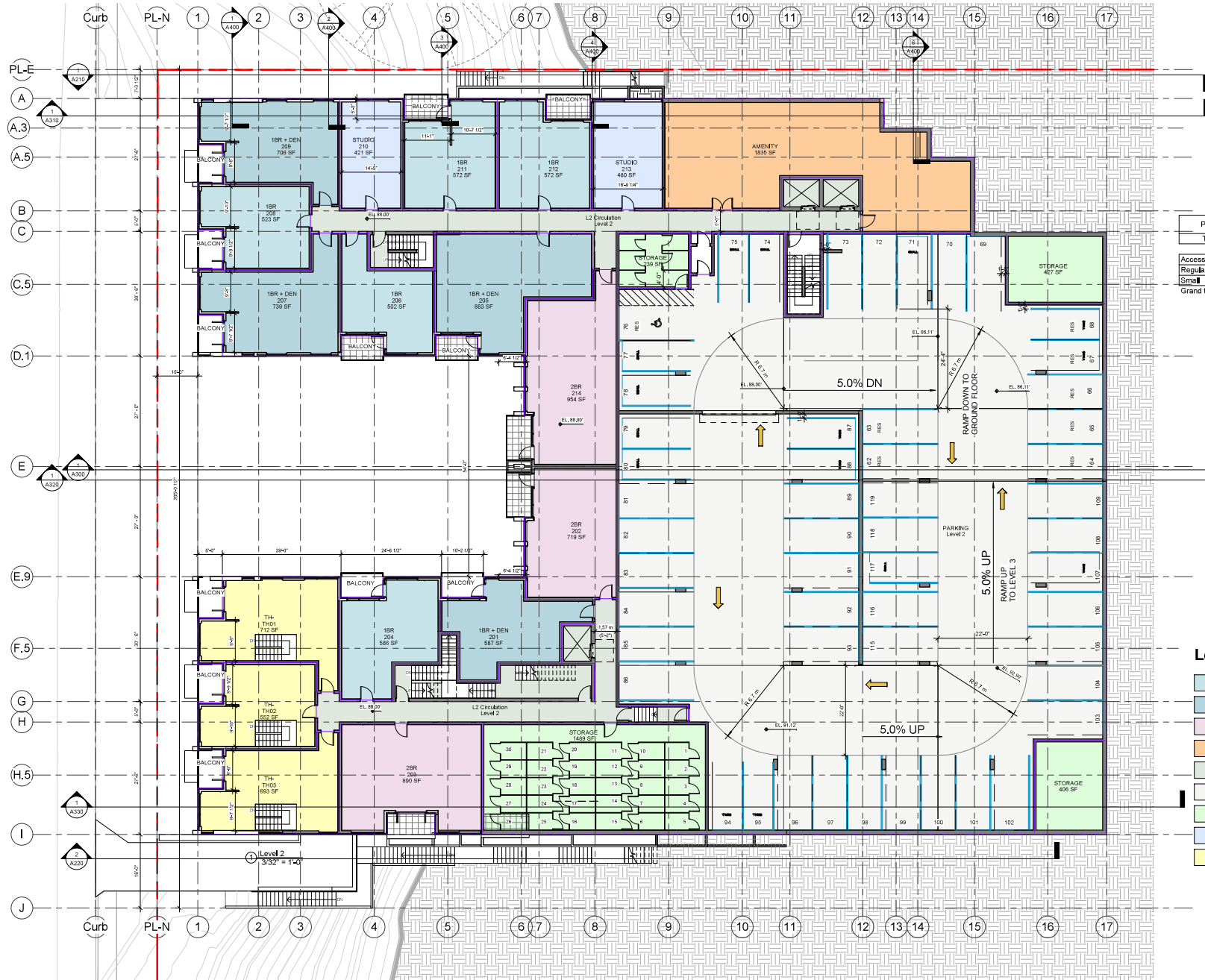
Date	Description
2020-01-08	Released for Rezoning

REVISION

No.	Date	Description
-----	------	-------------

Scale: 3/32" = 1'-0"

DWG. NO: A110



Parking Count Level 2	
Type	Count
Accessible	1
Regular	37
Small	15
Grand total	53

Legend

- 1BR
- 1BR + DEN
- 2BR
- AMENITY
- CIRCULATION
- PARKING
- STORAGE
- STUDIO
- TH-

ARCHITECTS

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Project: 1112

Henry Street
3000 Henry Street • Port Moody

Drawing:
LEVEL 2 AREA PLAN

Project Status:
REZONING

SUBMISSION

Date	Description
2020-01-08	Released for Rezoning

REVISION

No.	Date	Description
-----	------	-------------

Scale: 3/32" = 1'-0"

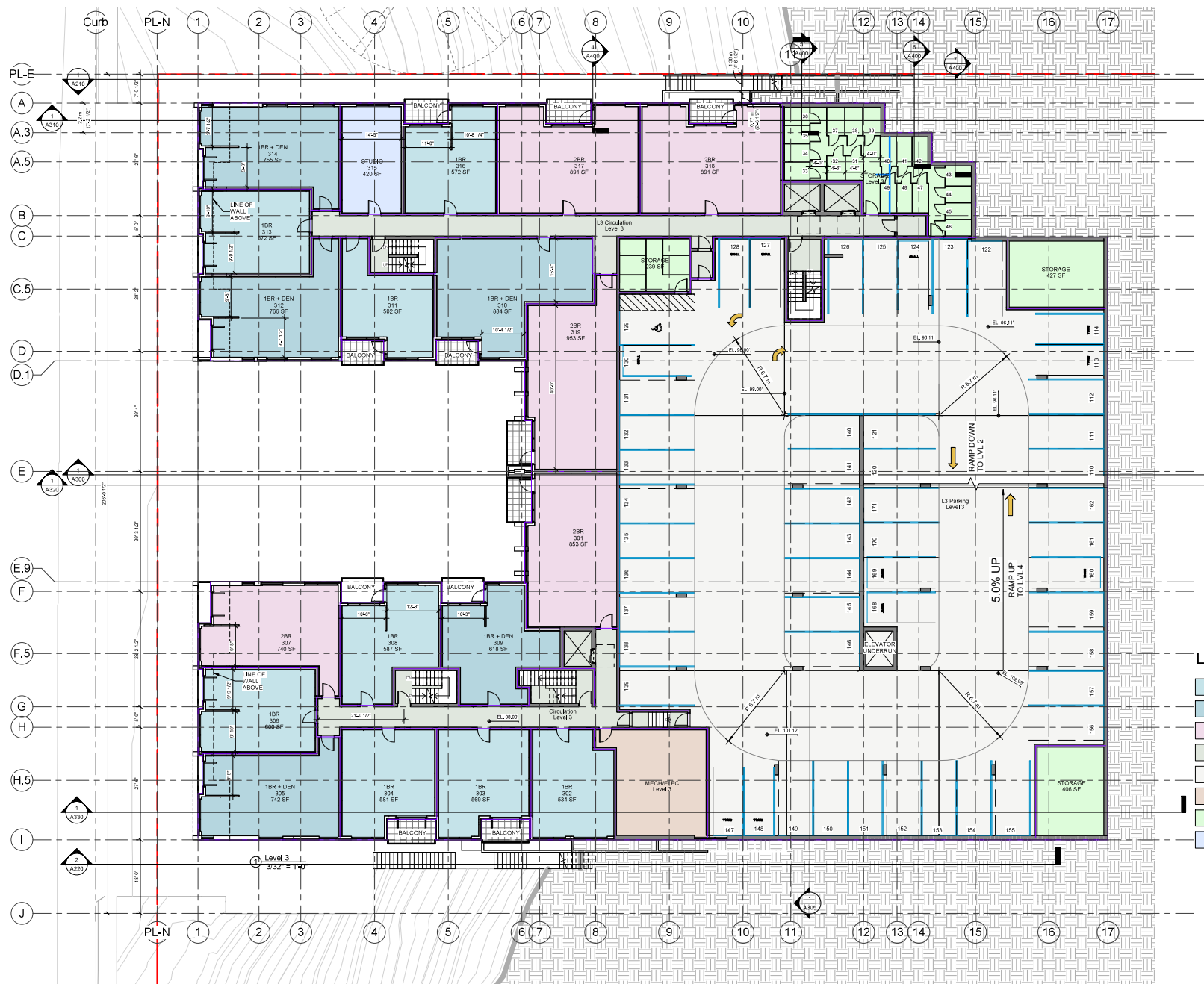
DWG. NO.: **A115**

SUBMISSION	
Date (YYYY-MM-DD)	Description
2020-01-08	Reissued for Rezonir

[illegible][illegible]

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Scale: $3/32" = 1'-0"$ DWG. NO: **A120**



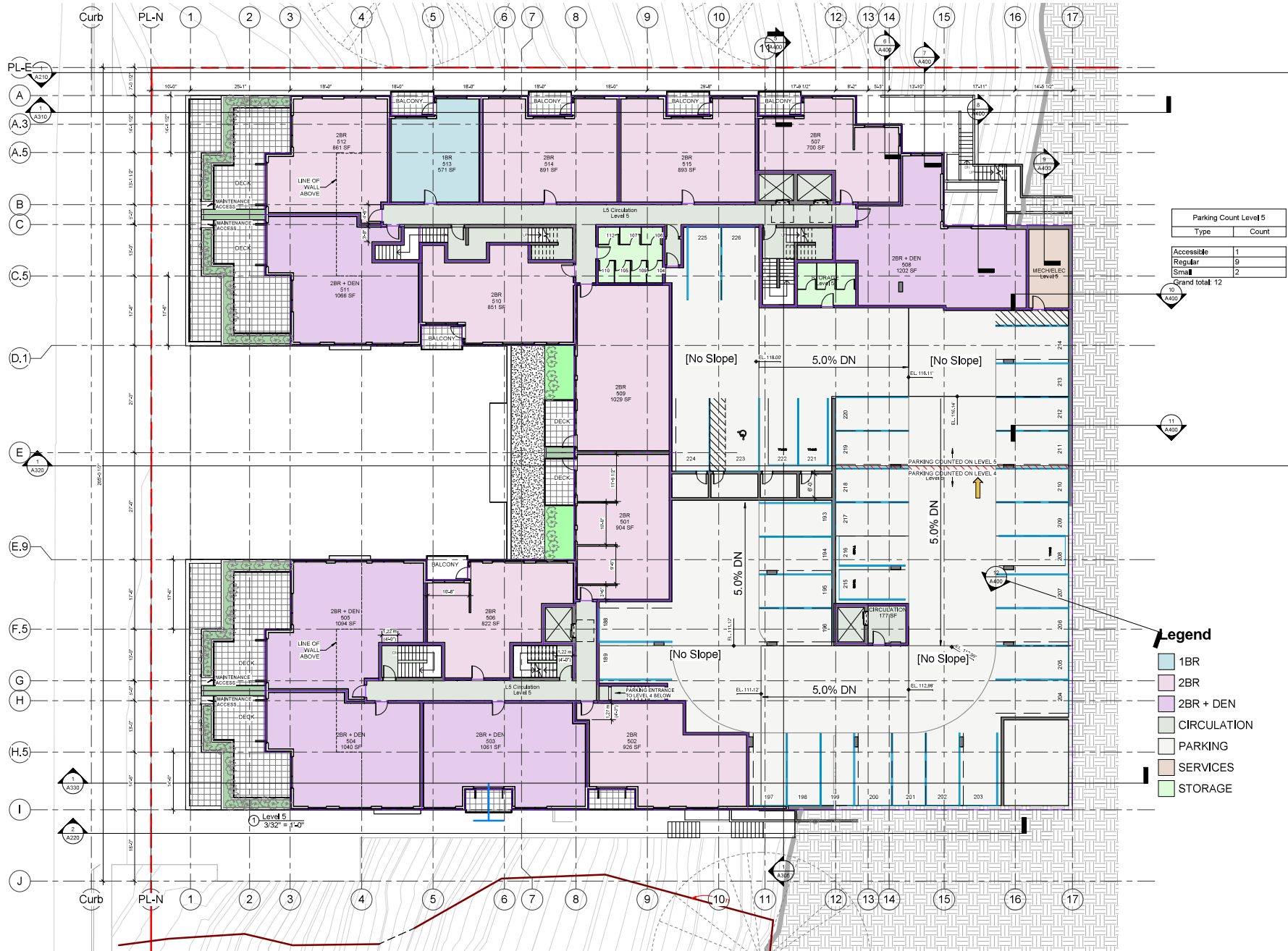
D:\001 REVIT LOCAL FILES\1736_01_MAIN_R19_CF_SD_The Terraces - Option 2 DAVEN.M

Plot Date: 2020-01-08 11:58:53 AM

Scale: $3/32" = 1'-0"$ DWG. NO: **A125**

Legend

- 1BR
- 1BR + DEN
- 2BR
- 2BR + DEN
- CIRCULATION
- PARKING
- STORAGE
- STUDIO



ARCHITECTS

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Email: office@ankmanmarchand.com

Project: 1112
Henry Street
3000 Henry Street • Port Moody

Drawing:
LEVEL 5 AREA PLAN

Project Status:
REZONING

No.	Date	Description
1	2020-01-08	Released for Rezoning

Scale: 3/32" = 1'-0"

DWG. NO: **A130**



Legend

- 1BR
- 1BR + DEN
- 2BR
- 2BR + DEN
- 3BR
- CIRCULATION
- SERVICES

ARCHITECTS

1645 West 5th Avenue
Vancouver, BC V6J 1N5

Tel: (604) 872-2595 Fax: (604) 872-2905
Email: office@amarchand.com

ANKENMAN MARCHAND

Project:

1112

Henry Street
3000 Henry Street - Port Moody

Drawing:
LEVEL 6 AREA PLAN

Project Status:
REZONING

Submission	Description
Date	(1/1/2020)
2020-01-08	Released for Rezoning

REVISION

No. Date Description

References in this set to be read in conjunction with each other. Any errors or discrepancies in the drawings to this set shall be the responsibility of the architect. Corrections are required to be made by the architect. All work is subject to the final review of the relevant authority. All rights reserved.

Scale: 3/32" = 1'-0"
DWG. NO.: A135



D:\001 REVIT LOCAL FILES\1736_01_MAIN_R19_CF_SD_The Terraces - Option_2_DAVEN.MV

Plot Date: 2020-01-08 11:59:09 AM



Legend

- 1BR
- 1BR + DEN
- 2BR
- 2BR + DEN
- 3BR
- 3BR + DEN
- CIRCULATION
- SERVICES

ARCHITECTS

1645 West 5th Avenue
Vancouver BC V6J 1N5

Tel: (604) 872-2696 Fax: (604) 872-2905
Email: office@amarchand.com

ANKENMAN MARCHAND



Project:

1112

Henry Street
3000 Henry Street • Port Moody

Drawing:
LEVEL 8 AREA PLAN

Project Status:
REZONING

SUBMISSION

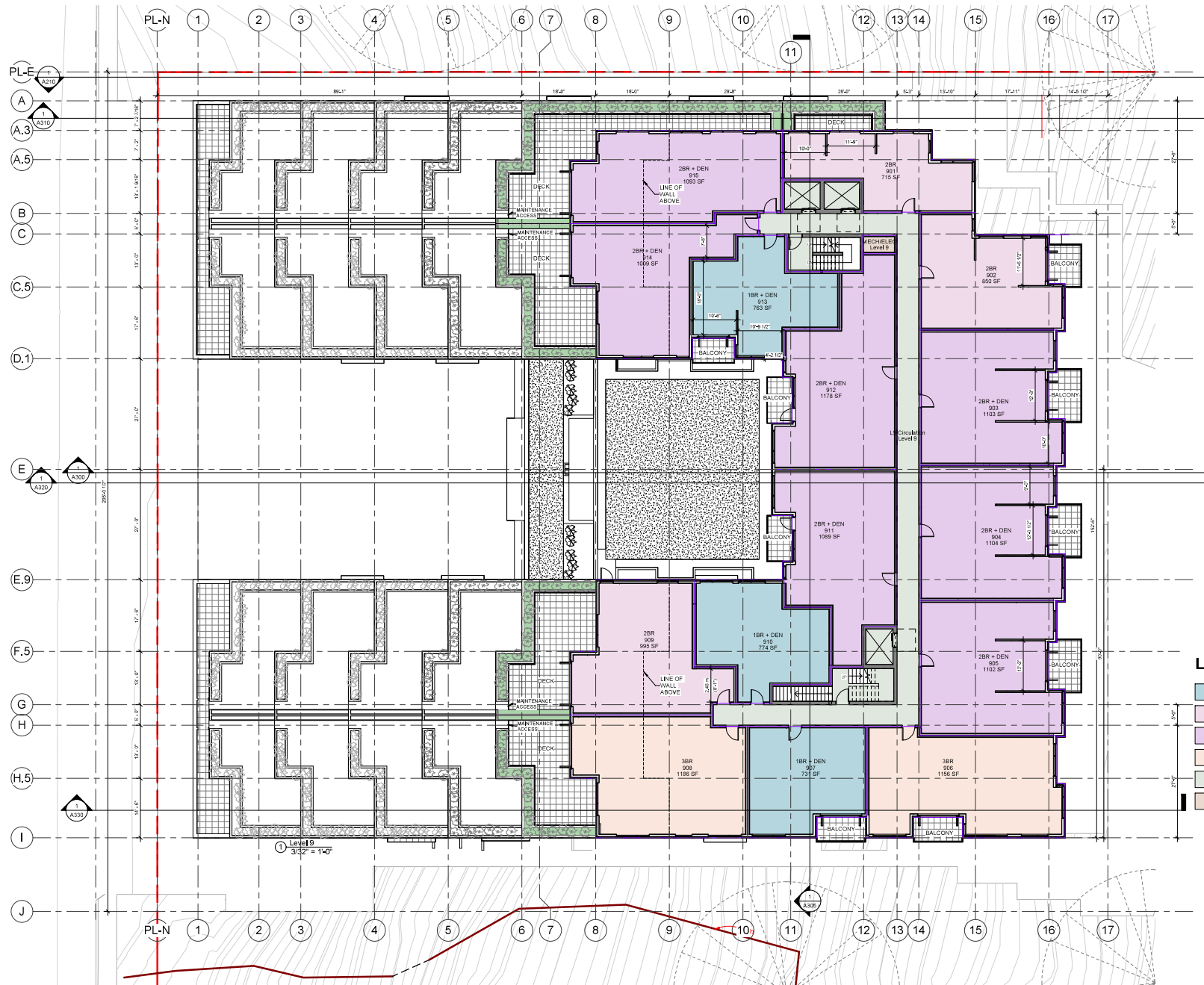
Date	Description
2020-01-08	PRELIMINARY FOR REZONING

Scale:

3/32" = 1'-0"

DWG. NO.:

A145



ARCHITECTS

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Vancouver, BC V6J 1N5

Tel: (604) 872-2596 Fax: (604) 872-2905
Email: office@amarchand.com



Project:
1112

Henry Street
3000 Henry Street • Port Moody

Drawing:
LEVEL 9 AREA PLAN

Project Status:
REZONING

SUBMISSION
Date Description
(1/1/2020)
2020-01-08 Released for Rezoning

REVISION
No. Date Description

All references in this set to the project in conjunction with each other, for errors or discrepancies in the drawings to the extent of the project, shall be corrected by the Architect or the Engineer or the Designer, as applicable, to the satisfaction of the relevant authority.

Scale: 3/32" = 1'-0"
DWG. NO.: **A150**



Legend

- 1BR + DEN
- 2BR
- 2BR + DEN
- 3BR
- 3BR + DEN
- CIRCULATION
- SERVICES

ARCHITECTS

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Email: office@amarchand.com

ANKENMAN MARCHAND



Project:

1112

Henry Street
3000 Henry Street • Port Moody

Drawing:
LEVEL 10 AREA PLAN

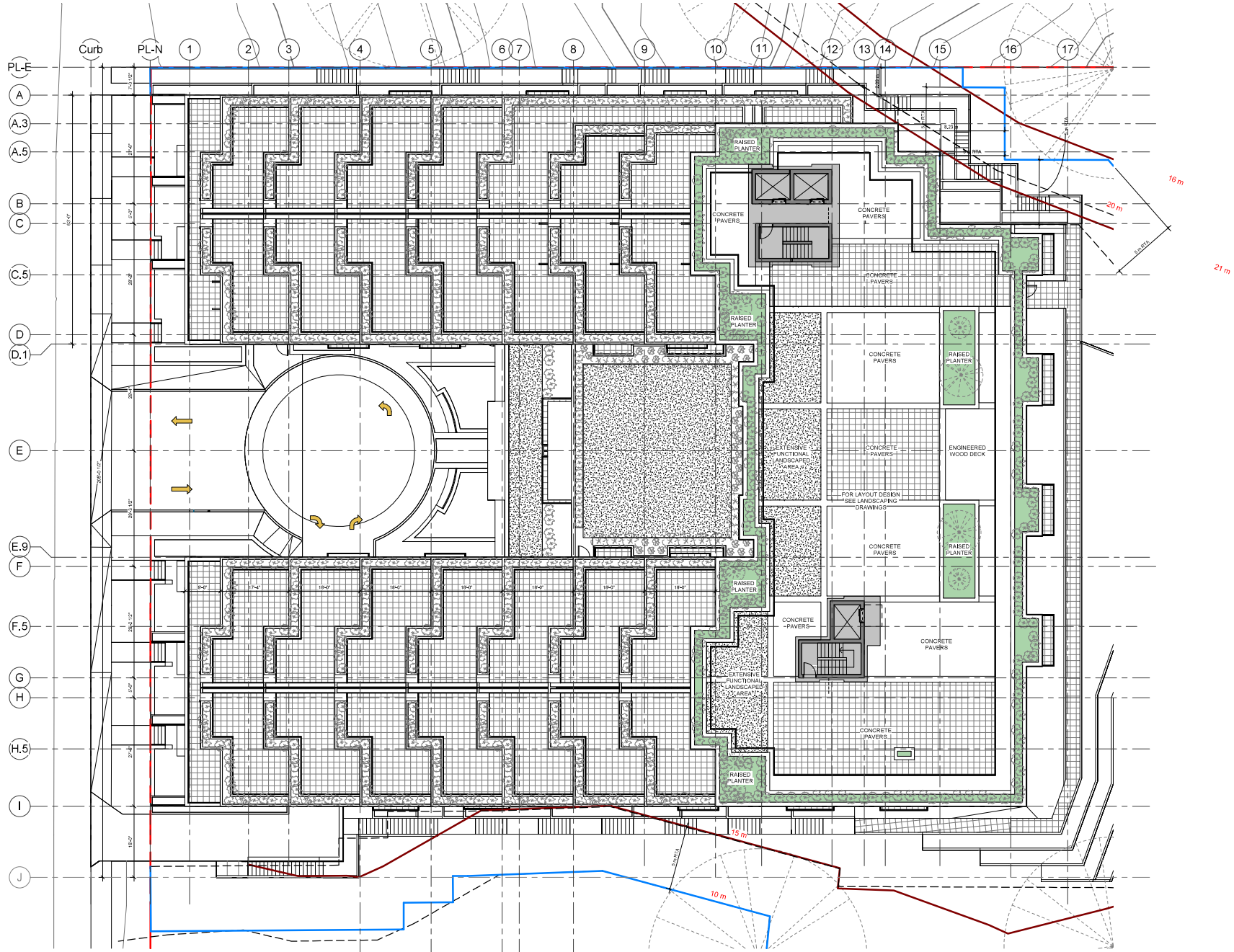
Project Status:
REZONING

SUBMISSION	
Date	Description
(11/1/2020)	
2020-01-08	Released for Rezoning

REVISION		
No.	Date	Description

All drawings in this set to be read in conjunction with each other. No errors or discrepancies to be made to this set. All drawings are subject to the requirements of the applicable building codes and regulations. All drawings are subject to the requirements of the applicable building codes and regulations. All drawings are subject to the requirements of the applicable building codes and regulations.

Scale: 3/32" = 1'-0"
DWG. NO: **A155**



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Email: office@AMArchitects.com



Project:

1112

Henry Street

3000 Henry Street • Port Moody

Drawing:

ROOF PLAN

Project Status:

REZONING

SUBMISSION

Date	Description
(11/1/2019)	
2020-01-08	Released for Rezoning

Scale:

3/32" = 1'-0"

DWG. NO:

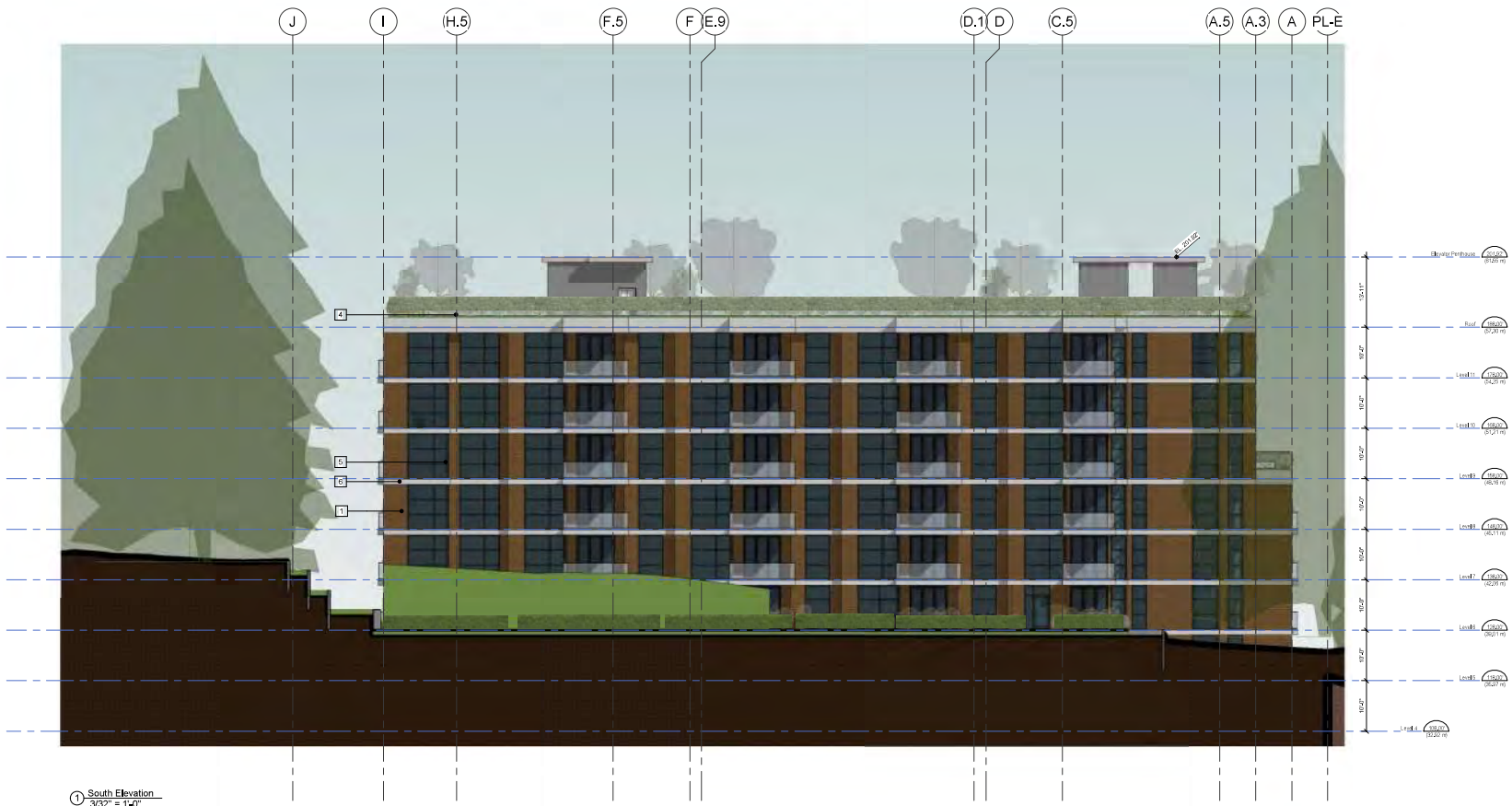
A165

Architects
1645 West 5th Avenue
Vancouver, BC V6J 1N5
Tel: (604) 872-2595 ext. (604) 872-2905
Email: office@AMArchitects.com
Project: 1112
Henry Street
3000 Henry Street • Port Moody
Drawing: ROOF PLAN
Project Status: REZONING
SUBMISSION
Date Description
(11/1/2019)
2020-01-08 Released for Rezoning
Revision
No. Date Description
Architects
ANKENMAN MARCHAND
1645 West 5th Avenue
Vancouver, BC V6J 1N5
Tel: (604) 872-2595 ext. (604) 872-2905
Email: office@AMArchitects.com
Project: 1112
Henry Street
3000 Henry Street • Port Moody
Drawing: ROOF PLAN
Project Status: REZONING
SUBMISSION
Date Description
(11/1/2019)
2020-01-08 Released for Rezoning
Revision
No. Date Description
Scale: 3/32" = 1'-0"
DWG. NO: A165

Tel: (604) 872-2595 Fax: (604) 872-2505
Email: office@AMArchitects.com

Scale: As indicated

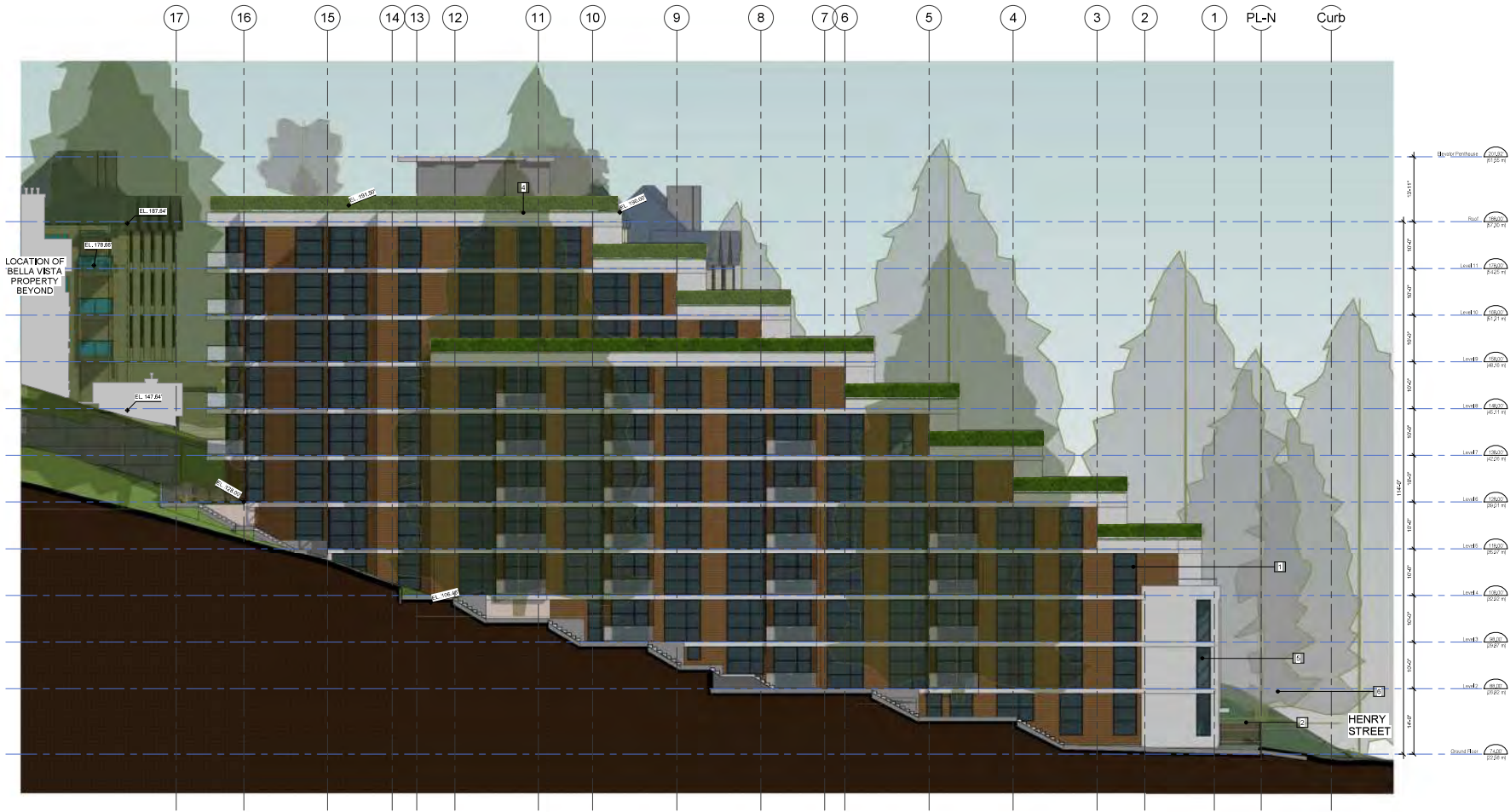
DWG. NO: A205



1	Metal Panel Cladding - 6" Wood Grain Finish	2	Aluminum Frame and Wood Slat Railing / Privacy Screen Frame Colour: Charcoal Slat: Aluminum Louver with Wood Finish	3	Aluminum Frame Folding Window/Wall System Frame Colour: Charcoal	4	Aluminum Frame and Glass Railing System Frame Colour: Charcoal	5	Aluminum Frame Windows Frame Colour: Charcoal	6	Aluminum Fin - 2"x 8" Horizontal Spandrel Panels Colour: Stone Gray	7	Glass Columns
													

D:\001-REVIT-LOCAL-FILES\1738_01_MAIN_F19_OF_SD_The Terraces - Option 2_DAVENY.rvt

Plot Date: 2020-01-08 12:00:16 PM



1 East Elevation
3/32" = 1'-0"

1	Metal Panel Cladding - 6" Wood Grain Finish	2	Aluminum Frame and Wood Slat Railing / Privacy Screen Frame Colour: Charcoal Slat: Aluminum Louver with Wood Finish	3	Aluminum Frame Folding Window Wall System Frame Colour: Charcoal	4	Aluminum Frame and Glass Railing System Frame Colour: Charcoal	5	Aluminum Frame Windows Frame Colour: Charcoal	6	Aluminum Fin - 2"x 8" Horizontal Spandrel Panels Colour: Stone Gray	7	Glass Columns
													

ARCHITECTS

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Email: office@amarchitects.com

ANKENMAN MARCHAND

Project:
1112
Henry Street
3000 Henry Street - Port Moody
Drawing:
EAST ELEVATION

Project Status:
REZONING

SUBMISSION
Date (YYYY-MM-DD) Description

REVISION
No. Date Description

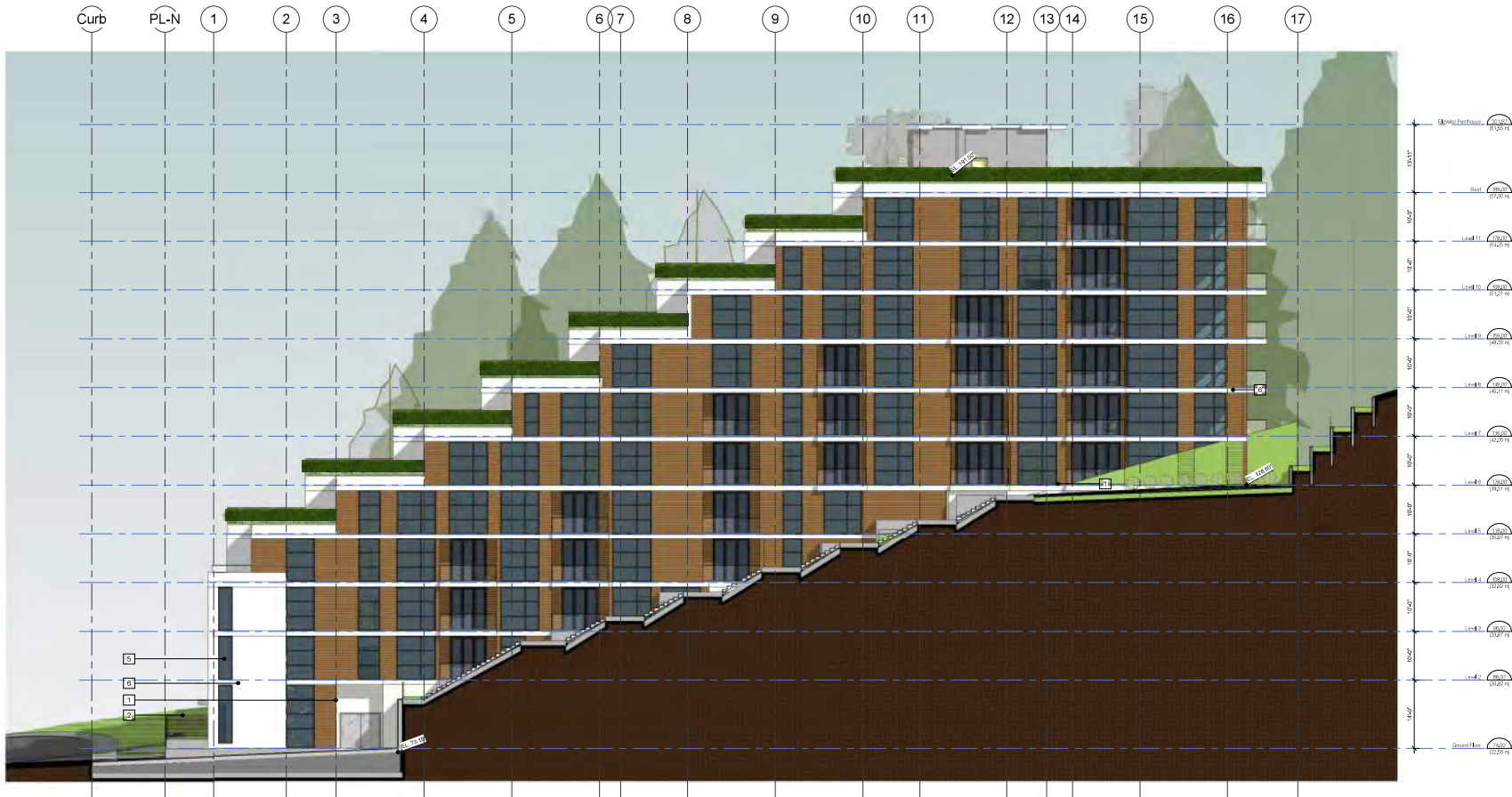
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Scale:
As indicated

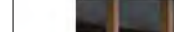
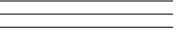
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A210

D:\001-REVIT-LOCAL-FILES\1738_01_MAIN_F19_OF_SD_The Terraces - Option 2_DAVENY.rvt

Plot Date: 2020-01-08 12:00:28 PM



② West Elevation
3/32" = 1'-0"

1	Metal Panel Cladding - 6" Wood Grain Finish	2	Aluminum Frame and Wood Slat Railing / Privacy Screen Frame Colour: Charcoal Slat: Aluminum Louver with Wood Finish	3	Aluminum Frame Folding Window Wall System Frame Colour: Charcoal	4	Aluminum Frame and Glass Railing System Frame Colour: Charcoal	5	Aluminum Frame Windows Frame Colour: Charcoal	6	Aluminum Fin - 2"x 8" Horizontal Spandrel Panels Colour: Stone Gray	7	Glulam Columns
													

ARCHITECTS

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ANKENMAN MARCHAND

Project:

1112

Henry Street

3000 Henry Street • Port Moody

Drawing:

WEST ELEVATION

Project Status:

REZONING

SUBMISSION

Date Description

(1/11/2020)

REVISION

No. Date Description

References in this set to the need in conjunction with each other, for any or discrepancies in the drawings to the extent that the drawings are intended to be used for construction are intended to be used for construction. All rights reserved.

Scale:

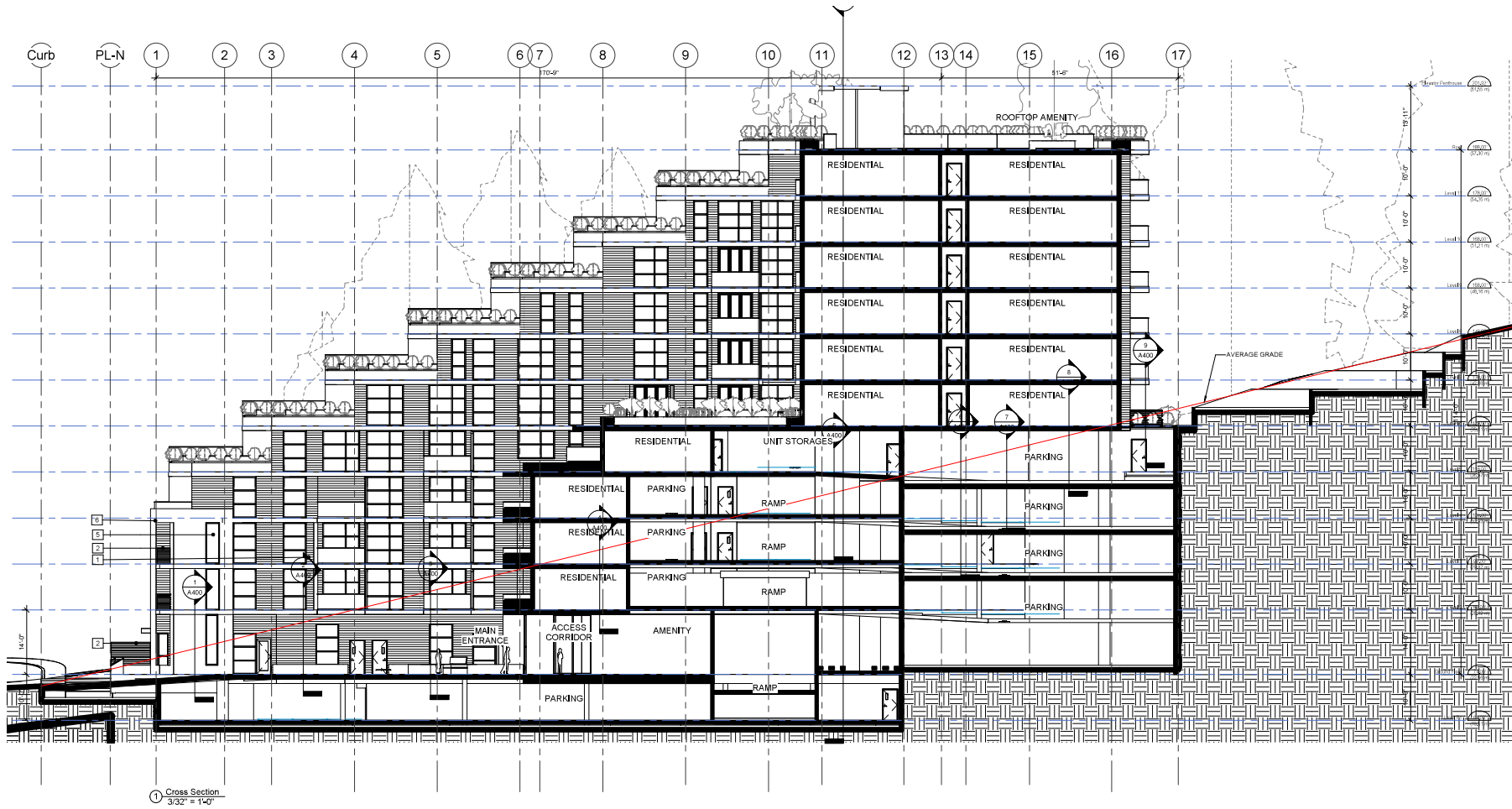
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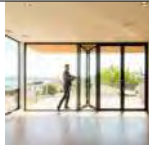
A220

D:\001-REVIT-LOCAL-FILES\1738_01_MAIN_F19_OF_SD_The Terraces - Option 2_DVENY.rvt

Plot Date: 2020-01-08 12:00:32 PM



① Cross Section
3/32" = 1'-0"

1	Metal Panel Cladding - 6" Wood Grain Finish	2	Aluminum Frame and Wood Slat Railing / Privacy Screen Frame Colour: Charcoal Slat: Aluminum Louver with Wood Finish	3	Aluminum Frame Folding Window Wall System Frame Colour: Charcoal	4	Aluminum Frame and Glass Railing System Frame Colour: Charcoal	5	Aluminum Frame Windows Frame Colour: Charcoal	6	Aluminum Fin - 2"x 8" Horizontal Spandrel Panels Colour: Stone Gray
											

ARCHITECTS

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Vancouver, BC V6J 1N5

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Email: office@amarchand.com

Project:
1112

Henry Street
3000 Henry Street - Port Moody

Drawing:
COURTYARD SECTION

Project Status:
REZONING

SUBMISSION
Date Description
(1/11/2020)

REVISION
No. Date Description

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Scale: 3/32" = 1'-0"
DWG. NO.: A300

Tel: (604) 872-2595 Fax: (604) 872-2503
Email: office@AMArchitects.com

Henry Street
3000 Henry Street • Port Moody

Drawing:
PARKING RAMP SECTION

Project Status:
REZONING

SUBMISSION

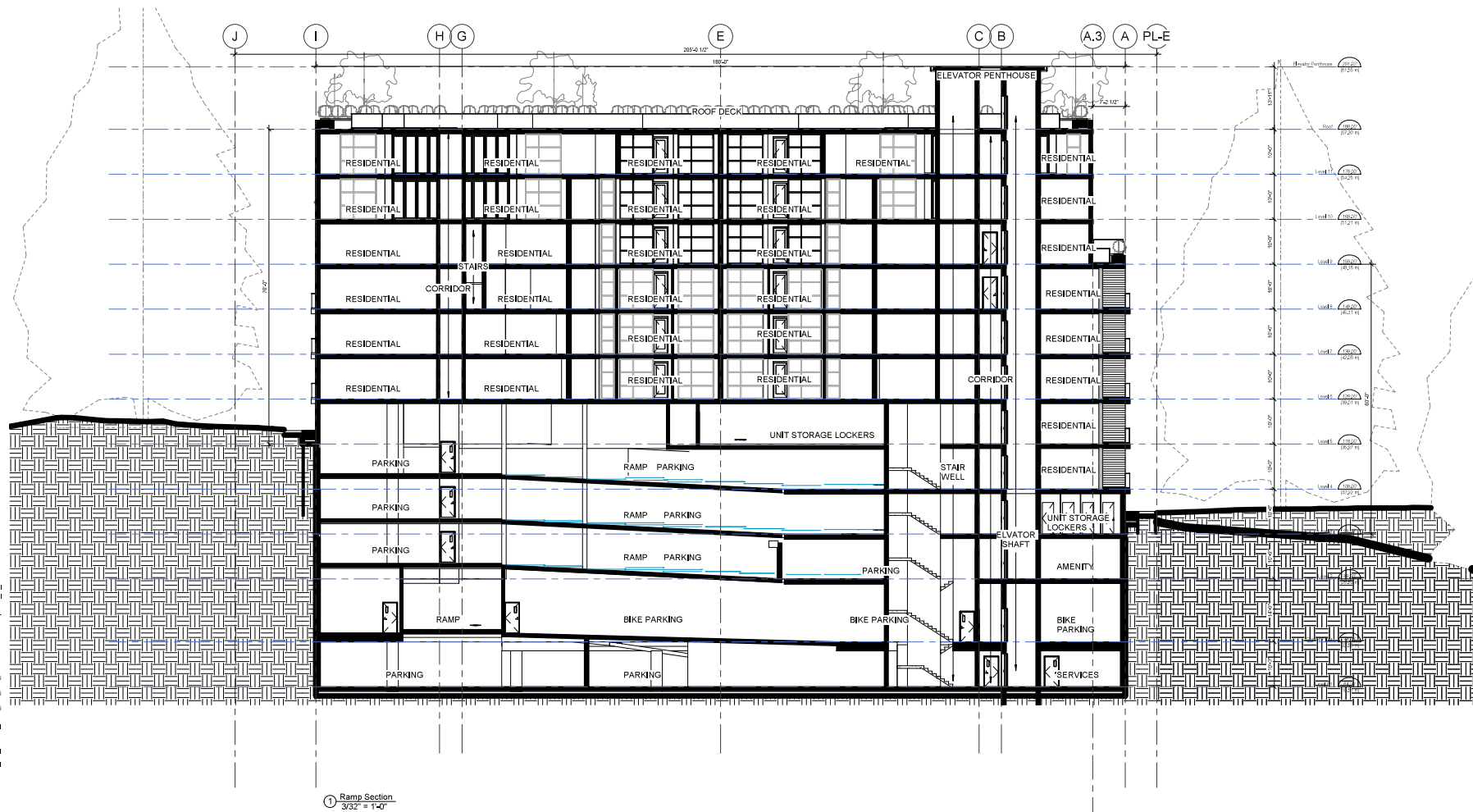
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REVISION

[illegible]

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Scale: $3/32" = 1'-0"$ DWG. NO: **A305**



① Ramp Section
 $\frac{3}{32}'' = 1'-0''$

1	Metal Panel Cladding - 6" Wood Grain Finish 	2	Aluminum Frame and Wood Slat Railing / Privacy Screen Frame Colour: Charcoal Slat: Aluminum Louver with Wood Finish 	3	Aluminum Frame Folding Window/Rolling System Frame Colour: Charcoal 	4	Aluminum Frame and Glass Railing System Frame Colour: Charcoal 	5	Aluminum Frame Windows Frame Colour: Charcoal 	6	Aluminum Fin - 2"x 8" Horizontal Spandrel Panels Colour: Stone Gray 
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Tel: (604) 872-2595 Fax: (604) 872-2505
Email: office@AMArchitects.com

Project Status:
REZONING

[illegible]

Scale: As indicated	DWG. NO: A501
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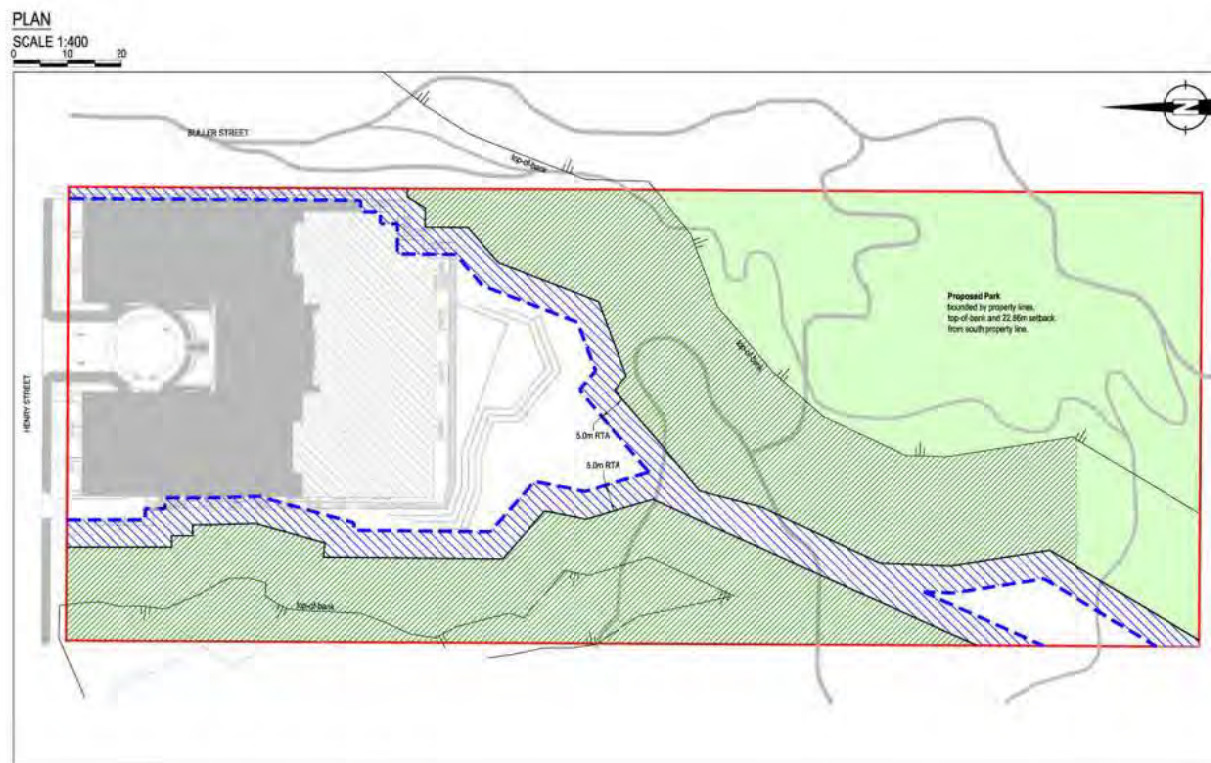
Project Status:
REZONING

Date	Description
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REVISION		
No.	Date	Description

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Scale:	20000:1	DWG. NO:	A500
	20000:1		



LEGEND

- Proposed Setback
- 5m RTA Setback
- Proposed Covenant Area (5706m²)
- RPEA Dedication (1871m²)
- Proposed Park (4672m²)

1. Drawing No. A100, "Site Plan (Full)". May 07, 2019. Ankenman Marchand Architects.
2. 2005 Legal Base From City of Port Moody.

3000 BLOCK HENRY STREET
Port Moody, BC



CONSERVATION AREA

DESIGN: LB	DRAWN: RK	CHECKED: ???	REVISION: 00	REVISION DATE:
SCALE: As Shown			DRAWING NUMBER:	
DATE: January 07, 2020			2615-01-03	

Environmental Plan - Habitat Balance

**MIKE FADUM AND
ASSOCIATES LTD.
VEGETATION
CONSULTANTS**

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A8
Ph: (778) 593-0300
Fax (778) 593-0302
Email: mfdum@fadam.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION
AND PROTECTION PLAN

3000 BLOCK
HENRY STREET
PORT MOODY, B.C.

REVISIONS:

NO.	DATE	BY	REASON
1	SEPT 24/11	AK	UPDATED B/L V/C
2	SEPT 26/11	AK	SITE PLAN
3	SEPT 27/11	AK	SITE PLAN
4	NOV 28/11	S	SET BACKS
5	NOV 29/11	AK	SITE PLAN

NOTE: FOR LARGER TREES REMOVED INSIDE SPECIALLY DESIGNATED WILDLIFE AREAS, CONSIDER CUTTING TO WILDLIFE TREES.

NOTE: FINAL RECOMMENDATIONS FOR TREES IN SPECIALLY DESIGNATED WILDLIFE AREAS SHOULD BE MADE BY PORTLAND'S PARKS AND RECREATION DEPARTMENT.

NOTE: REASSESS ALL TREES WITH FINAL CONSTRUCTION PLANS.

NOTE: CONDUCT TREE RISK ASSESSMENT ON ALL EDGE TREES AND MITIGATING WORK TO REDUCE RISK AS NECESSARY.

SHEET TITLE

T1 - TREE REMOVAL AND PRESERVATION PLAN

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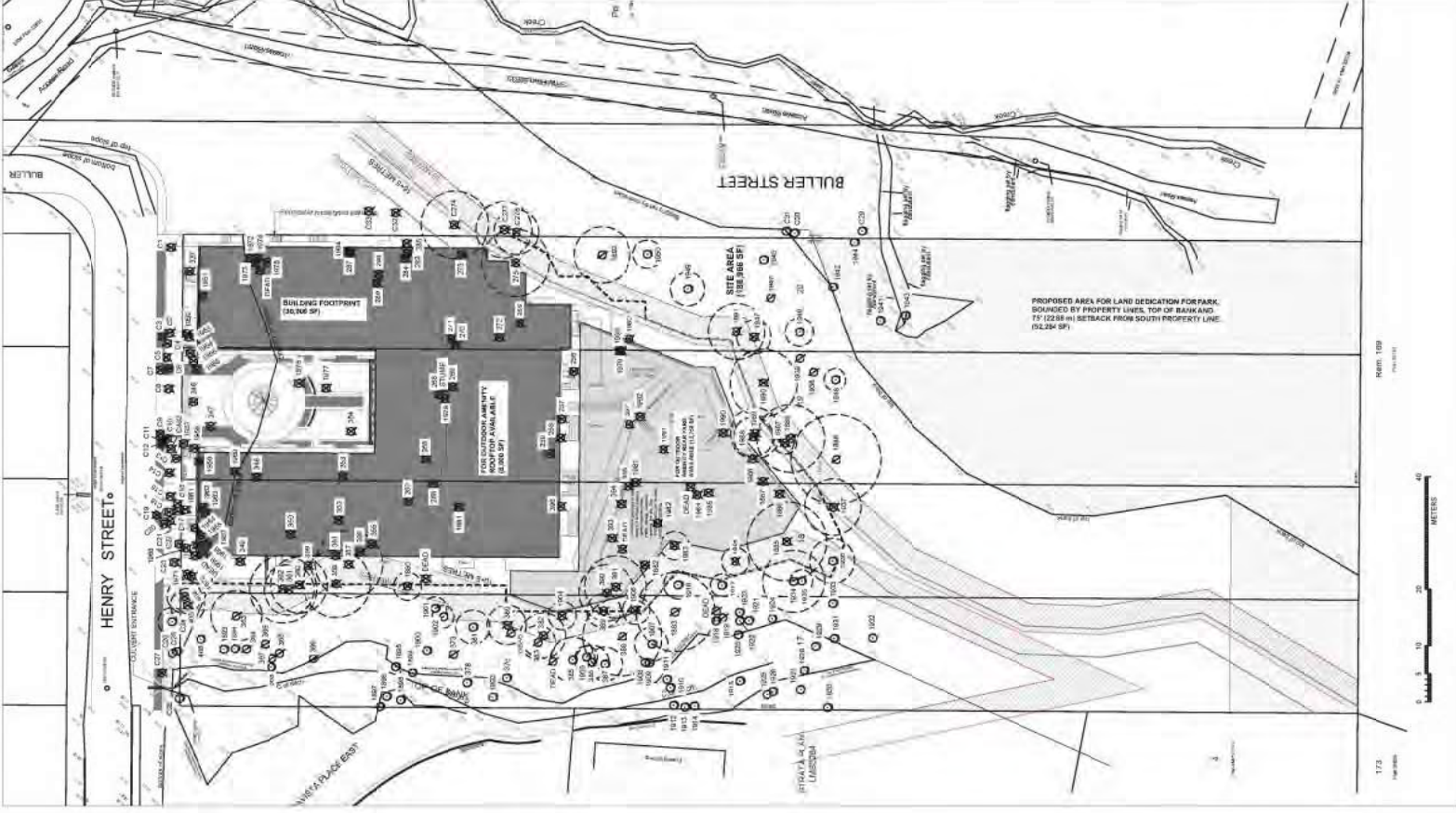
DRAWN

SCALE
AS SHOWN

DATE JUNE 27, 2018

11

SHEET 1 OF 2



LEGEND

TREE TO BE RETAINED

TREE TO BE REMOVED
TREE TO BE MODIFIED FOR
HAZARD ABATEMENT

TREE STUMP

MINIMUM NO

MODIFIED TO INCLUDE: WILD LIFE TREE (CUT TO A HEIGHT EQUIVALENT TO 1/2 - 2/3 DISTANCE OF BUILDING, CANOPY REDUCTION, STRUCTURAL PRUNING)

Scale:

DWG. NO:
A505

Project:
1112
-
Henry Street
3000 Henry Street - Port Moody
Drawing:
TREE REMOVAL

Project Status:
REZONING

SUBMISSION

REVISION

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#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6

Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

FILE NO.

PROJECT TITLE
TREE PRESERVATION
AND PROTECTION PLAN

3000 BLOCK
HENRY STREET
PORT MOODY, B.C.

REVISIONS:			REVISION
NO	DATE	TRY	UPDATED SURVEY
1	SEP2018	MA	SITE PLAN
2	SEP2018	MX	SITE PLAN
3	SEP2018	MS	SETBACKS
4	MAR2019	SL	SITE PLAN
5	ALLUPL	MX	

NOTE: FOR LARGER TREES REMOVED, INSIDE SPAN (AS SHOWN) CONSIDER CUTTING TO MULTIPLE TREES.

NOTE: FINAL RECOMMENDATIONS FOR TREES IN SPAN TO BE MADE BY PORT TACOMA'S PARKS AND RECREATION DEPARTMENT.

NOTE: REASSESS ALL TREES WITH FINAL CONSTRUCTION PLANS.

NOTE: EXISTING TREE RISK ASSESSMENT FOR ALL TREES IN SPAN TO BE CONDUCTED BY PORT TACOMA'S PARKS AND RECREATION DEPARTMENT.

NOTE: PROTECTION FENCING SHALL BE CONSTRUCTED TO MEET APPLICABLE STANDARDS.

REASSESS TREES WITH LOT GRADING PLANS.

SHEET TITLE
T2 - TREE PROTECTION AND PRESERVATION PLAN

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DRAWN MK

SCALE
AS SHOWN

DATE JUNE 27, 2018

T-2

SHEET 2 OF 2



PROPOSED AREA FOR LAND DEDICATION FOR PARK, BOUNDED BY PROPERTY LINES, TOP OF BANK AND 75' (22.86 m) SETBACK FROM SOUTH PROPERTY LINE (52,284 SF).

Page 160

UNIT 10

1000

LEGEND

MINIMIZING NO DISTURBANCE ZONE

MODIFIED TO INCLUDE: WILD LIFE TREE (CUT TO A HEIGHT EQUIVALENT TO 1/2 - 2/3 DISTANCE OF BUILDING CANOPY REDUCTION, STRUCTURAL PRUNING)

FOR

AGING

Project
1112

Henry Street
3000 Henry Street • Port Moody

Drawing:
TREE REMOVAL

Project Status:
REZONING

SUBMISSION	
	Description

REVISION

No.	Date	Description
-----	------	-------------

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Scale:

DWG. NO:

A510