

NORTH BUILDINGSOUTH BUILDING

TO CONTINUE AT LEVEL 4 (176)

CONTINUED FROM LEVEL 3 (166')

S
O
U
T
H

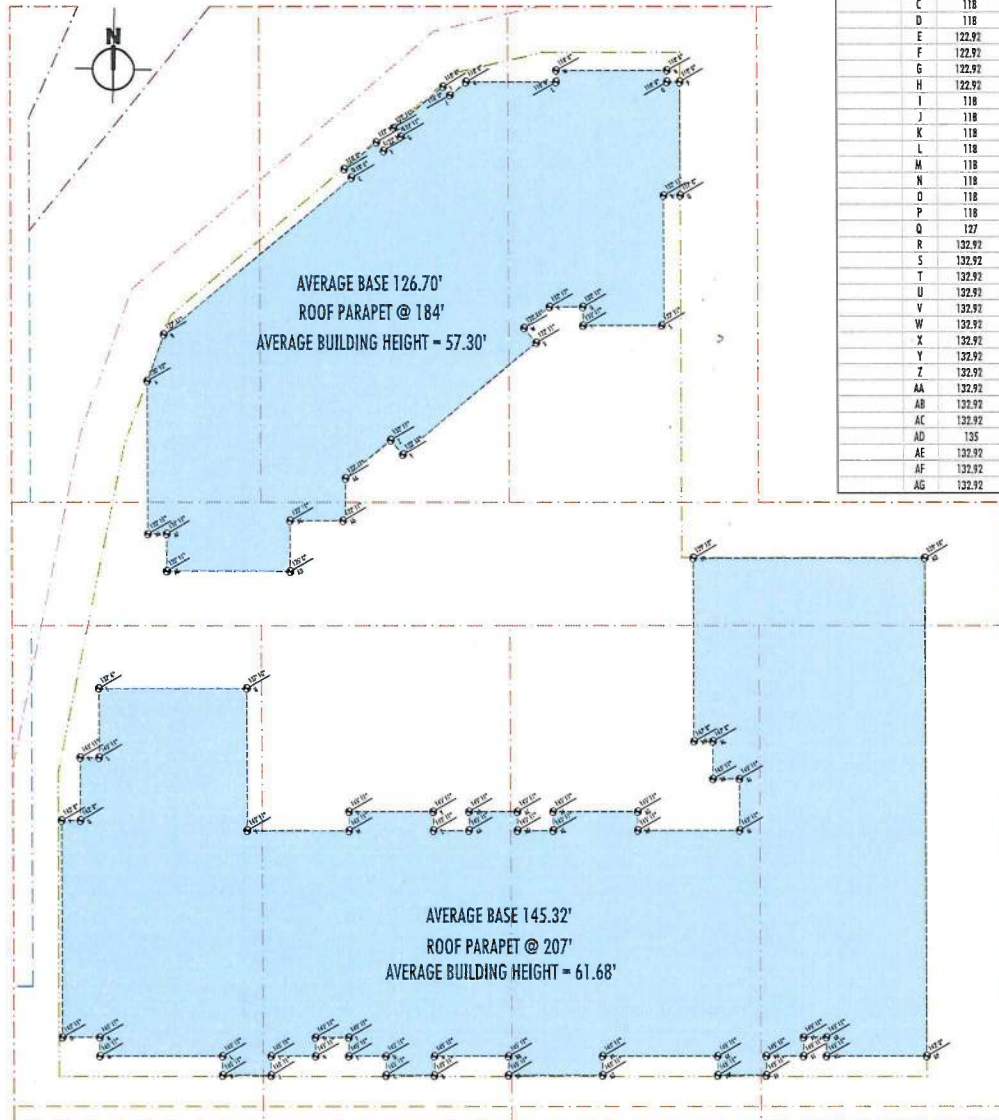
B
U
I
L
D
I
N
G

The structure is meaningful for modifying all patterns and dimensions, any measurements are reported in the notebook before the removal of each.

Architect's seal:

**BOLD
PROPERTIES**

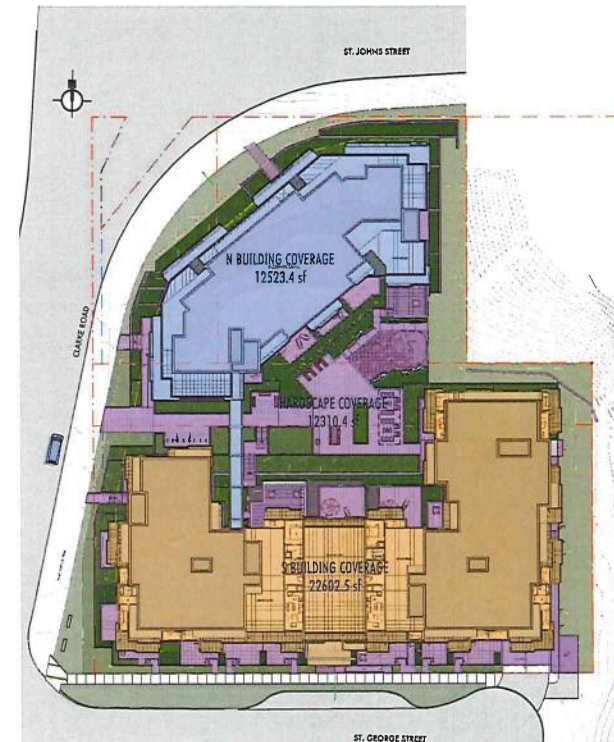
PARAMOUNT Clerk, 1000 N. Sixth Street Detroit, Michigan 48201		Date: 10/18/84 Time: 10:10 A.M. Project Number: 1118
Drawing Number: A-0.2		Project Title: Drawing Title:



1 AVERAGE BUILDING HEIGHT
 Scale: 1/16" = 1'-0"

BASE POINT (FT)		BASE POINT (FT)	
AVERAGE BASE	126.70	AVERAGE BASE	145.32
ROOF PARAPET @	184.00	ROOF PARAPET @	207.00
AVERAGE N BLDG HEIGHT	57.30	AVERAGE S BLDG HEIGHT	61.68
A	130.81	A	145.92
B	122.92	B	145.92
C	118	C	145.92
D	118	D	145.92
E	122.92	E	145.92
F	122.92	F	145.92
G	122.92	G	145.92
H	122.92	H	145.92
I	118	I	145.92
J	118	J	145.92
K	118	K	145.92
L	118	L	145.92
M	118	M	145.92
N	118	N	145.92
O	118	O	145.92
P	118	P	143.67
Q	127	Q	143.67
R	132.92	R	145.92
S	132.92	S	145.92
T	132.92	T	137.5
U	132.92	U	137.43
V	132.92	V	145.92
W	132.92	W	145.92
X	132.92	X	145.92
Y	132.92	Y	145.92
Z	132.92	Z	145.92
AA	132.92	AA	145.92
AB	132.92	AB	145.92
AC	132.92	AC	145.92
AD	135	AD	145.92
AE	132.92	AE	145.92
AF	132.92	AF	145.92
AG	132.92	AG	145.92
		AJ	145.92
		AK	145.92
		AL	147.67
		AM	147.67
		AN	139.83
		AO	139.83
		AP	143
		AQ	145.92
		AR	145.92
		AS	145.92
		AT	145.92
		AU	145.92
		AV	145.92
		AW	145.92
		AX	145.92
		AY	145.92
		AZ	145.92
		BA	145.92
		BB	145.92

		COVERAGE AREA	
NORTH BUILDING			12523.4
SOUTH BUILDING			35125.9
TOTAL			47649.3
SITE COVERAGE		56.5%	26922.4
HARDSCAPE			12210.4
SITE COVERAGE INCLUDING HARDSCAPE		76.3%	

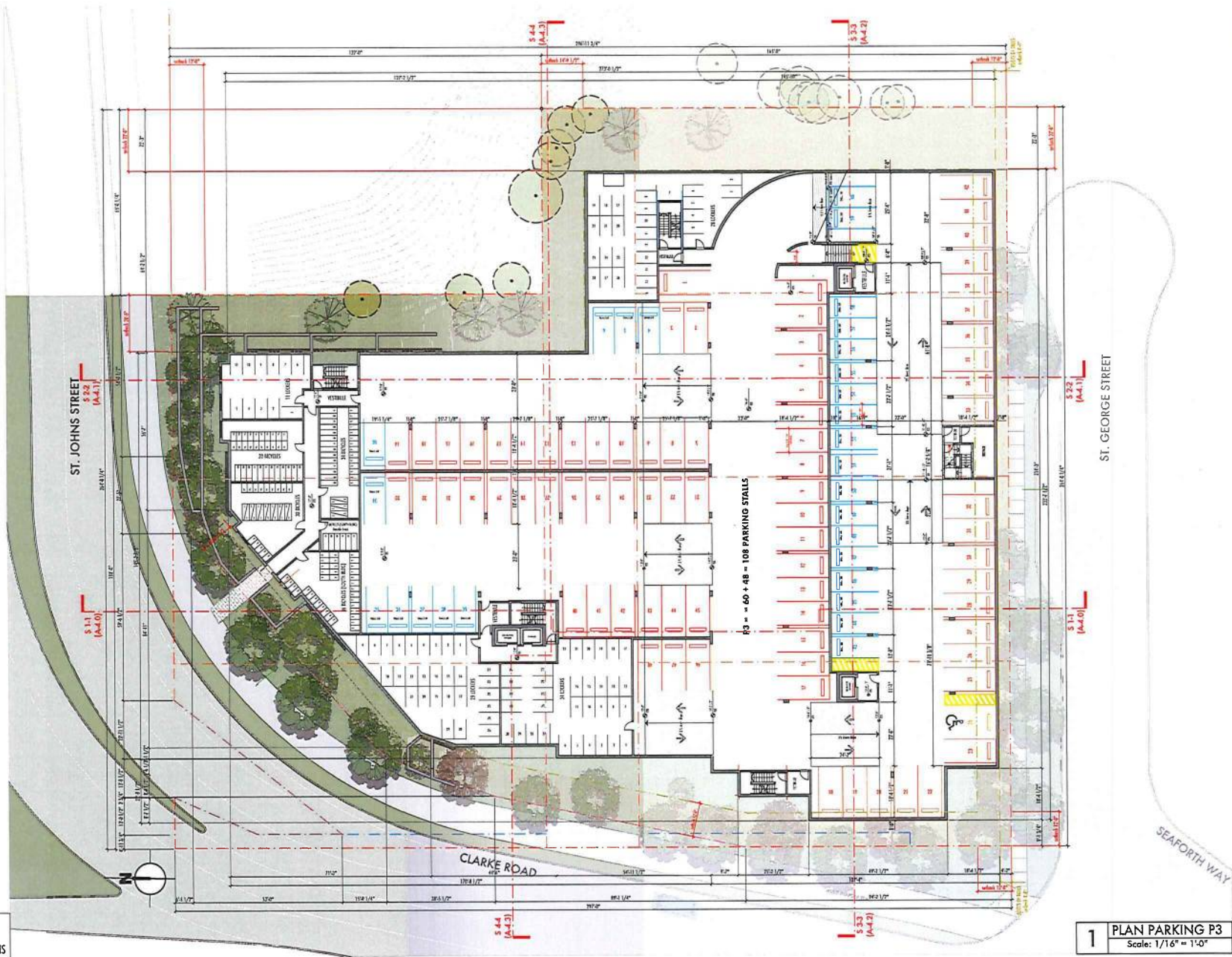


2 AREA COVERAGE
 Scale: 1/32" = 1'-0"

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 Dimensions are to be verified by the contractor before construction.
 It is recommended that the contractor verify all dimensions and elevations before construction.

Architect's seal:

BOLD PROPERTIES



GATEWAY
ARCHITECTURE
INCORPORATED

Michael Cox, Architect AIA

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New Westminster, BC V3L 2C1
Tel: (604) 688-1868

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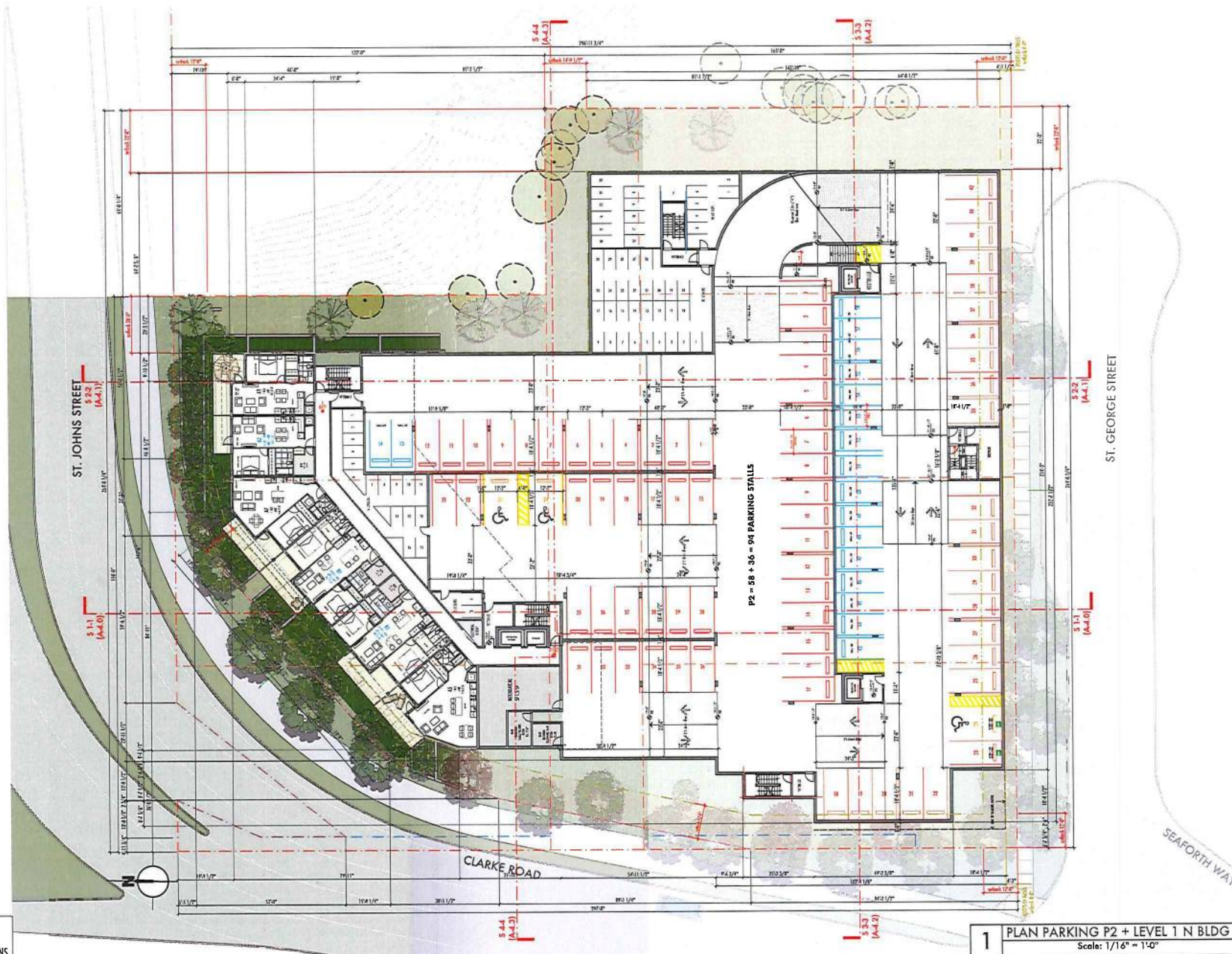
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BOLD PROPERTIES

PARAMOUNT	
Clark Road @ St. Johns Street	
City of Fort Moody	
Project Title: Drawing Title:	PLAN PARKING P3
Rev:	1. 1/10/18 Pro-Applicant Review
2. 01/11/18 Permitting - Development Application Submitter	
3. 03/03/18 Community Information Meeting	
4. 03/03/18 Community Planning Advisory Committee Meeting	
Rev:	010
Rev:	2018 03 31
Rev:	039
Rev:	45 50000
Drawing Number:	
A - 2.0	

1 PLAN PARKING P3
Scale: 1/16" = 1'-0"



ALL RESIDENTIAL PARKING STALLS
ARE PROVIDED WITH CONNECTIONS
TO ELECTRIC VEHICLE CHARGING STATIONS

1 PLAN PARKING P2 + LEVEL 1 N BLDG
Scale: 1/16" = 1'-0"

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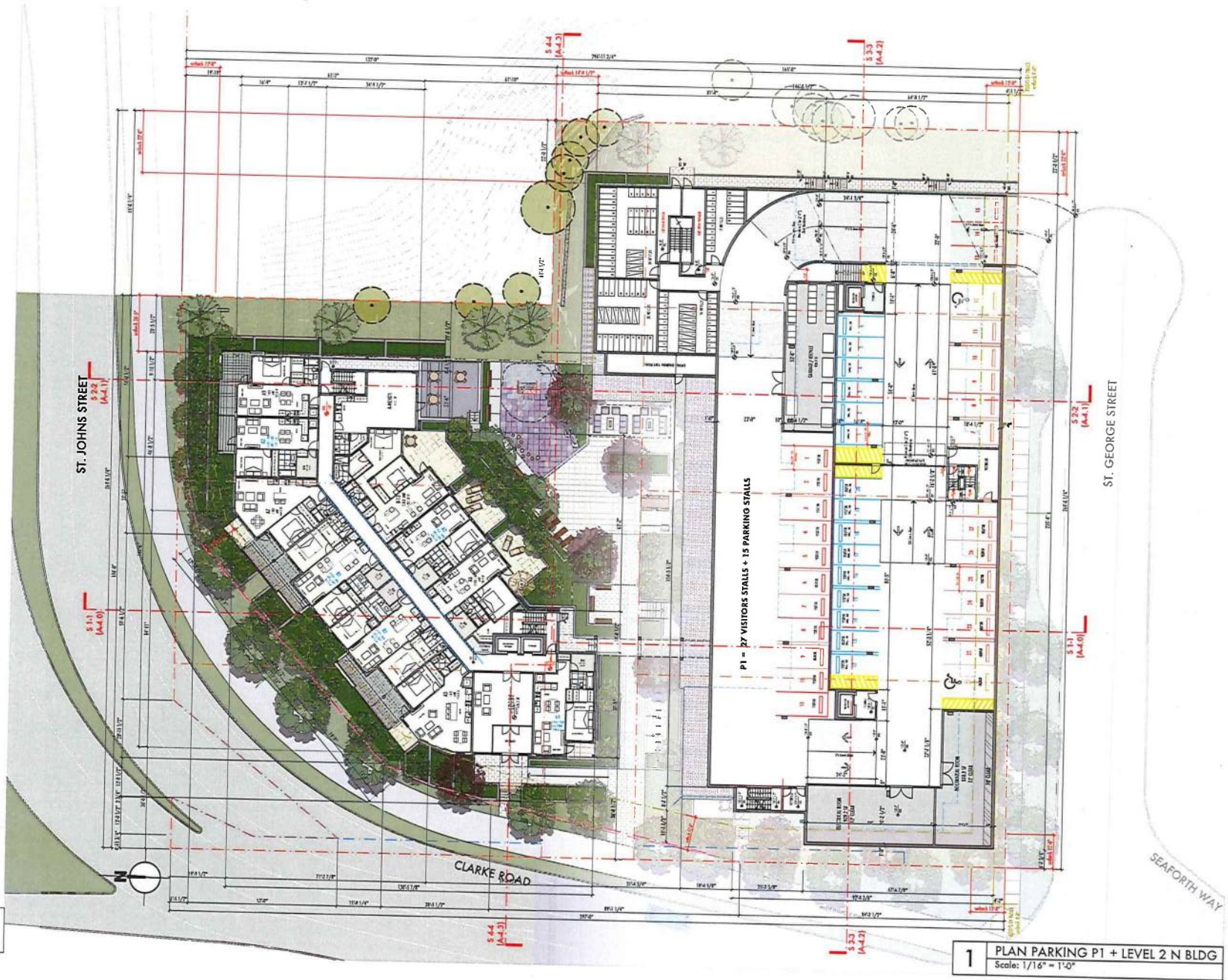
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PARAMOUNT Clark Road @ St. Johns Street City of Port Moody		Project Title: Drawing Title:	
Drawn by: 818	Checked by: 818	Project Number: 818	Scale: AS SHOWN
PLAN PARKING P2 LEVEL 1 N BLDG			
Project Information: 1. 101018 Pre-Application Review 2. 101110 Rezoning - Development Application Schedule 3. 100500 Community Information Meeting 4. 100501 Community Library Library Location Meeting			
Drawing Number: A-2.1			

ALL RESIDENTIAL PARKING STALLS
ARE PROVIDED WITH CONNECTIONS
TO ELECTRIC VEHICLE CHARGING STATIONS



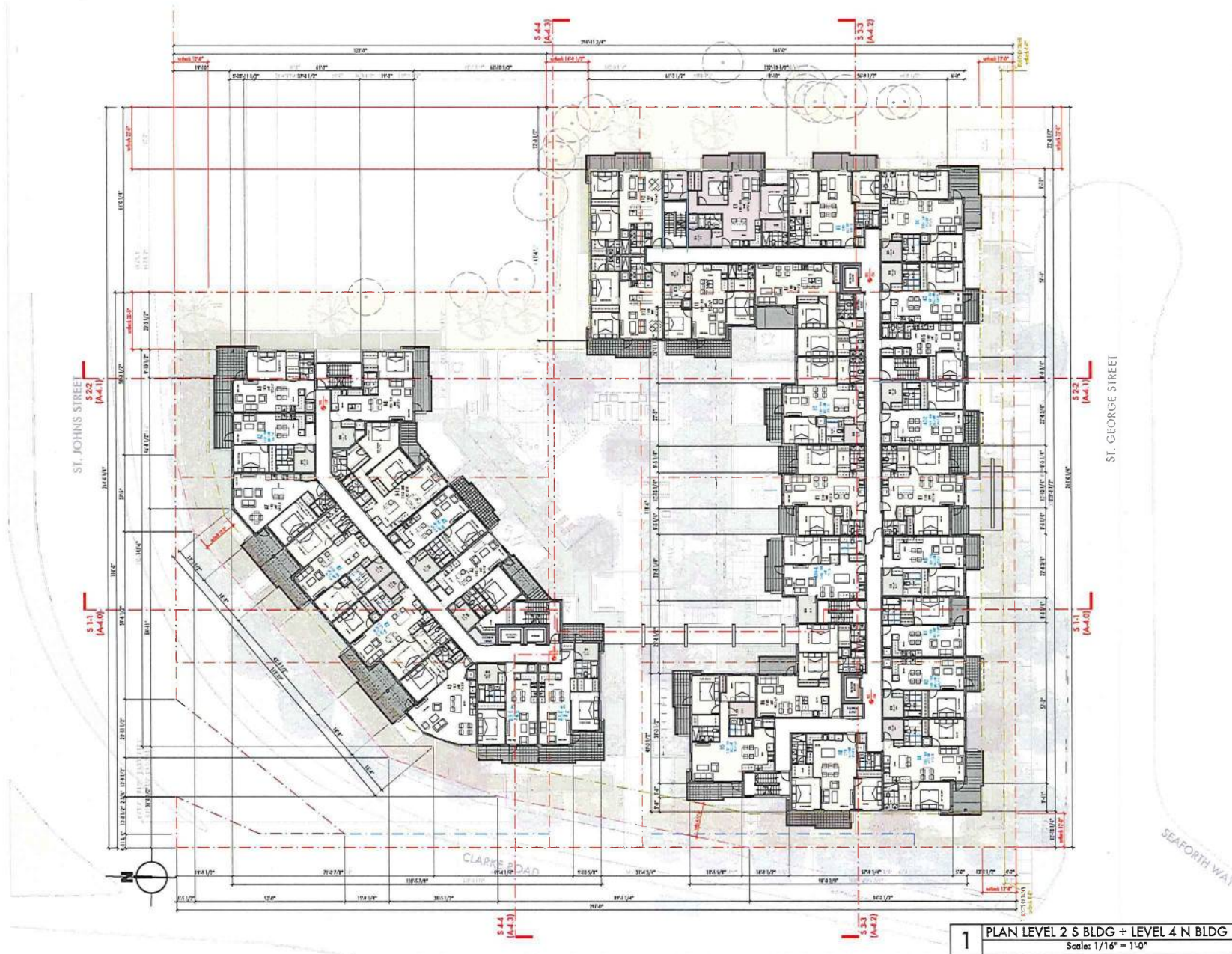
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PROPERTIES**

PROJECT PARAMOUNT Clarke Road @ St. Johns Street City of Port Moody	DESIGNED BY Michael Cox, Architect A.I.B.C.	
	DRAWN BY Michael Cox, Architect A.I.B.C.	
PROJECT TITLE Drawing title: PLAN PARKING P1 LEVEL 2 N BLDG	PROJECT NO. 1011 15 31	
	PROJECT NO. 1011 15 31	
DRAWING NO. A-2.2	DATE 2011 15 31	
	DATE 2011 15 31	



1 PLAN LEVEL 2 S BLDG + LEVEL 4 N BLDG
Scale: 1/16" = 1'-0"

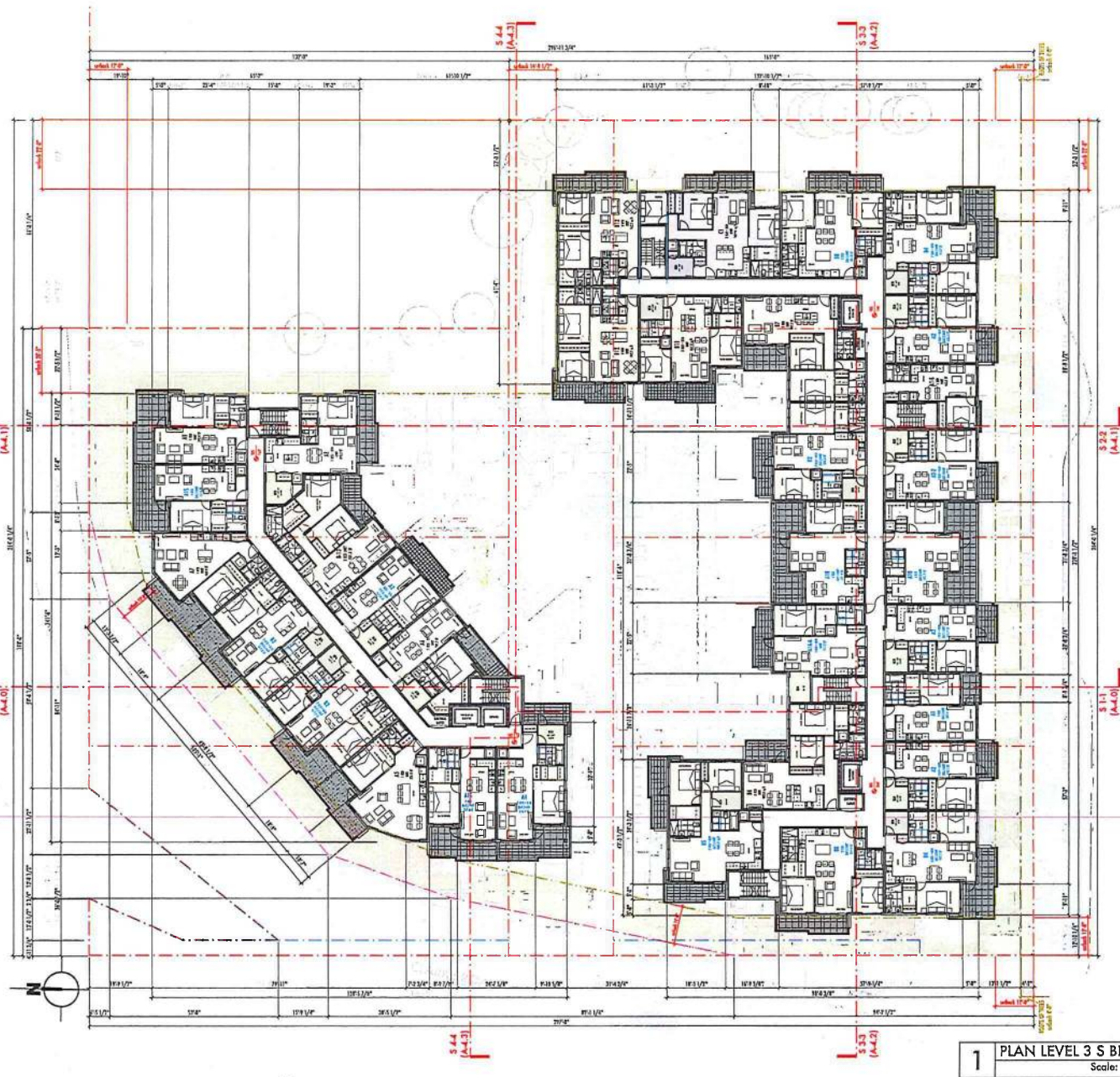
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PARAMOUNT 6016 Road 6 St. Johns Street City of New Westminster	
Drawing No: 802 Date: 2019-05-31 Project Name: 613	Project Title: Drawing Title: PLAN LEVEL 2 S BLDG LEVEL 4 N BLDG
Drawing Number: A-2.4	



1 PLAN LEVEL 3 S BLDG + LEVEL 5 N BLDG
Scale: 1/16" = 1'-0"

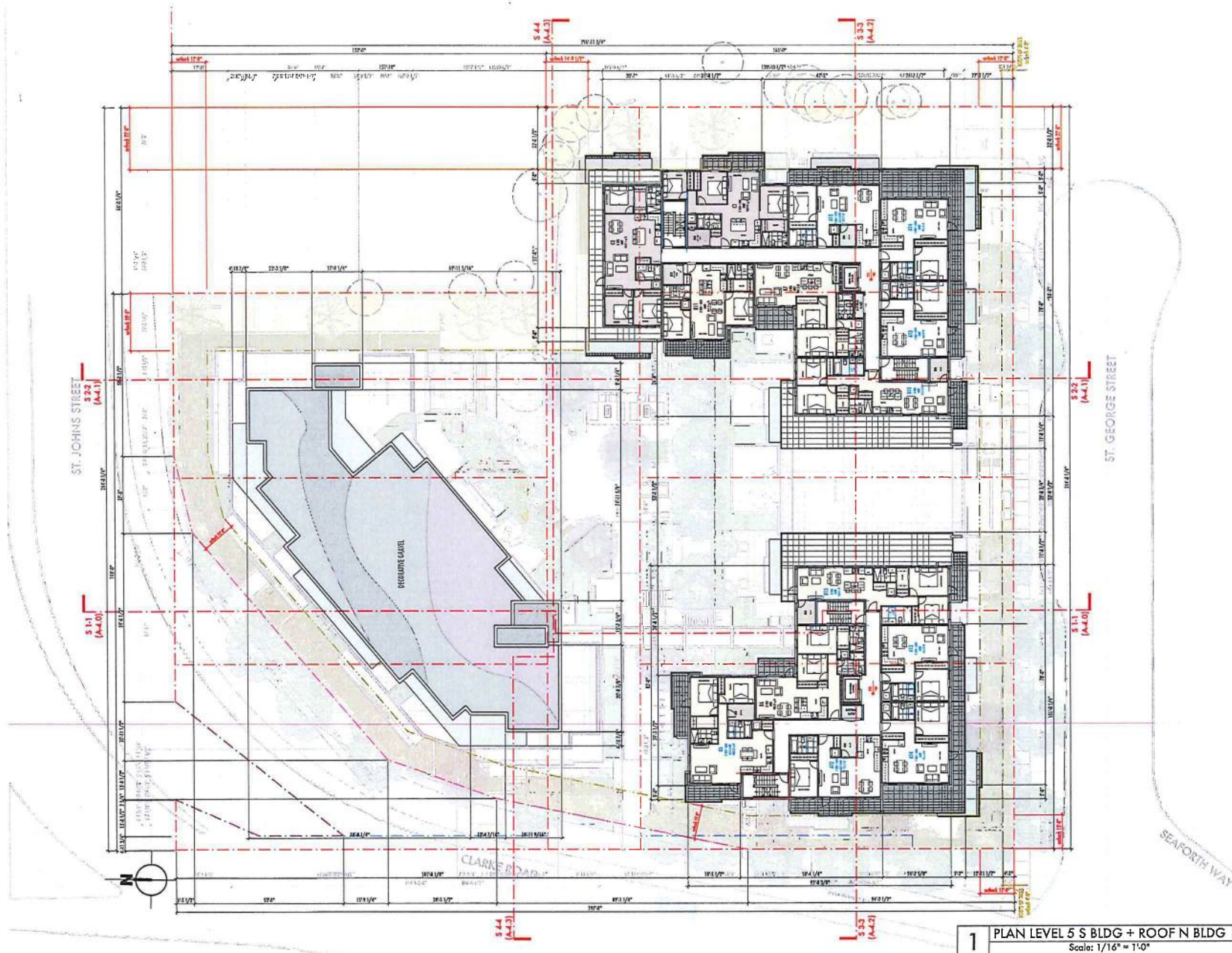
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PARAMOUNT 1000 10th Street City of New Westminster	
Project Title: Drawing Title:	PLAN LEVEL 3 S BLDG LEVEL 5 N BLDG
Drawing Number:	A-2.5



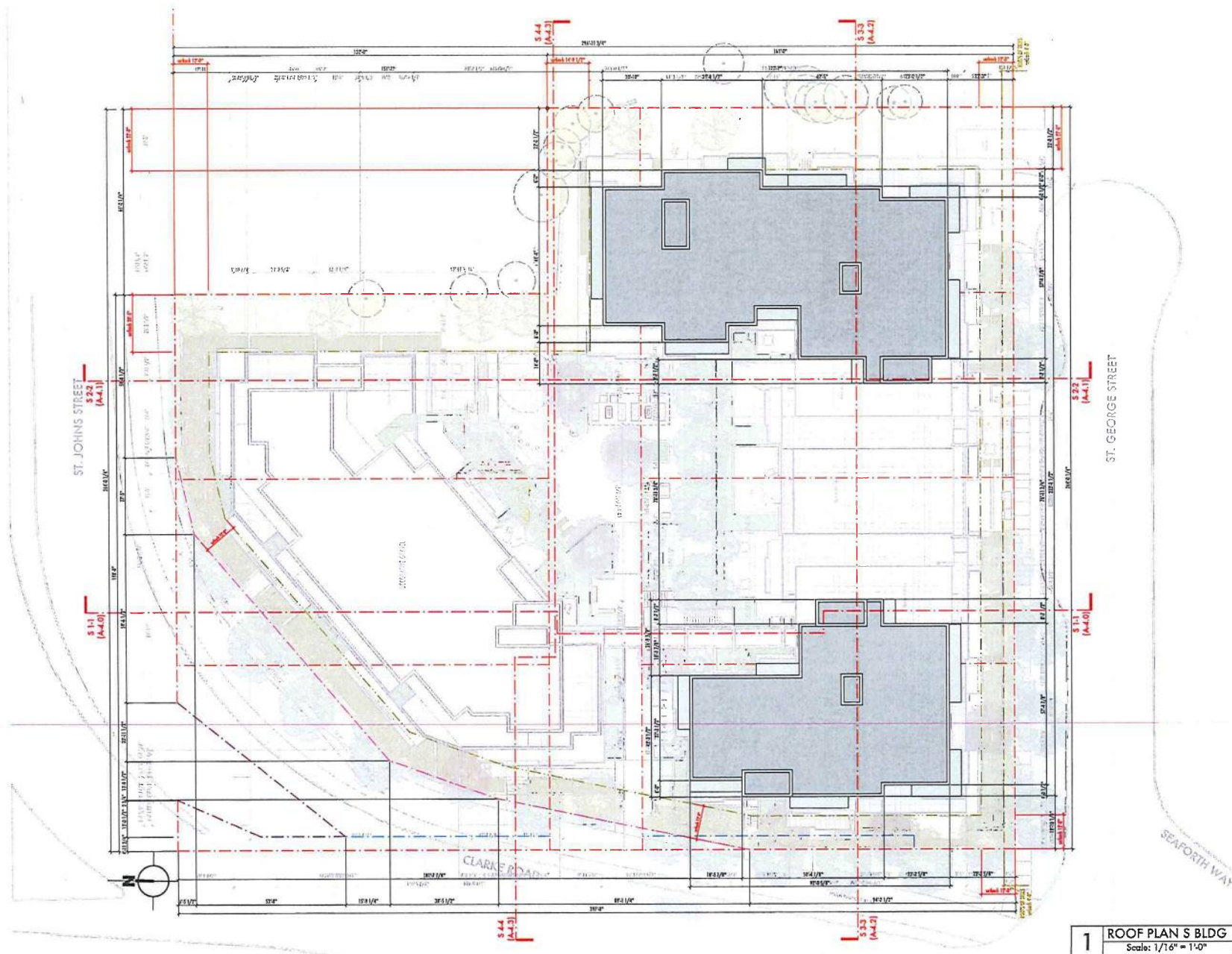
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BOLD PROPERTIES

PARAMOUNT		Project Title: Drawing Title:
Clarke Road & St. Johns Street		
City of New Westminster		
PLAN LEVEL 5 S BLDG		
ROOF PLAN N BLDG		
Drawn By:	200	
Check:	20111031	
Project Manager:	201	
Date:	45 50004	
Drawing Number:		
A-2.7		



GATEWAY
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IN CONSULTING
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BOLD PROPERTIES

Project Name:	PARAMOUNT
Client:	City of Port Moody
Project Address:	City of Port Moody
Project Title:	ROOF PLAN S BLDG
Drawn By:	018
Check By:	018
Scale:	1/16" = 1'-0"
Sheet:	AS 00000
Drawing Number:	A-2.9

CLARKE ROAD



MATERIALS + FINISHES (TYPICAL ROOMS)

1. EXTERIOR ROOF	2. EXTERIOR ROOF	3. EXTERIOR ROOF	4. EXTERIOR ROOF	5. INTERIOR	6. INTERIOR	7. INTERIOR	8. INTERIOR	9. INTERIOR	10. INTERIOR	11. INTERIOR	12. INTERIOR	13. INTERIOR	14. INTERIOR
1. EXTERIOR ROOF	2. EXTERIOR ROOF	3. EXTERIOR ROOF	4. EXTERIOR ROOF	5. INTERIOR	6. INTERIOR	7. INTERIOR	8. INTERIOR	9. INTERIOR	10. INTERIOR	11. INTERIOR	12. INTERIOR	13. INTERIOR	14. INTERIOR

1 SOUTH BUILDING : ELEVATION SOUTH
Scale: 3/32" = 1'-0"



2 SOUTH BUILDING : ELEVATION NORTH - COURTYARD
Scale: 3/32" = 1'-0"

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BOLD PROPERTIES

Project Name	PARAMOUNT
Project Address	Clarke Road & Victoria Street
City of Vancouver	City of Vancouver
Project Title	SOUTH BUILDING S + N ELEVATIONS
Drawn by	018
Check by	2018.11.13
Project Manager	018
Scale	AS SHOWN
Drawing Number	A-3.0

[illegible]



1 NORTH BUILDING : ELEVATION SOUTH - COURTYARD
Scale: 3/32" = 1'-0"



2 NORTH BUILDING : ELEVATION NORTH
Scale: 3/32" = 1'-0"



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Architect's seal:

BOLD PROPERTIES

Project Name:	PARAMOUNT
Project Address:	Clark Road & St. Johns Street
City:	City of Port Moody
Project Title:	NORTH BUILDING ELEVATIONS
Drawn By:	210
Check By:	210
Date:	2018 12 31
Project Number:	010
Scale:	AS SHOWN
Drawing Number:	A-3.2



Michael Cox, Architect AIA

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Architect's seal:

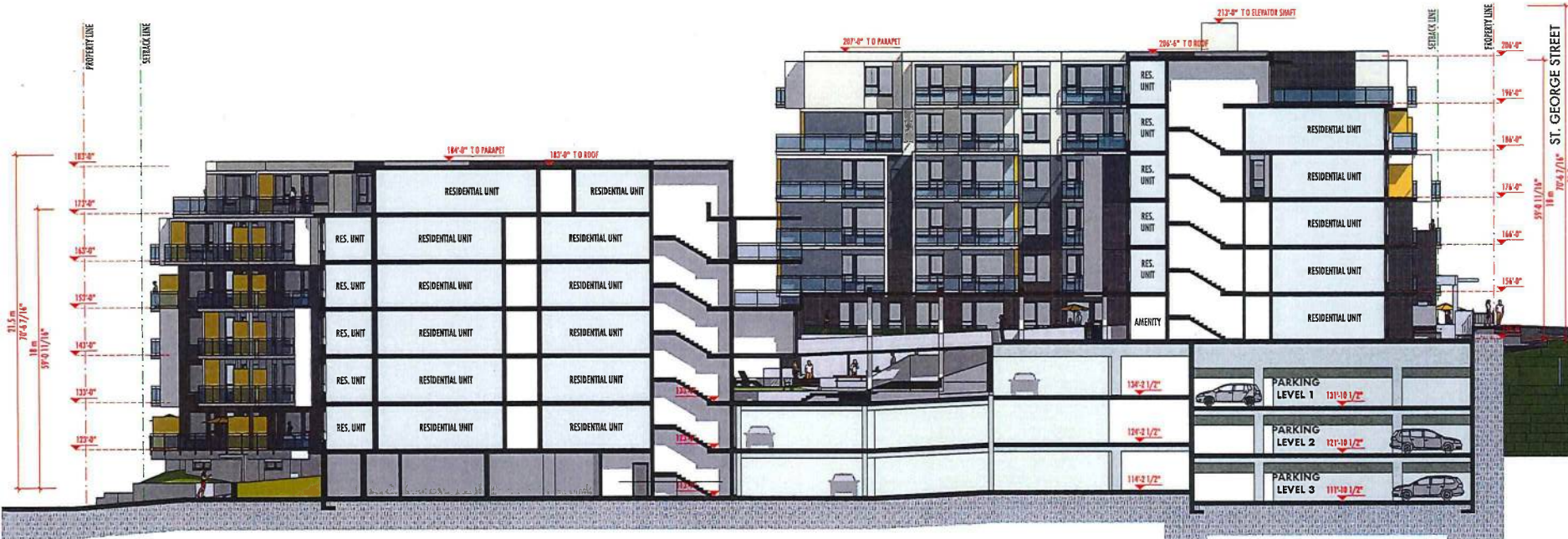


BOLD PROPERTIES

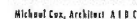
Project Name	PARAMOUNT
Project Address	220 - 601 6th Street
City of New Westminster	
Project Number	018
Date	2017.05.31
Project Manager	018
Architect	AS-58888
Project Title	Drawing Title
Section	SECTION 1-1

Drawing Number:

A-4.0



1 SECTION 1-1 (N to S)
Scale: 3/32" = 1'-0"



220 - 601 6th Street

tel: (634) 603-1868

tel: (634) 603-1868

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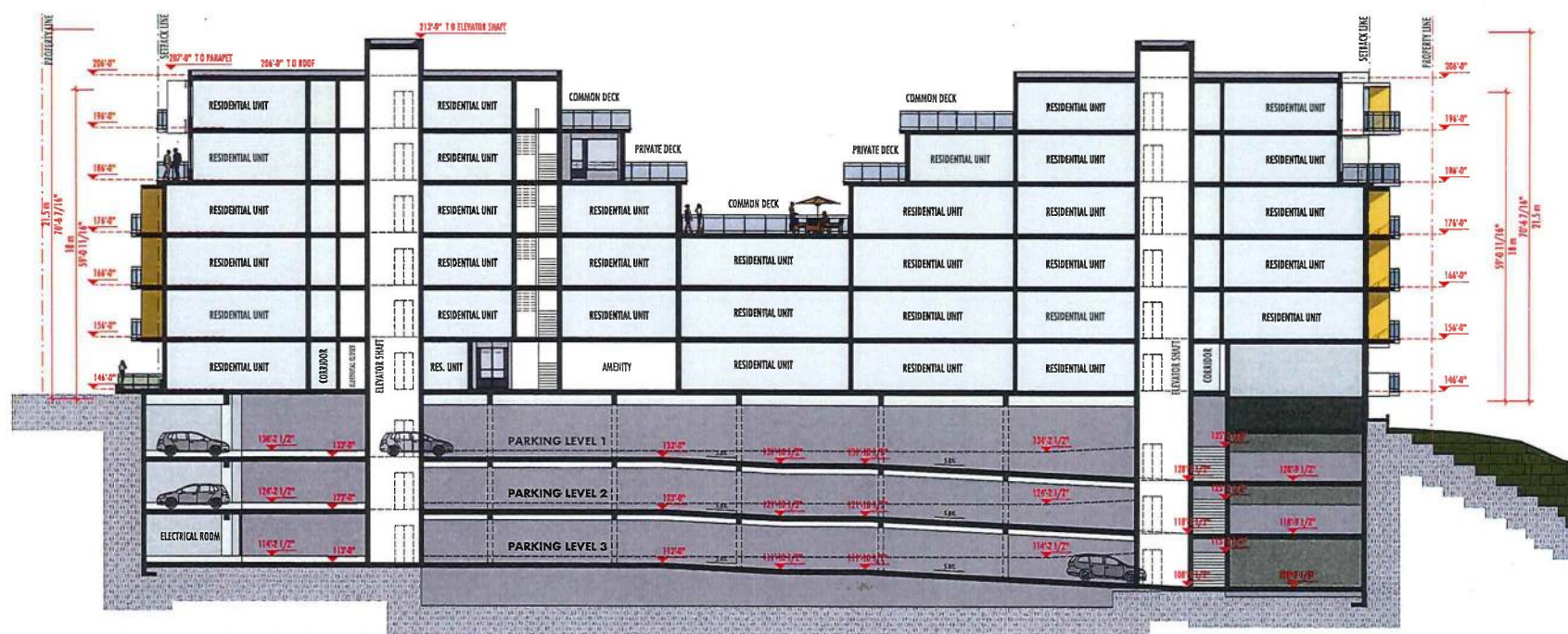
Architect's seal



**BOLD
PROPERTIES**

Drawing Number:		A - 4.1	
PARAMOUNT Clark Road & Sutter Street City of Port Huron		Project title: Drawing title:	
Size:	DWG	1	10031
Scale:	AS SHOWN	2	10032
Project Number:	3101 05 31	3	10033
Project Name:	3101	4	10034
Project Date:	AS SHOWN	5	10035
Project Location:	AS SHOWN	6	10036
Project Description:	AS SHOWN	7	10037
Project Status:	AS SHOWN	8	10038
Project Owner:	AS SHOWN	9	10039
Project Engineer:	AS SHOWN	10	10040
Project Designer:	AS SHOWN	11	10041
Project Checker:	AS SHOWN	12	10042
Project Approver:	AS SHOWN	13	10043
Project Date:	AS SHOWN	14	10044
Project Location:	AS SHOWN	15	10045
Project Description:	AS SHOWN	16	10046
Project Status:	AS SHOWN	17	10047
Project Owner:	AS SHOWN	18	10048
Project Engineer:	AS SHOWN	19	10049
Project Designer:	AS SHOWN	20	10050
Project Checker:	AS SHOWN	21	10051
Project Approver:	AS SHOWN	22	10052
Project Date:	AS SHOWN	23	10053
Project Location:	AS SHOWN	24	10054
Project Description:	AS SHOWN	25	10055
Project Status:	AS SHOWN	26	10056
Project Owner:	AS SHOWN	27	10057
Project Engineer:	AS SHOWN	28	10058
Project Designer:	AS SHOWN	29	10059
Project Checker:	AS SHOWN	30	10060
Project Approver:	AS SHOWN	31	10061
Project Date:	AS SHOWN	32	10062
Project Location:	AS SHOWN	33	10063
Project Description:	AS SHOWN	34	10064
Project Status:	AS SHOWN	35	10065
Project Owner:	AS SHOWN	36	10066
Project Engineer:	AS SHOWN	37	10067
Project Designer:	AS SHOWN	38	10068
Project Checker:	AS SHOWN	39	10069
Project Approver:	AS SHOWN	40	10070
Project Date:	AS SHOWN	41	10071
Project Location:	AS SHOWN	42	10072
Project Description:	AS SHOWN	43	10073
Project Status:	AS SHOWN	44	10074
Project Owner:	AS SHOWN	45	10075
Project Engineer:	AS SHOWN	46	10076
Project Designer:	AS SHOWN	47	10077
Project Checker:	AS SHOWN	48	10078
Project Approver:	AS SHOWN	49	10079
Project Date:	AS SHOWN	50	10080
Project Location:	AS SHOWN	51	10081
Project Description:	AS SHOWN	52	10082
Project Status:	AS SHOWN	53	10083
Project Owner:	AS SHOWN	54	10084
Project Engineer:	AS SHOWN	55	10085
Project Designer:	AS SHOWN	56	10086
Project Checker:	AS SHOWN	57	10087
Project Approver:	AS SHOWN	58	10088
Project Date:	AS SHOWN	59	10089
Project Location:	AS SHOWN	60	10090
Project Description:	AS SHOWN	61	10091
Project Status:	AS SHOWN	62	10092
Project Owner:	AS SHOWN	63	10093
Project Engineer:	AS SHOWN	64	10094
Project Designer:	AS SHOWN	65	10095
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Project Description:	AS SHOWN	70	10100
Project Status:	AS SHOWN	71	10101
Project Owner:	AS SHOWN	72	10102
Project Engineer:	AS SHOWN	73	10103
Project Designer:	AS SHOWN	74	10104
Project Checker:	AS SHOWN	75	10105
Project Approver:	AS SHOWN	76	10106
Project Date:	AS SHOWN	77	10107
Project Location:	AS SHOWN	78	10108
Project Description:	AS SHOWN	79	10109
Project Status:	AS SHOWN	80	10110
Project Owner:	AS SHOWN	81	10111
Project Engineer:	AS SHOWN	82	10112
Project Designer:	AS SHOWN	83	10113
Project Checker:	AS SHOWN	84	10114
Project Approver:	AS SHOWN	85	10115
Project Date:	AS SHOWN	86	10116
Project Location:	AS SHOWN	87	10117
Project Description:	AS SHOWN	88	10118
Project Status:	AS SHOWN	89	10119
Project Owner:	AS SHOWN	90	10120
Project Engineer:	AS SHOWN	91	10121
Project Designer:	AS SHOWN	92	10122
Project Checker:	AS SHOWN	93	1





1	SECTION 3-3
	Scale: 3/32" = 1'-0"



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BOLD PROPERTIES



1 SECTION 4-4 (E to W)
Scale: 3/32" = 1'-0"

Project Title: PARAMOUNT	
Client: CLARKE ROAD	
City of Port Moody	
Section: SECTION 4-4	
Drawn by: 0114 0137	Scale: 45 58000
Check by: 0114 0137	Scale: 45 58000
Drawing Number: A-4.3	



1 VIEW FROM N-E



2 AERIAL VIEW FROM N-E



**BOLD
PROPERTIES**

PARAMOUNT Clock Tower @ 11th Street City of Port Moody	1. 100000	Pre-Application Review
	2. 101100	Rezoning - Development Application Submission
	3. 101110	Community Consultation Meeting
	4. 100001	Community Planning Advisory Committee Meeting
	Project Title: Drawing Title:	
N + S BUILDINGS VIEWS FROM N-E		
Drawn by:	310	310
Drawn by:	2018 (03-21)	310
Drawn by:	310	310
Drawn by:	310	310
Drawing Number:		
A-5.0		



1 VIEW FROM N-W



2 AERIAL VIEW FROM N-W

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PROPERTIES**

PARAMOUNT Chris Reed & St. Johns Street 1200 St. Johns Street New Westminster, BC V3L 3C1	Project Title:	Drawing Title:
	Project Title:	Drawing Title:
	Project Title:	Drawing Title:
	Project Title:	Drawing Title:
Drawing Number:	A-5.1	A-5.1



1 VIEW FROM S-E



2 AERIAL VIEW FROM S-E



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Project Name	PARAMOUNT
Client	City of New Westminster
Project Address	270 - 401 8th Street
Project Description	N + S BUILDINGS VIEWS FROM S-E
Project Number	121
Scale	AS SHOWN
Drawn By	009
Check By	010
Project Manager	011
Architect	012
Project Engineer	013
Project Designer	014
Project Draftsman	015
Project Assistant	016
Project Coordinator	017
Project Scheduler	018
Project Cost Estimator	019
Project Accountant	020
Project Lawyer	021
Project Engineer	022
Project Designer	023
Project Draftsman	024
Project Assistant	025
Project Coordinator	026
Project Scheduler	027
Project Cost Estimator	028
Project Accountant	029
Project Lawyer	030
Project Engineer	031
Project Designer	032
Project Draftsman	033
Project Assistant	034
Project Coordinator	035
Project Scheduler	036
Project Cost Estimator	037
Project Accountant	038
Project Lawyer	039
Project Engineer	040
Project Designer	041
Project Draftsman	042
Project Assistant	043
Project Coordinator	044
Project Scheduler	045
Project Cost Estimator	046
Project Accountant	047
Project Lawyer	048
Project Engineer	049
Project Designer	050
Project Draftsman	051
Project Assistant	052
Project Coordinator	053
Project Scheduler	054
Project Cost Estimator	055
Project Accountant	056
Project Lawyer	057
Project Engineer	058
Project Designer	059
Project Draftsman	060
Project Assistant	061
Project Coordinator	062
Project Scheduler	063
Project Cost Estimator	064
Project Accountant	065
Project Lawyer	066
Project Engineer	067
Project Designer	068
Project Draftsman	069
Project Assistant	070
Project Coordinator	071
Project Scheduler	072
Project Cost Estimator	073
Project Accountant	074
Project Lawyer	075
Project Engineer	076
Project Designer	077
Project Draftsman	078
Project Assistant	079
Project Coordinator	080
Project Scheduler	081
Project Cost Estimator	082
Project Accountant	083
Project Lawyer	084
Project Engineer	085
Project Designer	086
Project Draftsman	087
Project Assistant	088
Project Coordinator	089
Project Scheduler	090
Project Cost Estimator	091
Project Accountant	092
Project Lawyer	093
Project Engineer	094
Project Designer	095
Project Draftsman	096
Project Assistant	097
Project Coordinator	098
Project Scheduler	099
Project Cost Estimator	100
Project Accountant	101
Project Lawyer	102
Project Engineer	103
Project Designer	104
Project Draftsman	105
Project Assistant	106
Project Coordinator	107
Project Scheduler	108
Project Cost Estimator	109
Project Accountant	110
Project Lawyer	111
Project Engineer	112
Project Designer	113
Project Draftsman	114
Project Assistant	115
Project Coordinator	116
Project Scheduler	117
Project Cost Estimator	118
Project Accountant	119
Project Lawyer	120
Project Engineer	121
Project Designer	122
Project Draftsman	123
Project Assistant	124
Project Coordinator	125
Project Scheduler	126
Project Cost Estimator	127
Project Accountant	128
Project Lawyer	129
Project Engineer	130
Project Designer	131
Project Draftsman	132
Project Assistant	133
Project Coordinator	134
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Project Cost Estimator	136
Project Accountant	137
Project Lawyer	138
Project Engineer	139
Project Designer	140
Project Draftsman	141
Project Assistant	142
Project Coordinator	143
Project Scheduler	144
Project Cost Estimator	145
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Project Designer	149
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Project Scheduler	153
Project Cost Estimator	154
Project Accountant	155
Project Lawyer	156
Project Engineer	157
Project Designer	158
Project Draftsman	159
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Project Coordinator	161
Project Scheduler	162
Project Cost Estimator	163
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Project Coordinator	179
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Project Draftsman	186
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Project Coordinator	188
Project Scheduler	189
Project Cost Estimator	190
Project Accountant	191
Project Lawyer	192
Project Engineer	193
Project Designer	194
Project Draftsman	195
Project Assistant	196
Project Coordinator	197
Project Scheduler	198
Project Cost Estimator	199
Project Accountant	200

A-5.2



GATEWAY
ARCHITECTURE
INCORPORATED
Michael Cox, Architect AIA ©
220 - 601 8th Street
New Westminster, BC V3L 3C1
Tel: (604) 608-1868

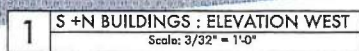
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The architect is responsible for ensuring all drawings and documents are submitted to the relevant authorities for review and approval.

Architect's seal:

BOLD PROPERTIES

PARAMOUNT CLUBHOUSE @ 3125 31st Street N + S BUILDINGS VIEWS FROM S-W	Project Title: Drawing Title:	Project Title: Drawing Title:
	Project Title: Drawing Title:	Project Title: Drawing Title:
	Project Title: Drawing Title:	Project Title: Drawing Title:
	Project Title: Drawing Title:	Project Title: Drawing Title:
Author: 0108	Drawn: 2017 01 31	Scale: AS SHOWN
Check: 2017 01 31	Revised: 2017 01 31	
Drawing Number: A-5.3		

Clarke Road @ St. Johns Street
City of Port Moody



CONCRETE
SACK & GRIND FINISH



no.	date	revision / remarks
1.	11/11/88	Pre-Application Review
2.	11/11/88	Meeting - Development Applications Subdivision
3.	11/11/88	Meeting - Development Applications Subdivision
4.	11/05/89	Forming Housing Alloway Corporate Meeting

Project Title: _____ Drawing Title: _____

PARAMOUNT
Clerks Road & Slatkoff Street
City of Port Huron

MATERIALS BOARD

Drawn: _____	DWG: _____
Revised: _____	Revised: _____
Drawn: _____	DWG: _____
Revised: _____	Revised: _____

Drawing Number: **A-7.0**



6	Issued for Community Planning Advisory Committee Meeting	05/21/2019
5	Re-issued for Recreational Development Permit	04/18/2019
4	Issued for Recreational Development Permit	11/29/2018
3	Issued for Pre Application Review	09/09/2017
2	Issued for Coordination	06/23/2017
1	Issued for Preliminary Review	08/15/2017
Revision No.		Date

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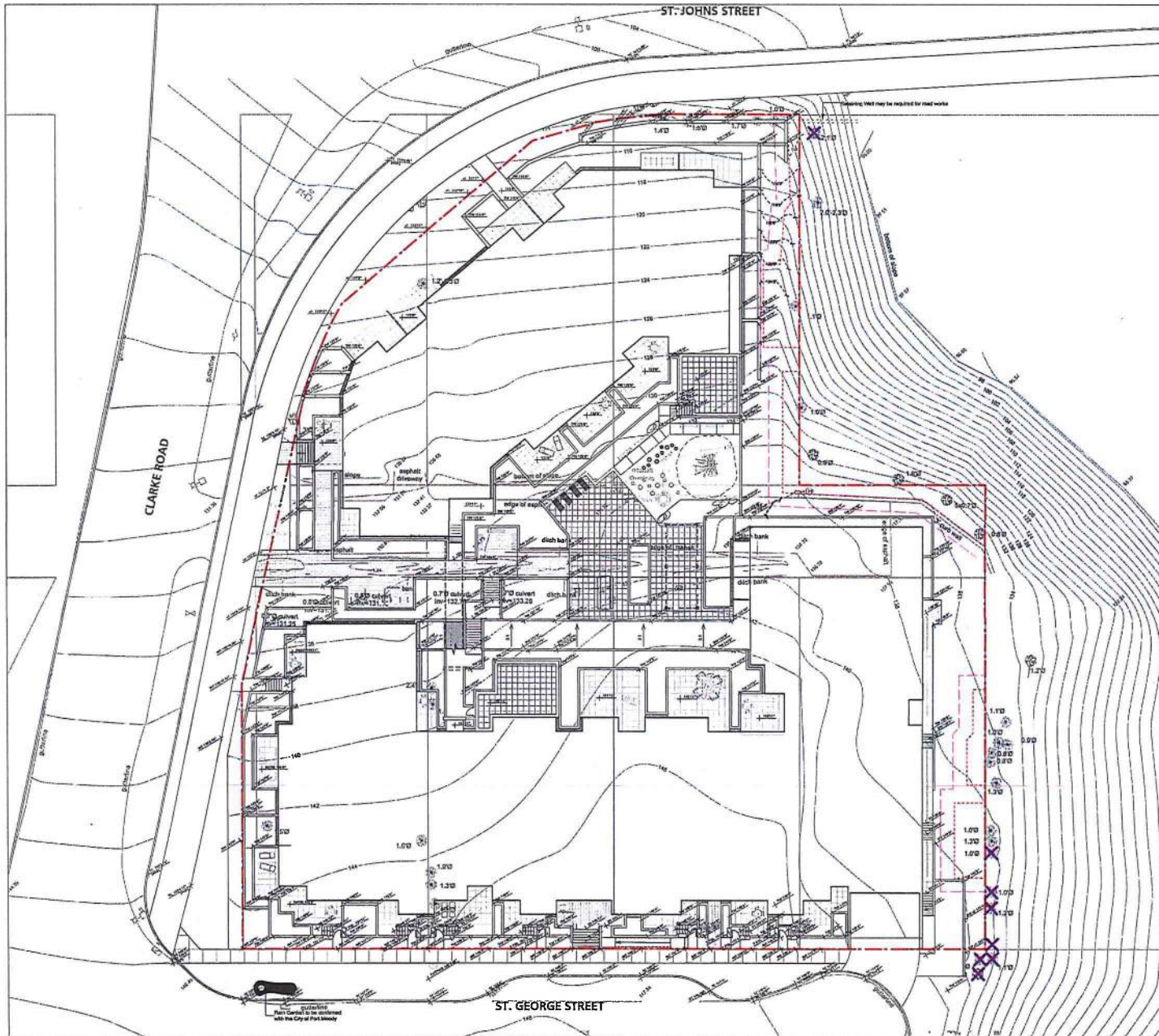
BOLD PROPERTIES

Project Title: **PARAMOUNT**

Drawing Title: **LANDSCAPE LAYOUT PLAN**

Project No:	Drawn By:	KS
Scale:	Checked By:	MP
1/16" = 1'0"	Job No.:	15-082
Sheet No.:		

L1.0



LEGEND

- Interpolated Grade
- Top of Wall
- Bottom of Stair
- Top of Stair
- Architectural Established Grade
- Existing Survey Grade
- Revised Contour Lines
- Existing Tree Size
- Root Protection Zone
- Working Space Setback

General Notes

1. All existing utility covers are to be adjusted to the final grade.
2. Planters to have 2ft. (610mm) soil depth with 4 (100mm) inch drain rock layer unless specified otherwise.
3. Refer to Arch. slab plan to confirm soil depths and build up over slabs.
4. Provide voiding where required to reduce loading. Refer to Structural.
5. Ensure planter soil installed and loosely compacted to minimize settlement. Flush to pathways and 2" (50mm) below top of walls. Mound planter soil to center of planter.
6. Refer to structural for max. allowable soil depths. Provide void form where required.
7. 2" diameter weep holes to be installed at 4' O.C. Holes to be a minimum 2" above finished grade.
8. All walls taller than 4' (1.2m) to be designed and reviewed by geotechnical engineer.

NOTE: Refer to Architect report for tree retention and removal

4. Issued for Community Planning Advisory Committee Meeting	05/1/2019
3. Re-Issued for Rezoning/Development Permit	04/17/2019
2. Issued for Rezoning/Development Permit	11/28/2018
1. Issued for Pre Application Review	09/06/2017
Revision No.	Date

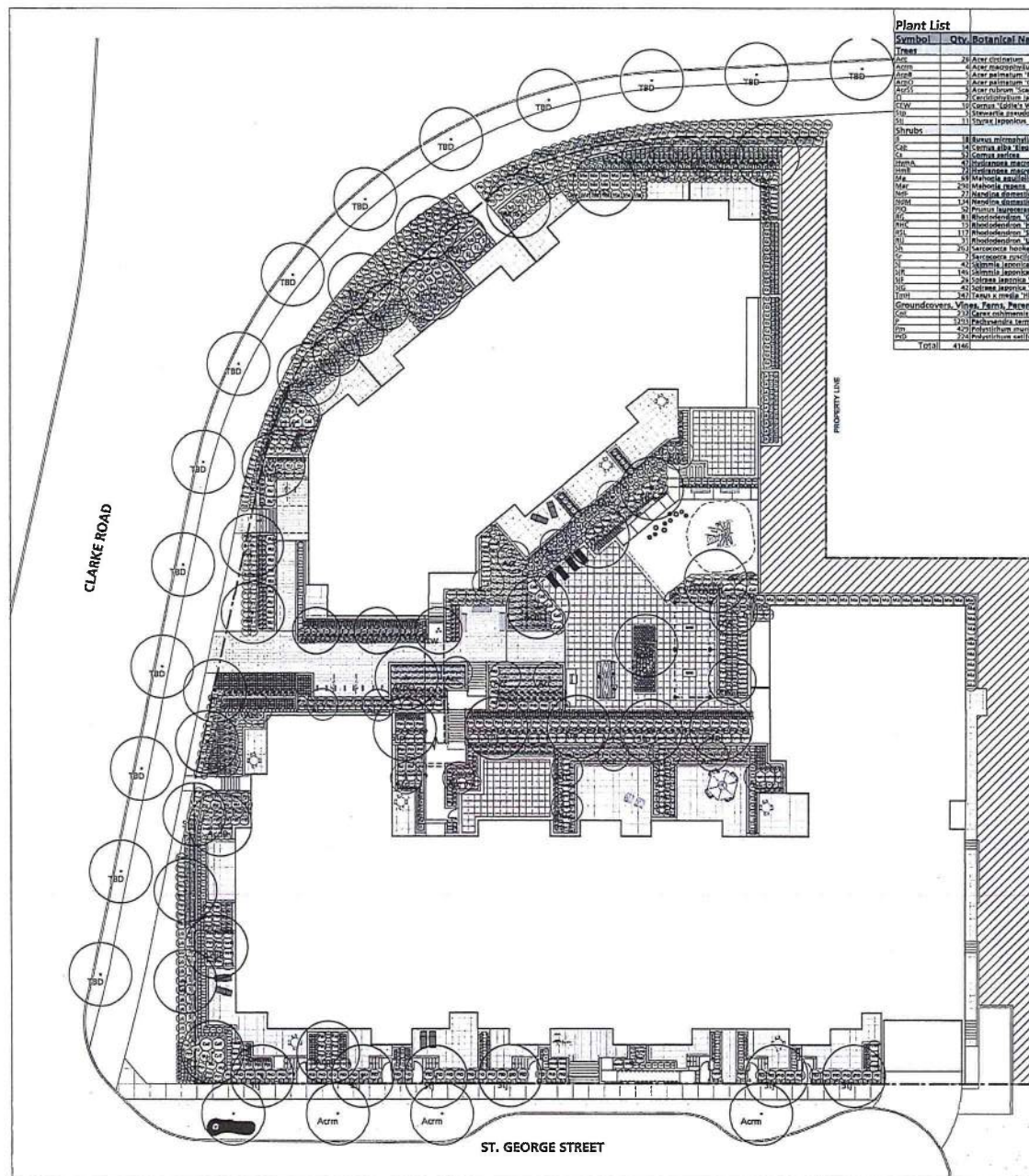
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Client: **BOLD PROPERTIES**

Project Title: **PARAMOUNT**

Drawing Title: **LANDSCAPE GRADING PLAN**

Project Name: Drawn By: KS
Checked By: MP
Scale: 1/16" = 1'0" Job No.: 15-082
Sheet No.: **L2.0**

[illegible]

PLANTING NOTES

- | | |
|--|--|
| <p>11 Contractor to prepare to submit and install with the necessary project wet weather facilities</p> <p>12 All storage and landscape activities to meet or exceed the ICD/MSHA/NSA industry standards</p> <p>13 As a minimum, Contractor shall:</p> <ul style="list-style-type: none"> 13.1 All storage areas shall be surrounded minimum 2' high 13.2 All storage areas shall be covered with a minimum 2' high <p>14 Contractor to prepare to submit material delivered to site in 30 minutes after the time from the photographer's camera's flash becomes dark enough to prevent the photographer from seeing the site</p> <p>15 All wet weather facilities shall be approved at the meeting by the project landscape architect</p> <p>16 The contractor shall supply all wet weather materials on all drawings.</p> <p>17 No material greater than 400 lbs shall be lifted or moved by hand.</p> <p>18 All wet weather material used in projects shall be returned at time of placement.</p> | <p>19 Contractor to submit a representative sample of the proposed aggregate for testing to the State of California, Department of Water, and the State of California Department of Public Health, Division of Environmental Health, for testing and approval.</p> <p>20 Contractor to submit a representative sample of the proposed aggregate for testing to the State of California, Department of Water, and the State of California Department of Public Health, Division of Environmental Health, for testing and approval.</p> <p>21 Contractor to provide landscape architect a copy of all adding lists received from nursery and landscape and quantities of all plants for the project prior to the start of construction.</p> <p>22 The landscape shall include and verify the existence of all activities per starting work.</p> <p>23 All standing water to be no more than 7 mm depth of 25mm or less over completed lawn.</p> <p>24 All standing water to be no more than 7 mm depth of 25mm or less over completed lawn.</p> <p>25 All plants shall be submitted (thoroughly brown) during the first 24-hour period after planting, all plants shall be removed.</p> <p>26 The Landscape contractor shall deliver to the contractor specifications for additional plants.</p> <p>27 All soil to be installed and grown on site.</p> <p>28 Plant Species are to include: G. Green, D. Oak, & C. Oak.</p> |
|--|--|

P+A
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32nd Planning
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Vancouver, BC V5T 1V9
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F 604 738 4116
www.kimandperry.com

5	Issued for Community Planning Advisory Committee Meeting	05/31/2019
4	Re-issued for Reasoning/Development Permit	04/17/2019
3	Issued for Reasoning/Development Permit	11/28/2018
2	Issued for Coordination	08/23/2017
1	Issued for Preliminary Review	08/15/2017

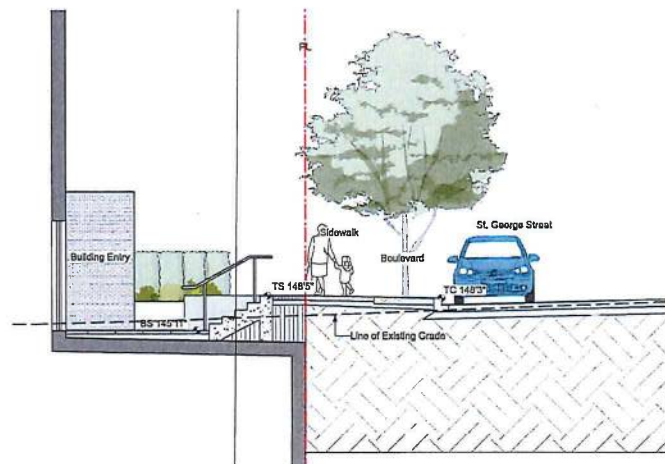
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BOLD PROPERTIES

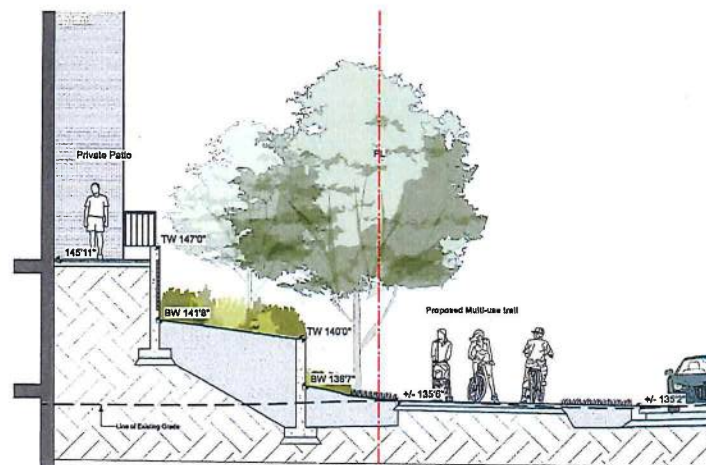
Project Title: **PARAMOUNT**Drawing Title: **PLANTING PLAN**

Project No/ID:	Drawn By:	KS
	Checked By:	MP
Scale:	Job No.:	15-082
1/16" = 1'0"		
Sheet No.:		

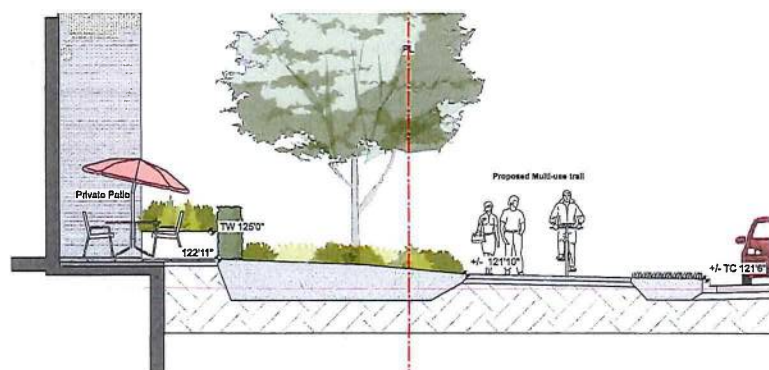
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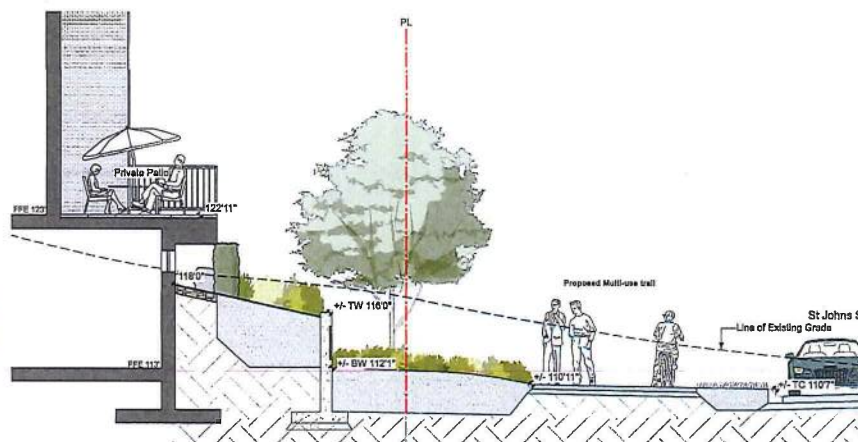
1 South Building Entrance Section
 1/4" = 1'



2 South Building Clarke Rd Section
 1/4" = 1'



3 North Building Clarke St. Section
 1/4" = 1'



4 North Building St. John Section 1
 1/4" = 1'

4	Issued for Community Planning Advisory Committee Meeting	05/31/2019
3	Re-issued for Re-zoning/Development Permit	04/18/2019
2	Issued for Re-zoning/Development Permit	11/28/2018
1	Issued for Pre Application	08/01/2017
	Revision No.	Date

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Client:

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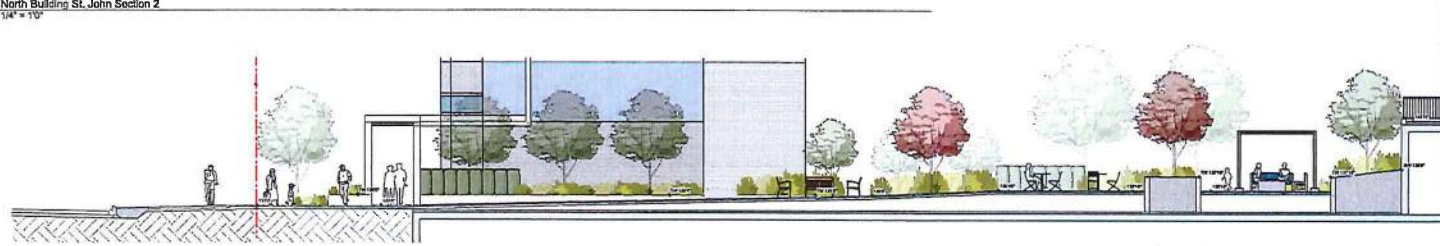
Project Title: **Paramount**

Drawing Title: **Illustrative Sections**

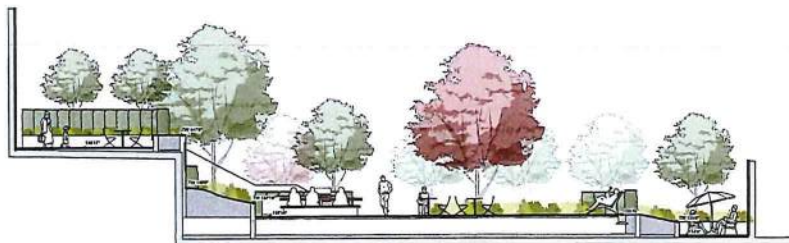
Project Name:	Drawn By:	KS
	Checked By:	MP
Scale:	Job No.:	15-082
Sheet No.:		



6 North Building St. John Section 2
 1/4" = 10'



8 Courtyard Section 1
 1/8" = 10'



7 Courtyard Section 2
 1/8" = 10'

4	Issued for Community Planning Advisory Committee Meeting	03/21/2019
3	Re-issued for Rezoning/Development Permit	04/18/2019
2	Issued for Rezoning/Development Permit	11/28/2018
1	Issued for Pro Application	03/01/2017
Revision No.		Date

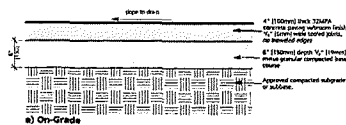
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Client: **BOLD PROPERTIES**

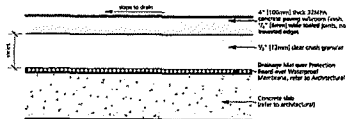
Project Title: **Paramount**

Drawing Title: **Illustrative Sections**

Project Name:	Drawn By:	KS
	Checked By:	MP
Scale:	Job No.:	15-082
Sheet No.:		

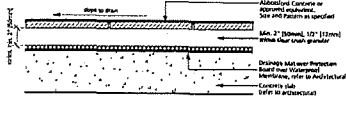
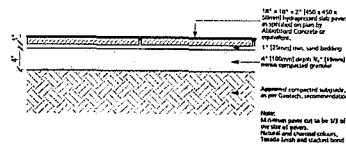


a) On-Grade

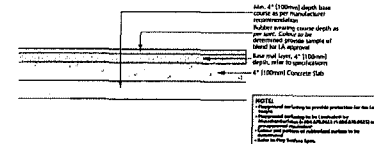


b) On-Slab

1 CIP Concrete
1" = 10'

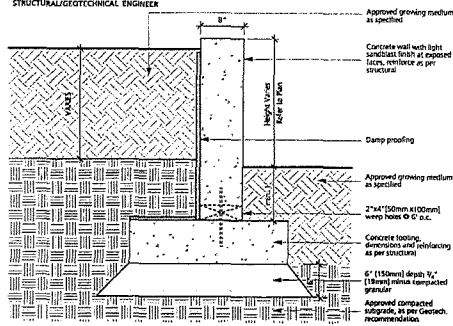


2 Hydrapressed Slab Pavement
1" = 10'

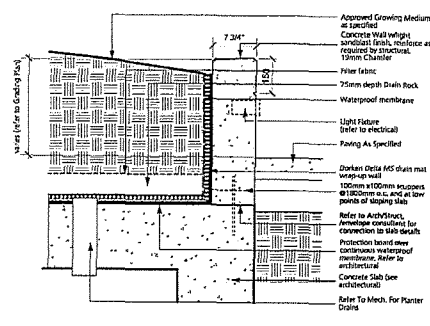


3 Play Surfacing
1" = 10'

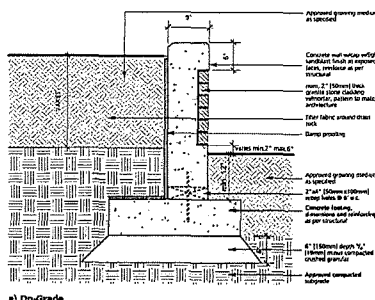
ALL WALLS OVER 1.2M IN HEIGHT TO BE DESIGNED BY STRUCTURAL/GEOTECHNICAL ENGINEER



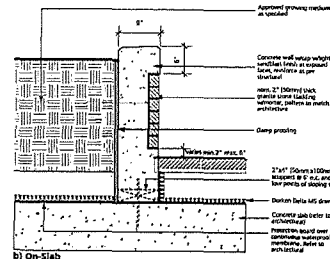
4 CIP Concrete Walls
1" = 10'



4 CIP Concrete Walls
1" = 10'



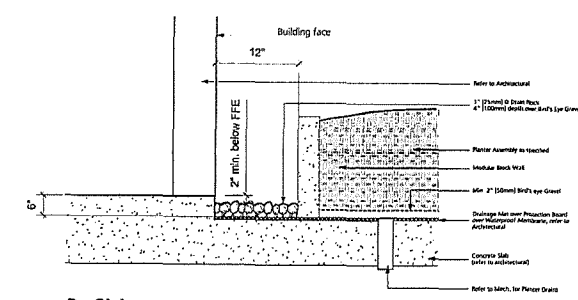
a) On-Grade



b) On-Slab

5 CIP Concrete Walls with Brick/Veneer Facing
1" = 10'

6 Allan Block Wall
1" = 10'



On-Slab

7 Drain Rock
3/4" = 10'

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5	Issued for Community Planning Advisory Committee Meeting	05/01/2019
4	Re-issued for Razing/Development Permit	04/18/2019
3	Issued for Razing/Development Permit	11/28/2018
2	Issued for DP	04/05/2017
1	Progress Set	03/28/2017
	Revision No.	Date

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BOLD PROPERTIES

Project Title: **Paramount**

Drawing Title: **Landscape Details**

Project Name:	Drawn By:	KS
	Checked By:	MP
Date:	Job No.:	15-082
Sheet No.:	As Noted	

L5.0

