



City of Port Moody

Bylaw No. 3179

A Bylaw to enter into a Heritage Revitalization Agreement with the Owner of Heritage Property at 2801-2831 St. George Street.

The Council of the City of Port Moody enacts as follows:

1. Citation

- 1.1 This Bylaw may be cited as “City of Port Moody Heritage Revitalization Agreement Bylaw, 2019, No. 3179 (2801-2831 St. George Street)”.

2. Definitions

- 2.1 In this Bylaw:

“**City**” means the Corporation of the City of Port Moody.

“**Heritage Revitalization Agreement**” means an agreement under the *Local Government Act* between the City and an owner of heritage property.

“**Land**” means the properties located within the City at:

- 2801 St. George Street and legally described as Lot 14, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-761;
- 2807 St. George Street and legally described as Lot 13, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-737;
- 2813 St. George Street and legally described as Lot 12, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-711;
- 2819 St. George Street and legally described as Lot 11, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-699;
- 2825 St. George Street and legally described as Lot 10, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-672;
- 2829 St. George Street and legally described as Lot 9, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 003-700-747; and
- 2831 St. George Street and legally described as Lot 8, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-656.

3. The Heritage Revitalization Agreement

- 3.1 The City is hereby authorized to enter into a Heritage Revitalization Agreement with the owner of the Land substantially in the form attached to and forming part of this Bylaw, as Schedule "A".

4. Attachments and Schedules

- 4.1 The following schedule is attached to and forms part of Bylaw No. 3179:

- Schedule "A" – the Heritage Revitalization Agreement including:
 - Appendix A – Johnston Residence Conservation Plan, Donald Luxton and Associates Inc., dated April 6, 2016;
 - Appendix B – Heritage Review of Johnston Residence Redevelopment Proposal, Donald Luxton and Associates Inc., dated May 15, 2019;
 - Appendix C – Architectural Plans, Shift Architecture, dated May 7, 2019;
 - Appendix D – Landscape Plans, Connect Landscape Architecture Inc., dated May 6, 2019; and
 - Appendix E – Draft Subdivision Plan, Butler Sundvick, undated.

5. Execution of Agreement

- 5.1 The Mayor and Corporate Officer are authorized on behalf of the City Council to sign and seal the Heritage Revitalization Agreement substantially in the form attached hereto as Schedule "A" and forming part of this Bylaw.

6. Severability

- 6.1 If a portion of this Bylaw is found invalid by a court, it will be severed and the remainder of the Bylaw will remain in effect.

Read a first time this 28th day of May, 2019.

Read a second time this 28th day of May, 2019.

Public Hearing held this 25th day of June, 2019.

Read a third time this 25th day of June, 2019.

Adopted this ____ day of _____, 2019.

M.P. Lahti
Acting Mayor

D. Shermer
Corporate Officer

I hereby certify that the above is a true copy of Bylaw No. 3179 of the City of Port Moody.

Dorothy Shermer
Corporate Officer

SCHEDULE "A"

**HERITAGE REVITALIZATION AGREEMENT
2801-2831 St. George Street**

CITY OF PORT MOODY

THIS AGREEMENT dated for reference the ___ day of _____, ____.

BETWEEN:

MARCON JOHNSTON PROPERTIES LTD.,
5645 – 199th Street
Langley, BC V3A 1H9

(the "**Owner**")

OF THE FIRST PART

AND:

THE CITY OF PORT MOODY
100 Newport Drive
Port Moody, BC V3H 5C3

(the "**City**")

OF THE SECOND PART

RECITALS

- A. WHEREAS a local government may, by bylaw, enter into a Heritage Revitalization Agreement with the Owner of property identified as having heritage value, pursuant to Section 610 of the *Local Government Act* R.S.B.C. 2015, C.1;

(the "**Agreement**")

AND WHEREAS pursuant to s. 610 of the *Local Government Act*, a Heritage Revitalization Agreement with an owner of heritage property allows variations of and supplements to the provisions of a zoning bylaw, subdivision bylaw, development permit, and heritage alteration permit.

B. AND WHEREAS the Owner is the registered owner of all and singular the parcels of land and premises situated in the City of Port Moody, in the Province of British Columbia, located at 2801-2831 St. George Street and legally described as:

- 2801 St. George Street and legally described as Lot 14, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-761;
- 2807 St. George Street and legally described as Lot 13, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-737;
- 2813 St. George Street and legally described as Lot 12, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-711;
- 2819 St. George Street and legally described as Lot 11, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-699;
- 2825 St. George Street and legally described as Lot 10, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-672;
- 2829 St. George Street and legally described as Lot 9, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 003-700-747;
- 2831 St. George Street and legally described as Lot 8, Block 25, District Lot 201, Group 1, New Westminster District, Plan 72, and PID: 011-453-656;

(the “**Land**”)

C. AND WHEREAS the Owner has presented to the City a proposal for the use, development and preservation of the Land and has voluntarily and without any requirement by the City, entered into this Agreement pursuant to s. 610 of the *Local Government Act*;

D. AND WHEREAS the Land, as defined above, contains a heritage building (Johnston Residence);

G. AND WHEREAS the Owner of the Land has requested the City of Port Moody to enter into the Agreement and has agreed to undertake measures, as set out in this Agreement, to conserve the heritage value of the Johnston Residence, (individually, a “**Heritage Building**” in exchange for certain zoning variances;

H. AND WHEREAS the Owner and Council agree that the Heritage Building has sufficient heritage merit to justify their conservation through the use of certain zoning variances;

- I. AND WHEREAS Council and the Owner have agreed to certain terms and conditions respecting the conservation of the Heritage Buildings on the Land in exchange for zoning variances described in this Agreement;
- J. AND WHEREAS a local government must hold a Public Hearing on the matter before entering into, or amending, a heritage revitalization agreement if the agreement or amendment would permit a change to the use or density or use that is not otherwise authorized by the applicable zoning of the Land and for these purposes Division 3 [Public Hearing on Planning and Land Use Bylaws] of part 14s of the *Local Government Act* applies;
- K. AND WHEREAS within thirty days after entering into, or amending, a Heritage Revitalization Agreement the local government must file a notice in the Land Titles Office in accordance with s. 594 of the *Local Government Act* and give notice to the Minister responsible for the *Heritage Conservation Act* in accordance with s. 595 of the *Local Government Act*;

NOW THEREFORE in consideration of the terms contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1.0 Heritage Revitalization

- 1.1 Pursuant to s. 610 (2) of the *Local Government Act*, the parties agree that the Heritage Building has heritage value, deserving of protection and conservation and the Owner specifically agrees to maintain, preserve, and protect the heritage character of the Heritage Building, which is located on the Land in accordance with this Agreement.
- 1.2 Pursuant to s. 610 (2) and (3) of the *Local Government Act*, the parties agree that the Land may, notwithstanding the provisions of the City of Port Moody Zoning Bylaw requirements related to the existing One-Family Residential (RS1) zoning on the Land, be consolidated from seven (7) legal parcels into two (2) legal parcels as shown in Appendix C and Appendix E, to be used for and developed in the following manner, and in accordance with the provisions of this Agreement:

1.2.1 Permitted Uses

(a) Principal Use

- a. The permitted use of Lot 1 as referenced in Appendix "E" shall be a Single Detached Residential, contained in the Heritage Building (Johnston Residence), with the building substantially complying with the density, lot coverage, siting, height, off-street parking, and general appearance as they are referenced in the Architectural Plans and Landscape Plans attached to this agreement as Appendix "C" and "D".
- b. The permitted use of Lot 2 as referenced in Appendix "E" shall be a Multi-Residential, consisting of 43 townhouses, two of which have secondary suites, with the buildings substantially complying with the density, lot coverage, siting, height, off-street parking, and general appearance as they are referenced in the Architectural Plans and Landscape Plans attached to this agreement as Appendix "C" and "D".

(b) Secondary Use

- a. Home Occupation – Type A in accordance with section 5.23 of the Zoning Bylaw No. 2937

1.3 Pursuant to s. 610 (2) of the *Local Government Act*, the Owner agrees to restore the Heritage Building in accordance with all other terms and conditions of Appendices "A", "B", "C", and "D" and which are attached to this Agreement. Following the restoration of the Heritage Building the exterior appearance of the historic buildings are to be maintained as outlined by the text, drawings, illustrations, photographs, and plans of Appendices "A" and "C" which are attached to this Agreement. If there are conflicts or ambiguities in the interpretation of the Heritage Conservation Plan, the City's interpretation shall prevail.

1.4 Pursuant to s. 610 (2) of the *Local Government Act*, and further to the terms and conditions of Appendices "A", "B", "C", and "D", the Owner agrees to the following terms and conditions:

- 1.4.1 All construction, maintenance, repair, and conservation work shall be done at the Owner's sole expense;
- 1.4.2 All reasonable measures are to be taken by the Owner to protect the historic Heritage Building including their improvements and features noted to have heritage value as outlined by the text, drawings, illustrations, photographs, and plans in the Conservation Plans, which are attached to this Agreement as Appendix "A" respectively, from exposure to

- environmental elements during construction and from acts of vandalism or foreseeable accidental damage;
- 1.4.3 The Owner shall commence and complete the development of the subject property in accordance with the Plans and Elevations attached hereto as Appendix “C” and “D”. If there are conflicts or ambiguities in the interpretation of the Plans or Elevations, the City’s interpretation shall prevail;
 - 1.4.4 The Owner agrees to take all reasonable measures to ensure the protection, conservation, and restoration of the improvements and features of the Heritage Building noted to have heritage value as outlined by the text, drawings, illustrations, photographs, and plans in the Conservation Plans, which is attached to this Agreement as Appendix “A”. In the event that such an improvement or feature having heritage value is deemed to be in a state of repair such that it cannot be conserved and restored, the Owner must have a report prepared by a suitable professional to demonstrate the need to deviate from the Conservation Plans, as well as propose a suitable alternative that is to be approved in consultation with the City and a Heritage Consultant who is a member of the Canadian Association of Heritage Professionals;
 - 1.4.5 The owner agrees that during the restoration process, that prior to any changes being made which are not envisaged in the Conservations Plans, Architectural Plans and Landscape Plans, which are attached to this Agreement as Appendix “A”, “B”, and “C” respectively, and that would impact the external appearance of the Heritage Building or the Land upon which they are located, the Owner must propose a suitable alternative that is to be approved in consultation with the City and, as necessary, a Heritage Consultant who is a member of the Canadian Association of Heritage Professionals;
 - 1.4.6 The Owner is to ensure that only qualified trades people with proven experience in projects of similar scope are responsible for carrying out the work, including the removal, salvage, cleaning, repair, and installation of the improvements and features of the Heritage Building noted to have heritage value as outlined by the text, drawings, illustrations, photographs, and plans in the Conservation Plan, which is attached to this Agreement as Appendix “A”;
 - 1.4.7 The Owner agrees to apply for and obtain all necessary permits and licences from the City, including pay required fees and charges, prior to the commencement and completion of work on the Heritage Building, and the City may at its sole discretion issue or refuse to issue Building Permits for the any portion of the work until such has been completed;
 - 1.4.8 The Owner agrees to provide a final report stating that the Development has been completed in accordance with this Agreement from a Heritage Consultant who is a member of the Canadian Association of Heritage

Professionals prior to an Occupancy Permit being granted for any building within the Land.

2.0 Municipal Heritage Designation

- 2.1 Pursuant to s. 611 of the *Local Government Act*, the Owner, through this Agreement, irrevocably agrees to the designation of Heritage Building (Johnston Residence) located on the Land as a municipal heritage site, and concurrently with the authorization for the City to enter into this Agreement releases the City from any obligation to compensate the owner in any form for any reduction in the market value of the Land and all improvements that may result from the designation.

3.0 Heritage Alteration Permits

- 3.1 The improvements on and heritage character of the Heritage Building which both the Owner and the City desire to conserve and which constitute the heritage value of the Land are outlined by the text, drawings, illustrations, photographs, and plans in the Conservation Plan, which is attached to this Agreement as Appendix "A", ". The Statement of Significance contained in the Conservation Plan further identifies, detail and describes the character, extent, and nature of the improvements on and heritage character of the Heritage Building that has heritage value;
- 3.2 Following the completion of the work in accordance with this Agreement, the Owner shall not alter the heritage character or exterior appearance of the Heritage Building, except as permitted by a heritage alteration permit issued by the City;
- 3.3 To the extent that the text, drawings, illustrations, photographs, and plans constituting the Conservation Plan require interpretation, the City shall determine the matter and Section 22.0 (Inspection) of this Agreement shall apply;
- 3.4 Owner's Obligations to Conserve and Maintain
- 3.4.1 The Owner covenants and agrees that:
- 3.4.1.1 No improvement as identified in the Conservation Plan as having heritage value or as being a part of the heritage character of the Heritage Buildings, shall be altered, replaced, or replicated including alterations required or authorized by this Agreement, except pursuant to a heritage alteration permit issued by the City;
- 3.4.1.2 Each section of restoration, rehabilitation, replication, repair, or maintenance, required by the Conservation Plan shall be commenced and completed in accordance with the phasing, timing, standards and specifications set out in this Agreement and the attached appendices;
- 3.4.1.3 All improvements to Heritage Building as identified in the Conservation Plan as having heritage value shall be maintained to the minimum standards and in accordance with the guidelines and requirements set out in the Maintenance Plans which are attached

to this Agreement as part of the Conservation Plans in Appendix “A” respectively; and

- 3.4.1.4 The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions as are necessary to ensure that the restrictions and requirements provided in subsections 3.4.1.1, 3.4.1.2, and 3.4.1.3 of this Agreement are fully observed, and the Owner shall not do, cause or allow to be done, anything that would be in breach of the restrictions herein.

4.0 Discretion

- 4.1 Wherever in this Agreement a heritage alteration permit is required, the City or its delegates maintains discretion to approve, refuse, or issue such permit; and,

- 4.1.1 Such exercise of discretion relating to the issuance of the heritage alteration permit shall be made by the City or its delegates acting reasonably in accordance with sound municipal heritage and conservation practice; and
- 4.1.2 Such exercise of discretion, including any terms and conditions imposed shall be consistent with the *Local Government Act*, and with the intent, terms, conditions, and guidelines of the Conservation Plan.

5.0 Application of this Agreement

- 5.1 Unless otherwise stated, the terms and conditions of this Agreement respecting the Heritage Building apply only to the structures and exteriors of the buildings, including without limitation the foundations, walls, roofs, and all exterior doors, windows, and architectural ornamentation.

6.0 Construction and Maintenance of Works

- 6.1 Pursuant to s. 610 and s. 617 of the *Local Government Act*, wherever the Owner is issued a Heritage Alteration Permit, to restore, rehabilitate, replicate, repair, replace, maintain, or in any way alter improvements on, or features of the Heritage Building, identified in the Conservation Plan as having heritage value, or to construct or maintain other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the terms of this Heritage Revitalization Agreement and any Heritage Alteration Permits so issued and all plans and specifications forming part thereof and shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage, and conservation practice.

7.0 Landscaping and Servicing Requirements

- 7.1 The Owner agrees to undertake and maintain landscaping on the Lands in general accordance with the Landscape Plans attached hereto as Appendix "D" that forms part of this Agreement (the "**Landscaping**").
- 7.2 The Owner agrees to provide and pay for all Works and Utilities Requirements in relation to the proposed development of the Land and to provide required bonding and levies for the same. Such servicing works and services are to be completed in compliance to the requirements of the "City of Port Moody Subdivision and Development Servicing Bylaw, No. 2831" and shall be established by entering into a Development Servicing Agreement prior to final approval of the subdivision.

8.0 Commencement and Completion

- 8.1 The Owner agrees to commence the work, Landscaping, and utilities requirements outlined in this Agreement, following the adoption of City of Port Moody Heritage Revitalization Agreement Bylaw, 2019, No. 3179 (2801-2831 St. George Street)" and to complete the above no later than two (2) years following the adoption of Bylaw No. 3179.

9.0 Security

- 9.1 As a condition of the execution of this Agreement, the Owner shall provide to the City, security (the "Security") for the completion of items related to landscaping. The security shall be calculated based on 100% of the total cost of hard and soft landscaping (on-site and off-site) and include GST, a 10% contingency and 5% for inflation. The Security, in the form of a letter of credit, shall be made out to the City to ensure that the development is carried out in accordance with the terms and conditions set out herein and if for any reason the Permit holder neglects or otherwise fails to complete the works, within two (2) years of the date of issuance of this Agreement, the City may, in its sole discretion, provided it has given the Owner seven (7) days written notice, complete the works or any portion thereof and all costs incurred in so doing shall be deducted by the City from the amount of the Security and on final completion to the satisfaction of the City as evidenced by the issuance of a Certificate of Completion, the City shall thereafter refund the remainder of the monies, except for ten (10) percent of the monies, which shall be released after the maintenance period lasting one (1) year from the date of completion for the Landscaping.
- 9.2 Portions of the Security may be returned to the Owner, or reduced, as stages of the works are completed, to the satisfaction of, and at the sole discretion of the City's General Manager of Planning and Development.
- 9.3 As a condition of issuance of this Agreement, the Owner shall pay to the City an on-site landscaping review fee of two (2) percent of the cost of on-site Landscaping and four (4) percent of the cost of off-site Landscaping, which is to be paid by cash or certified cheque.

10.0 Damage or Destruction

- 10.1 In the event that the Heritage Building is damaged, the parties agree that the Owner may repair the Heritage Building, in which event the Owner shall forthwith obtain a heritage alteration permit and any other necessary permits and licences and, in a timely manner, shall restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.
- 10.2 If, in the opinion of the City, the Heritage Building is completely destroyed and the Owner intends to construct a replacement building on the Land, the Owner must, by way of a Heritage Alteration Permit issued pursuant to section 617 of the *Local Government Act*, construct a new building in compliance with the City's Zoning Bylaw, as varied by this Agreement, in a heritage style that is acceptable to the City and substantially similar in design to the Heritage Building in question, as shown and described in Appendix "A", and "C", as the case may be.

11.0 Breach

11.1 In the event that the Owner is in breach of any term of this Agreement, the City may give the Owner notice in writing of the breach and the Owner shall ensure it does nothing to further the breach and shall remedy the breach within 30 days of receipt of the notice. In the event that the Owner fails to remedy the breach within the time allotted by the notice, the City may by bylaw and after conducting a Public Hearing in the manner prescribed by s. 464 through 470 of the *Local Government Act*, cancel this Agreement whereupon all use and occupation of the Land shall thenceforth be in accordance with the City's Zoning Bylaw and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

12.0 Amendment

12.1 The parties acknowledge and agree that this Agreement may only be amended by one of the following means:

12.1.1 With the consent of the Owner and the City and by adoption by City Council of an amending bylaw, which would amend Heritage Revitalization Agreement Bylaw, provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use on site; or,

12.1.2 By Heritage Alteration Permit, issued pursuant to s. 617 of the *Local Government Act*.

13.0 Minor Changes to the Plan

13.1 Minor changes, additions, deletions, variations, alterations, or adjustments to the Plans, Elevations, and Conservations Plans attached hereto as Appendices "A", "C", and "D" may be made by mutual agreement of the parties provided that the restoration, repair, conservation, and maintenance of the Heritage Building remain in substantial accordance with Appendices "A", "C", and "D" and that it can be demonstrated that they have been approved in consultation with a Heritage Consultant who is a member of the Canadian Association of Heritage Professionals.

14.0 Representations

14.1 It is mutually understood and agreed upon between the parties that the City has made no representations, covenants, warranties, promises, or agreements expressed or implied, other than those expressly contained in this Agreement.

15.0 Statutory Authority

- 15.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the City in the exercise of its statutory functions and responsibilities including, but not limited to, the *Local Government Act* and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Lands.

16.0 Modification

- 16.1 If the Owner, in fulfilling the responsibilities and obligations pursuant to this Agreement, perceives or becomes aware of any reasonable risk or injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced, or eliminated except by measure that would be a breach of the restrictions, requirements or obligations herein, the Owner shall notify the City in writing, within 30 days, of the nature and extent of the risk and of the measures the Owner proposes to undertake at the Owners' sole cost to reduce, alleviate, avoid, or eliminate the risk.
- 16.2 Upon being notified, in writing, of an existing risk and the proposed measures to deal with such risk, the City shall, within 90 days, notify the Owner in writing whether it approves or does not approve of the measures being proposed. In the event that the City does not approve the proposed measures, the Owner shall have 30 days in which to propose alternate measures, and the City shall have a further 90 days within which to approve or disapprove the proposed measures. In the event that:
- 16.2.1 The City does not respond within 90 days to either the first or second set of proposed measures;
 - 16.2.2 The City disapproves both the first and second sets of proposed measures; or
 - 16.2.3 The Owner fails to notify the City of a risk or potential loss and/or submit proposed measures to deal with the risk or loss within 30 days as provided in this Section 16.0;

the matter shall be submitted to arbitration on the terms set out in Section 21.0.

17.0 Indemnity

- 17.1 The Owner hereby releases, indemnifies and saves the City, its officers, employees, elected officials, agents, and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts, and demands whatsoever by any person, arising out of or in any way due to:
- 17.1.1 The existence, effect, or enforcement by the City of this Agreement or of any of the restrictions or requirements contained herein;
 - 17.1.2 The breach or non-performance by the Owner of any term or provision of this Agreement;
 - 17.1.3 Any work or actions of the Owner in performance of its obligations hereunder; or
 - 17.1.4 Any wrongful act or omission, default, or negligence of the Owner.
- 17.2 In no case shall the City be liable or responsible in any way for:
- 17.2.1 Any personal injury, death, or consequential or pure economic damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or
 - 17.2.2 Any loss or damage of any nature whatsoever, howsoever caused to the Land or any improvements or personal property thereon belonging to the Owner or to any other person;
 - 17.2.3 The Owner's compliance with the restrictions and requirements herein;
 - 17.2.4 The wrongful or negligent failure or omission of the Owner to comply with the restrictions or requirements contained herein;
 - 17.2.5 The refusal, omission, or failure by the City to enforce or require compliance by the Owner with the restrictions or requirements herein or with any other term, condition, or provision of this Agreement.

18.0 Alternative Remedies

- 18.1 Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement, including out of any heritage alteration permit issued out of this Agreement, may be exercised fully in accordance with the *Local Government Act*, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference herein to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

19.0 No Waiver

19.1 No restrictions, requirements, or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing, or overlooking by the City on previous occasions of any default, or any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies by the City.

20.0 Statutory Authority and Proprietary Rights

20.1 Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled, and no permissive bylaw enacted by the City, or permit, licence, or approval, granted, made, or issued there under, or pursuant to Statute, by the City shall stop, limit, or impair the City from relying upon and enforcing this Agreement in its proprietary capacity as the Owner of an interest in the Land.

21.0 Compliance with Laws

21.1 Despite any provision of this Agreement, the Owner shall comply with all laws, including bylaws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations, and orders are mandatory and necessarily require the breach of any restriction or positive obligation herein to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended, but only to the extent and for the time that such mandatory law, regulation, or order is inconsistent with compliance with the said restrictions or obligations.

22.0 Inspection

22.1 Without limiting the City's power of inspection conferred by statute and in addition thereto, the City shall be entitled at all reasonable times and from time to time to enter onto the Lands for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

23.0 Headings

23.1 The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any provision hereof.

24.0 Appendices

24.1 All appendices to this Agreement are incorporated into and form part of this Agreement.

25.0 Interpretation

25.1 In this Agreement, the “Owners” shall mean the registered owner in fee simple of the land and all improvements, or a subsequent registered owner in fee simple of the land and all improvements, as the context requires or permits.

26.0 Severability

26.1 If any section, subsection, clause, or phrase of this Agreement is for any reason held to be invalid by the decision of a Court of competent jurisdiction, the invalid portion shall be severed and the decision that is invalid shall not affect the validity of the remainder.

27.0 Successors Bound

27.1 All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors, and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements herein on the part of the Owner.

27.2 The City shall file a notice with the Land Title Office, as provided for in the *Local Government Act*, and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by the Agreement.

28.0 Other Documents

28.1 The Owner agrees at the request of the City, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the City to give full effect to this Agreement.

29.0 Partial Release

29.1 It is hereby acknowledged and agreed that after the last of the following:

29.1.1 completion of the restoration of the Heritage Building in accordance with this Agreement and all other terms and conditions of Appendices “A”, “B”, “C”, and “D” of this Agreement;

29.1.2 payment of all money payable to the City in connection with this Agreement; and

29.1.3 provision to the City of the final report referenced in section 1.4.8 of this Agreement confirming the Development has been completed in accordance with this Agreement

the owner of Lot 2 will be released from the obligations set out in sections 1.3, 1.4, 3.0, 6.0 and 10.0 of this Agreement and specifically from the obligation to pay or contribute to the costs and expenses of maintaining and retaining the Heritage Building, which obligations, costs and expenses will, thereafter, be the sole responsibility of the owner of Lot 1.

30.0 No Partnership or Agency

30.1 The parties agree that nothing contained herein creates a partnership, joint venture, or agency relationship between the parties.

IN WITNESS WHEREOF THE Owners and the City have executed this Agreement as of the date first above written.

SIGNED by the Owner in the presence of:

_____)
_____)
_____)
Signature _____)
_____)
_____)
Name (Printed) _____)
_____)
_____)
Street Address _____)
_____)
_____)
City, Province, Postal Code _____)
_____)
_____)
Occupation _____)
_____)

IN WITNESS WHEREOF THE Corporate Seal of the City was hereunto affixed in the presence of:

_____)
_____)
_____)
MAYOR _____)
_____)
_____)
_____)
_____)
CORPORATE OFFICER _____)



JOHNSTON RESIDENCE

2801 ST. GEORGE STREET, PORT MOODY, BC

CONSERVATION PLAN

6 APRIL 2016

DONALD LUXTON
AND ASSOCIATES INC



TABLE OF CONTENTS

1. INTRODUCTION.....	1
2. HISTORIC CONTEXT	2
3. STATEMENT OF SIGNIFICANCE	5
4. CONSERVATION GUIDELINES.....	6
4.1 Standards and Guidelines	6
4.2 Conservation References	7
4.3 General Conservation Strategy	8
4.4 Sustainability Strategy	8
4.5 Alternate Compliance	10
4.6 Site Protection	12
5. CONSERVATION RECOMMENDATIONS	14
5.1 Site	14
5.2 Form, Scale, and Massing.....	16
5.3 Foundation	16
5.4 Exterior Wood-Frame Walls	16
5.5 Front Verandah	18
5.6 Fenestration	21
5.7 Roof	23
5.8 Colour Schedule	25
6. MAINTENANCE PLAN	27
6.1 Maintenance Guidelines	27
6.2 Permitting.....	27
6.3 Routine, Cyclical and Non-Destructive Cleaning	27
6.4 Repairs and Replacement of Deteriorated Materials	28
6.5 Inspections	28
6.6 Information File	28
6.7 Exterior Maintenance	29
APPENDIX A: RESEARCH SUMMARY	32





Front facade of 2801 St. George Street.



1.0 INTRODUCTION

HISTORIC NAME:	Johnston Residence
CIVIC ADDRESS:	2801 St. George Street, Port Moody, British Columbia
ORIGINAL OWNER:	William and Lulie Johnston
DATE OF CONSTRUCTION:	1911
ARCHITECT:	Unknown
BUILDER:	Unknown

The Johnston Residence is a handsome Foursquare house, representing the development of Port Moody during the pre-World War One boom period. Constructed in 1911, the Johnston Residence is a two-storey house characterized by its full-width front verandah, hipped roofs and wooden details. Later alterations to the historic house include: the addition at the rear portion (south elevation) of the house, the enclosing of the northeast return of the front verandah, and seismic upgrades to the existing foundation to accommodate use of basement as dwelling space.

The proposed conservation strategy for the Johnston Residence involves: the relocation of the historic house closer to the property lines on St. George Street and Moody Street; and the preservation of its exterior features and character-defining elements.

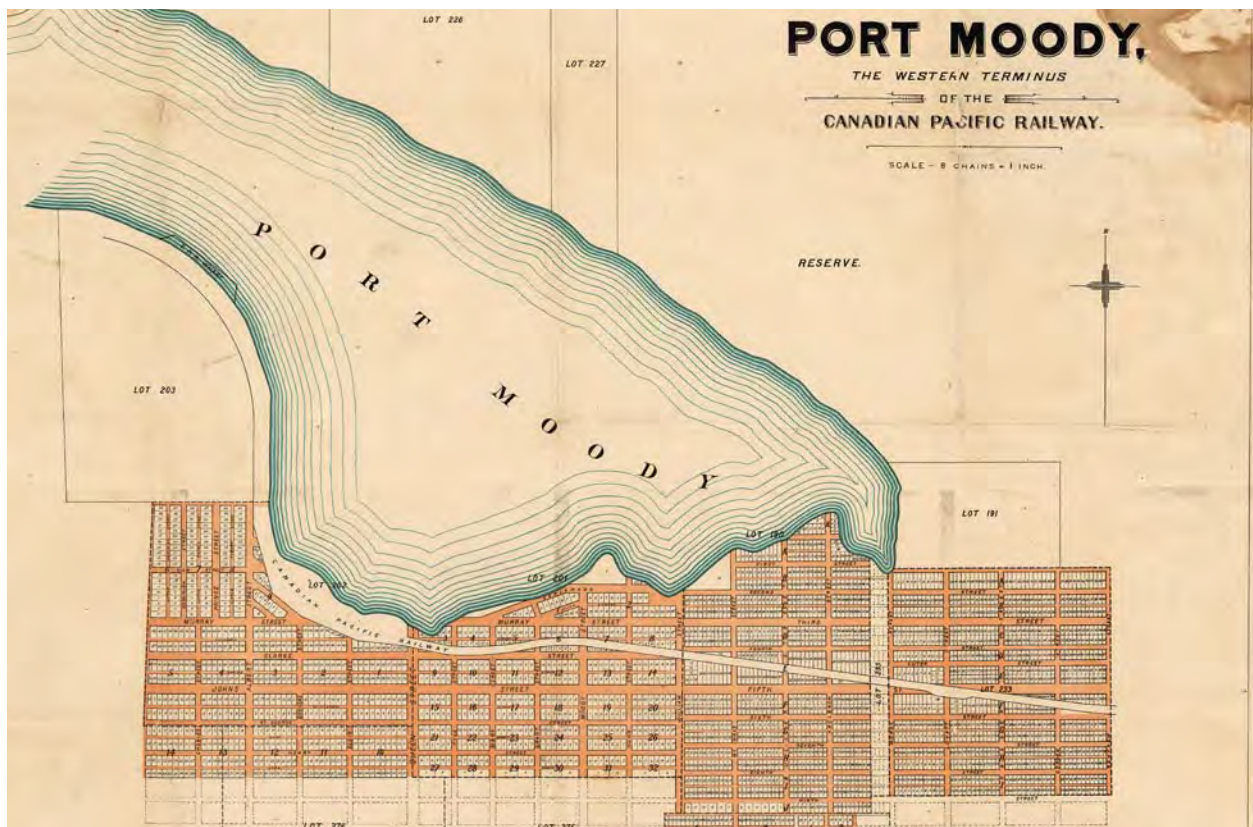
The conservation of the house will be enabled under a Heritage Revitalization Agreement with the City of Port Moody as part of the development of 2801-2829 St. George Street into a multi-family townhouse development. The development complies with Development Permit Area 2: Moody Centre Heritage Character Area.

This Plan sets the guidelines for the relocation and conservation of original elements of the houses, based on the *Standards and Guidelines for the Conservation of Historic Places in Canada*. It also includes a cyclical maintenance plan for the buildings, to ensure the long-term conservation of the Johnston Residence.

2.0 HISTORIC CONTEXT

The Johnston Residence is located in Moody Centre, one of Port Moody's two Heritage Conservation Areas (HCA); the other being the loco Townsite. Encompassing the south shore of Burrard Inlet, and located adjacent to the Canadian Pacific Railway (CPR) tracks, Moody Centre was Port Moody's historic commercial and residential downtown. The main commercial area of Moody Centre includes Clarke Street and St. Johns Street, which run east-west and parallel to one another. The residential community of Moody Centre was developed immediately south of the commercial areas and extends up the Chines escarpment, a steep forested slope, which is still home to a plethora of wild flora and fauna. The character of the area is augmented by superb views to the north and by many mature landscaping elements.

Port Moody was originally surveyed by the Royal Engineers who arrived in British Columbia in 1858. The detachment was created by an Act of British Parliament and commanded by Colonel Richard Moody, after whom the area is named. Among the Royal Engineers was John Murray, who accepted the Crown's offer to sappers such as himself of 150 acres of land if they remained in British Columbia following their assignment; Murray is known today as one of Port Moody's first settlers. Following the surveying work, development in Port Moody began to increase. Settlement and construction in the area reached a new height when the CPR named Port Moody as the western terminus of the Company's cross-country line.



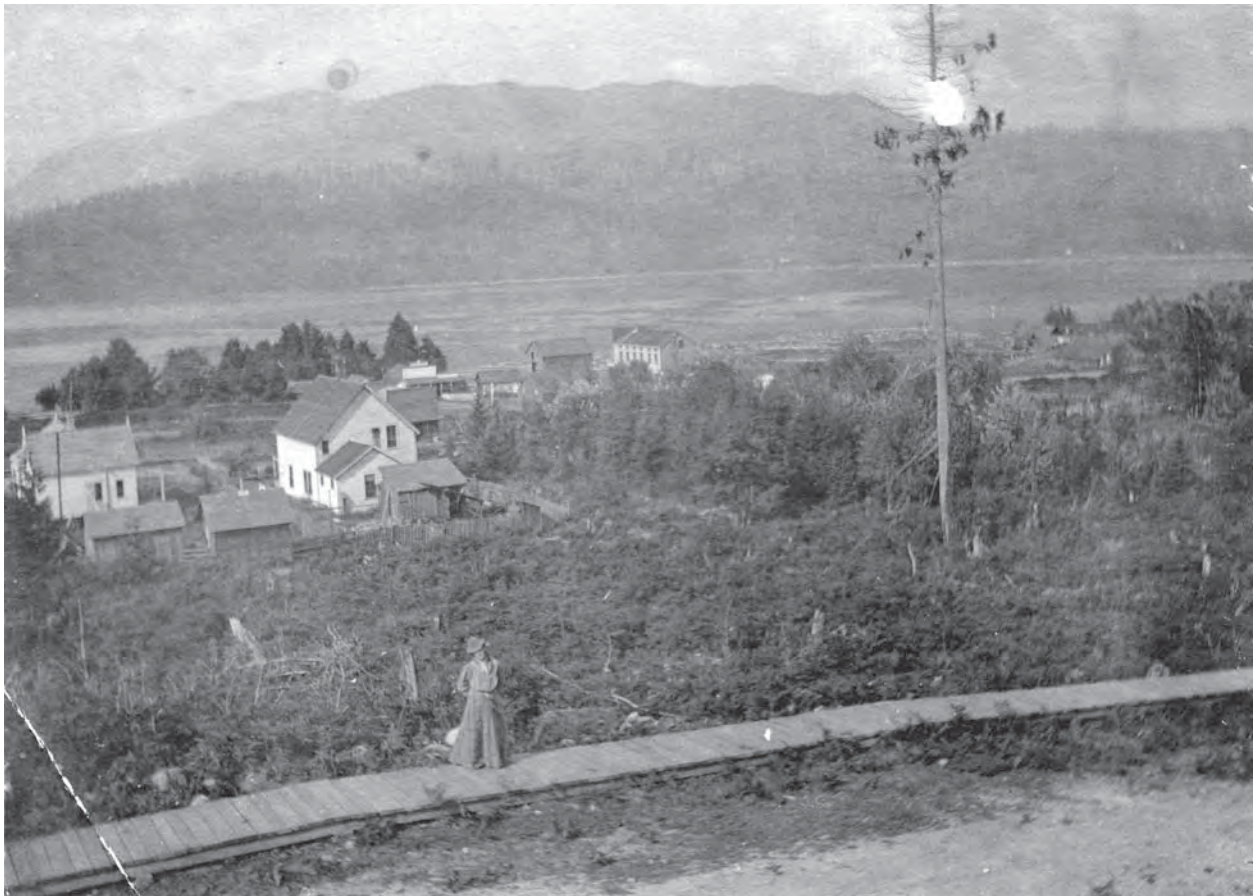
Port Moody, the Western Terminus of the Canadian Pacific Railway, 1884, City of Vancouver Archives (CVA) AM1594-: MAP 91



John Murray Property, Port Moody, 1884, CVA AM54-S4-: Out P30



Flavelle Mill, Port Moody Station Museum



View of Port Moody, 1908, CVA Out P259

HISTORIC CONTEXT

By 1880, the area witnessed substantial construction in anticipation of the arrival of the railway. Infrastructure to support the impending arrival was quickly established, along with the construction of hotels, stores, offices, and houses. On July 4, 1886 the first cross-Canada train, Engine 371, arrived in Port Moody. However, shortly following this momentous event, the CPR began construction on the extension of the rail line that would see Vancouver become the ultimate western terminus, effectively halting the rapid development of Port Moody. Still, development did not permanently cease. Due to its position on the CPR rail line, its location on Burrard Inlet, its variety of industries, and its proximity to Vancouver, Port Moody remained an attractive and desirable place to settle.

Many of the houses in the vicinity of the Johnston Residence were built during the Edwardian era boom and the subsequent interwar period. A sawmill had opened in the area in 1905, employing 125 men, followed by several oil refineries. In 1915, the Imperial Oil Company established a large development just outside of the Port Moody city boundary, attracting labourers to the area. The lumber industry continued to grow and dominate Port Moody, peaking in the 1920s, when the area was occupied by many private homes and several general stores. The Johnston Residence was one of the early Port Moody residences constructed in 1911 during the pre-war residential construction boom.



Arrival of train 371 to Port Moody, CVA AM54-S4-- Can P3

3.0 STATEMENT OF SIGNIFICANCE

JOHNSTON RESIDENCE

Description of Historic Place

The Johnston Residence is a two-storey, Edwardian-era Foursquare residence located at the corner of St. George Street and Moody Street, in the historic Moody Centre neighbourhood of Port Moody. The house is characterized by its full-width front verandah, hipped roofs and wooden details.

Heritage Value of Historic Place

The Johnston Residence is significant for its association with the early, Edwardian-era development of Port Moody and original owner, William Thomas Johnston, and for its Foursquare architecture.

Port Moody began to develop in the late 1800s, when it was originally selected as the western terminus for the Canadian Pacific Railway. When Vancouver was instead chosen as the terminus, Port Moody lost many of its investors and residents. The area recovered after a number of sawmills were established along Burrard Inlet in the early 1900s. Concurrently, several oil refineries opened in the area, followed in 1915 by the large Imperial Oil Company development just outside the Port Moody boundary. In 1911, during this industrial boom, William Thomas Johnston (1882-1948), a prominent Port Moody citizen, had his home constructed along St. George Street. Johnston served as one of Port Moody's early aldermen, operated the Johnston Bros. general merchant business along Clarke Street, and served as the Chairman of the Board of Works. The Johnstons owned the house until 1928.

The Johnston Residence is an excellent example of Foursquare architecture in Port Moody. The symmetrical design of the Foursquare originated as a reaction to the more elaborate and flamboyant Victorian styles, which often included ornate elements. The typical Foursquare house was constructed from quality local materials, such as fir and cedar, which would have often been produced

in local sawmills in and around Port Moody. Large windows provided the maximum amount of light and views, while the large open verandah allowed the occupants to extend their living space outdoors. The Johnston Residence adheres to these principles of Foursquare architecture.

Character-Defining Elements

The elements that define the heritage character of the Johnston Residence are its:

- location at the corner of St. George Street and Moody Street in Port Moody;
- continuous residential use since 1911;
- residential form, scale and massing as expressed by its two-storey height and full basement;
- wood frame construction including lapped wooden siding;
- Edwardian Foursquare style detailing including its symmetrical hipped-roof structure with closed soffits; wooden cornerboards; full-width front verandah with hipped roof, and lathe turned columns;
- original wooden sash windows including double-hung assemblies, some with multi-paned upper sashes and coloured glass, with wooden horns; and fixed assemblies;
- original wooden front door with oval inset glazing; and
- original external red brick chimney.

4.0 CONSERVATION GUIDELINES

4.1 STANDARDS AND GUIDELINES

The Johnston Residence, located within the Heritage Conservation Area (HCA) of Moody Centre, is an important heritage resource in Port Moody. The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the Guidelines, the work proposed for the Johnston Residence includes aspects of preservation, restoration, and rehabilitation.

Preservation: *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

Restoration: *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

Rehabilitation: *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to the Johnston Residence should be based upon the standards outlined in the *Standards and Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

STANDARDS

Standards relating to all Conservation Projects:

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining element to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.



9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

Additional Standards relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

4.2 CONSERVATION REFERENCES

The proposed work entails the Preservation, Restoration, and Rehabilitation of the exterior of Johnston Residence. The following conservation resources should be referred to:

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010.
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

National Park Service, Technical Preservation Services. Preservation Briefs:

Preservation Brief 4: Roofing for Historic Buildings
<http://www.nps.gov/tps/how-to-preserve/briefs/4-roofing.htm>

Preservation Brief 9: The Repair of Historic Wooden Windows.
<http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.
<http://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.
<http://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

Preservation Brief 33: The Preservation and Repair of Historic Stained and Leaded Glass.
<http://www.nps.gov/tps/how-to-preserve/briefs/33-stained-leaded-glass.htm>

Preservation Brief 37: Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing.
<http://www.nps.gov/tps/how-to-preserve/briefs/37-lead-paint-hazards.htm>

Preservation Brief 41: The Seismic Retrofit of Historic Buildings Keeping Preservation in the Forefront.
<http://www.nps.gov/tps/how-to-preserve/briefs/41-seismic-retrofit.htm>

Preservation Brief 45: Preserving Historic Wood Porches.
<http://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>

Preservation Brief 47: Maintaining the Exterior of Small and Medium Size Historic Buildings.
<http://www.nps.gov/tps/how-to-preserve/briefs/47-maintaining-exteriors.htm>

4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to relocate the existing historic structure closer to the property lines on St. George Street and Moody Street, while undertaking a rehabilitation that will upgrade its structure and services to increase its functionality for continued multi-family residential use. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored.

Proposed Redevelopment Scheme

The conservation work of Johnston Residence will be incorporated into the Heritage Revitalization Agreement (HRA) to develop 2801-2829 St. George Street into a multi-family townhouse redevelopment.

Due to the nature of the proposed design, all new visible construction will be considered a modern addition to the historic structure. The *Standards and Guidelines* list recommendations for new additions to historic places. The proposed design scheme should follow these principles:

- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Design for the new work may be contemporary

or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.

- The new additions should be physically and visually compatible with, subordinate to and distinguishable from the preserved historic façade.

An addition should be subordinate to the historic place. This is best understood to mean that the addition must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition. Additions or new construction should be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

4.4 SUSTAINABILITY STRATEGY

Sustainability is most commonly defined as “meeting the needs of the present without compromising the ability of future generations to meet their own needs” (Common Future: The Brundtland Commission). The four-pillar model of sustainability identifies four inter-linked dimensions: environmental, economic, social and cultural sustainability, the latter including the built heritage environment.

Current research links sustainability considerations with the conservation of our built and natural environments. A competitive, sustainable economy requires the conservation of heritage buildings as an important component of a high quality urban environment.

"We need to use our cities, our cultural resources, and our memories in such a way that they are available for future generations to use as well. Historic preservation makes cities viable, makes cities liveable, makes cities equitable."
(Economic Benefits of Preservation, Sustainability and Historic Preservation)

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by:

- Reducing solid waste disposal (reduced impact on landfills and their expansions);
- Saving embodied energy (defined as the total expenditure of energy involved in the creation of the building and its constituent materials);
- Conserving historic materials that are significantly less consumptive of energy than

many new replacement materials (often local and regional materials, e.g. timber, brick, concrete, plaster, can be preserved and reduce the carbon footprint of manufacturing and transporting new materials).

The following considerations for energy efficiency in historic structures are recommended in the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* and can be utilized for the Johnston House.

Sustainability Considerations

- Add new features to meet sustainability requirements in a manner that respects the exterior form and minimizes impact on character-defining elements.
- Work with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
- Comply with energy efficiency objectives in a manner that minimizes impact on the character-defining elements and overall heritage value of the historic building.

Energy Efficiency Considerations

- Identifying the historic place's heritage value and character-defining elements — materials, forms, location, spatial configurations, uses and cultural associations or meanings.
- Complying with energy efficiency objectives in such a manner that character-defining elements are conserved and the heritage value maintained.
- Working with energy efficiency and conservation specialists to determine the most appropriate solution to energy conservation problems that will have the least impact on character-defining elements and the overall heritage value.
- Weighing the total environmental cost of energy saving measures against the overall environmental costs of retaining the existing features or fabric, when deciding whether to



Four Pillars of Sustainability [CityPlan 2030
- City of Norwood Payneham & St. Peters]

proceed with energy saving measures.

Buildings: Insulation

- Exercising caution and foreseeing the potential effects of insulating the building or the envelope system so as to avoid damaging changes such as displacing the dew point and creating thermal bridges.
- Installing thermal insulation in attics and in unheated cellars and crawl spaces to increase the efficiency of the existing mechanical systems unless this could adversely affect the building envelope.

Buildings: Windows

- Utilizing the inherent energy conserving features of a building by maintaining character-defining windows and/or louvered blinds in good operating condition for natural ventilation.
- Improving thermal efficiency with weather-stripping, storm windows, interior shades and, if historically appropriate, blinds and awnings.
- Installing interior storm windows with airtight gaskets, ventilating holes and/or removable clips to ensure proper maintenance and to avoid condensation damage to character-defining windows.
- Installing exterior storm windows that do not damage or obscure character-defining windows and frames.

Buildings: Mechanical Systems

- Improving the energy efficiency of existing mechanical systems by installing insulation in attics and basements, unless this could adversely affect the building envelope.

The conservation recommendations for the Johnston House recognize the need for sustainable interventions and adhere to the *Standards and Guidelines* as outlined.

4.5 ALTERNATE COMPLIANCE

As an early, Edwardian era Foursquare residence within the historic Moody Centre neighbourhood of Port Moody, the Johnston Residence may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following legislation.

4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building.

Over the past few years, a number of equivalencies have been developed and adopted in the *British Columbia Building Code (2012)* that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the "Alternative Compliance Methods for Heritage Buildings."

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

If fire separation needs to be upgraded between the heritage house and adjacent buildings, sprinklers or intumescent paint are recommended. The installation of fibre-cementitious siding, such as

Hardie Board, is not a recommended intervention on the heritage building.

4.5.2 ENERGY EFFICIENCY ACT

The provincial *Energy Efficiency Act (Energy Efficiency Standards Regulation)* was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards and Guidelines for the Conservation of Historic Places in Canada* for further detail about energy efficiency considerations.

4.5.3 HOMEOWNER PROTECTION ACT

The *Homeowner Protection Act* was implemented in 1998 as a means to strengthen consumer protection for the purchase of new homes. The act was passed following a commission of enquiry into the leaky condo crisis, and was intended to protect homeowners by ensuring home warranty insurance was provided on new construction, covering two years on labour and materials, five years on the building envelope and 10 years on the structure of the home.

As the Act was intended to regulate new construction, considerations were not taken of buildings that have remained in sound condition for a many

number of years that already far exceeded what the HPA requires for a warranty on a new home. The act did not take into consideration the protection of heritage value, and consequently resulted in the loss of significant heritage fabric through the requirement of new windows and rainscreen wall assemblies on residential heritage rehabilitation projects. An example being the requirement to remove original wooden siding that has successfully protected the building for 100 years, and replace it with a rainscreen assembly that only has warranty for five years. Not only was valuable heritage fabric lost, but new materials will likely not last nearly as long as the original.

Amendments to the *Homeowner Protection Act Regulation* made in 2010 allow for exemptions for heritage sites from the need to fully conform to the BC Building Code under certain conditions, thus removing some of the barriers to compliance that previously conflicted with heritage conservation *Standards and Guidelines*.

The changes comprised:

1. an amendment to the *Homeowner Protection Act Regulation, BC Reg. 29/99* that allows a warranty provider, in the case of a commercial to residential conversion, to exclude components of the building that have heritage value from the requirement for a warranty, and
2. clarification of the definition of 'substantial reconstruction.' The latter clarification explains that 75% of a home must be reconstructed for it to be considered a 'new home' under the Homeowner Protection Act, thus enabling single-family dwelling to multi-family and strata conversions with a maximum of 75% reconstruction to be exempt from home warranty insurance. The definition of a heritage building is consistent with that under the *Energy Efficiency Act*.

The Johnston Residence falls into the second category, as the proposed project involves retaining a high degree of the original structure and less

than 75% of the house will be reconstructed. Consequently, this project is not considered a substantial reconstruction as per the amended definition in the Homeowners Protection Act, and can be exempted from the requirement of a warranty. This amendment will enable a higher degree of retention and preservation of original fenestration, siding and woodwork.

4.6 SITE PROTECTION

It is necessary to ensure the heritage resource is protected from damage at all times. At any time that the house is left vacant, it should be secured against intrusion and vandalism through the use of appropriate fencing and security measures. This is especially important if the building is missing windows or doors or is left elevated for any period of time. Security measures may include mothballing the historic property and/or hiring a security guard for the duration of the work.

The Johnston Residence at 2801 St. George Street may be vacant prior to rehabilitation work. If it remains vacant for an extended period of time, the structure should be temporarily closed up to protect it from the weather and to prohibit unauthorized access.

The following checklist will ensure that work items for the protection during the temporary mothballing of the historic structure are not inadvertently omitted and the listed heritage resource secured:

Moisture

- ☐ Is the roof watertight?
- ☐ Is exterior cladding in good condition to keep water out?
- ☐ Is the site of the temporary location properly graded for water run-off?

Ventilation

- ☐ Have steps been taken to ensure proper ventilation of the building?
- ☐ Have interior doors been left open for ventilation purposes?
- ☐ Has the secured building been checked within the last 3 months for interior dampness or excessive humidity?

Pests

- ☐ Have nests/pests been removed from the building's interior and eaves?
- ☐ Are adequate screens in place to guard against pests?
- ☐ Has the building been inspected and treated for termites, carpenter ants, rodents, etc.?

Security

- ☐ Are smoke and fire detectors in working order?
- ☐ Are wall openings boarded up and exterior doors securely fastened?
- ☐ Are plans in place to monitor the building on a regular basis?
- ☐ Are the keys to the building in a secure but accessible location?
- ☐ Are the grounds being kept from becoming overgrown?
- ☐ Have the following been removed from the interior: trash, hazardous materials such as inflammable liquids, poisons, and paints and canned goods that could freeze and burst?
- ☐ Is the site securely fenced and regularly patrolled?
- ☐ Is the building signed identifying it as a protected heritage building with a phone number for citizens to call with questions or concerns or report vandals?



The aforementioned items will assist in protecting the listed heritage resource, should it ever remain vacant for an extended period of time during the planning process until actual site work commences.

Generally, once a heritage property is no longer undergoing rehabilitation work and is under occupancy of its owners, lockable doors and lower level windows and continued monitoring by the owners should be adequate protection. A comprehensive site protection plan should be developed in discussion between owner, contractor and/or architect.



5.0 CONSERVATION RECOMMENDATIONS

A condition review of the exterior of the Johnston Residence was carried out during a site visit on 23 February 2016. The recommendations for the conservation of the exterior of Johnston Residence are based on the site review and archival documents that provide valuable information about the original appearance of the historic building. Some areas of the building were not accessible during the site review, and will require further investigation.

The following chapter describes the materials, physical condition and recommended conservation strategy for the Johnston Residence based on Parks Canada's *Standard and Guidelines for the Conservation of Historic Places in Canada*.

5.1 SITE

The Johnston Residence is located on the south east corner of St. George Street and Moody Street intersection. It is within the Moody Centre Heritage Conservation Area. The house remains in its original location, which is a character-defining element of the historic house, and should be preserved. The proposed redevelopment scheme involves relocation of the house closer to the property lines on St. George Street and Moody Street, and

rehabilitating the remaining portion of the site into a multi-family townhouse complex. A separate existing garage at the rear of the site will be removed to accommodate the proposed infill structure along the laneway.

Mature landscaping should be preserved, if possible. However, any overgrown landscaping should be trimmed back, to ensure no damage is done to the exterior fabric of the house. The overgrown branches of the existing tree at the front of the site require trimming and maintenance, which will prevent any unnecessary water damage from occurring to the house due to its close proximity. Tree should be continually monitored and trimmed.

Conservation Strategy: Rehabilitation

- Relocate the building closer to the property lines on St. George Street and Moody Street; all rehabilitation work will occur within the property lines.
- Retain the residential frontages along St. George Street and Moody Street.
- Proposed interventions must maintain and enhance the relationship of the house to the street.
- Retain mature landscaping, as possible.



Aerial view of 2801 St. George Street, as seen from Bing Maps.



Photo showing Johnson House in its original location, as seen from the northwest corner of St. George Street and Moody Street.



Photo showing partial north (front facade) and east elevations. Note the original Johnston House (dashed in red) and the contemporary side and rear addition (early addition shaded in red).

- Demolish contemporary addition at rear of site and rehabilitate to accommodate infill structure.
- Design a new infill structure to the south that is “physically and visually compatible with, subordinate to, and distinguishable from the historic place” as recommended in **Section 4.1 (Standard # 11)**.

5.2 FORM, SCALE & MASSING

The Johnston Residence is an excellent example of Foursquare architecture in Port Moody. The original portion of the residence adheres to the design principles of Foursquare architecture; two-storey height and full basement, with a rectangular plan, a hipped-roof, and full width front porch with hipped-roof. The original form, scale and massing of the historic house is a character-defining element, and should be preserved.

The historic house retains most of its original form, with signs of major contemporary alteration and additions at the east and south elevations, respectively. The proposed rehabilitation scheme includes the preservation of the original overall form of the historic building, and the demolition of additions at the rear of the site to the south.

Conservation Strategy: Preservation

- Preserve the overall original form, scale and massing of the building, as viewed from the north and the west elevations.
- The historic front (north) façade, east and west elevations should be retained.
- Rear additions to the south and extensions to the east may be removed, and rear elevation may be rehabilitated to meet functional needs.

5.3 FOUNDATION

Most of the existing poured-in-place concrete foundation of Johnston Residence is clad with narrow, vertical shiplap wood siding and not visible for review; with the exception of the exposed concrete foundation on the east stairwell access to basement, which appears to be in good condition.

Due to the proposed relocation of the house, new foundations will be required. Reinforced concrete is a suitable material for new foundation. To ensure that the new foundation remains protected from water damage, it is recommended to install a stone drainage course along the perimeter of the house, and to keep landscaping away from direct contact with the foundations.

Conservation Strategy: New Construction

- New foundation are required at the proposed new location of the house. Concrete is a suitable material.
- To ensure the prolonged preservation of the foundations, all landscaping should be separated from the foundations at grade by a course of gravel or decorative stones, which help prevent splash back and assist drainage.

5.4 EXTERIOR WOOD-FRAME WALLS

The Johnston Residence features original wood-frame construction, with original character-defining Edwardian Foursquare elements that were constructed from quality local materials which would have been produced in local sawmills in and around Port Moody.

All exterior walls are clad in wooden horizontal lap siding with wooden cornerboards, except the foundation wall that is clad with vertical shiplap siding. All aforementioned character-defining elements should be preserved and restored/repared as required.



Photo showing later addition at rear, south elevation of Johnston House.



Photo showing partial, original west elevation of Johnston House, facing Moody Street.

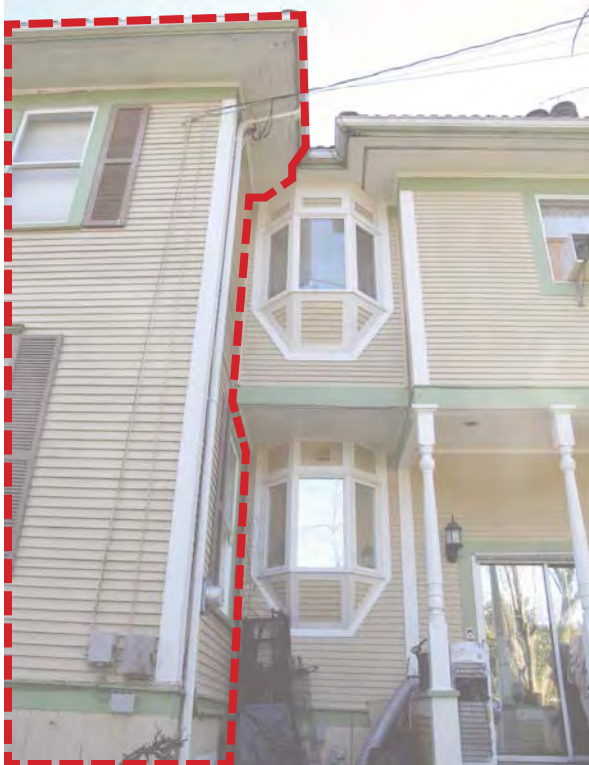


Photo showing the interface between the southwest return of the original Johnston house (dashed in red) and the contemporary rear addition.

\$1,995⁰⁰ and Our FREE BUILDING PLANS
WILL BUILD, PAINT AND COMPLETE, READY FOR OCCUPANCY, THIS MODERN NINE-ROOM \$3,000.00 HOUSE
HOW TO GET ANY OF OUR PLANS FULLY EXPLAINED ON PAGE 2.

MODERN HOME No. 52
 Concrete Block Construction. On the opposite page we illustrate a few of the materials we specify on this our \$1,995.00 house.

OUR \$1,995.00 HOUSE
 Illustrated above, consists of nine good sized rooms and bathroom, as shown in plans.

FIRST FLOOR.
 Kitchen - 11 feet by 10 feet.
 Dining Room - 14 feet by 12 feet.
 Living Room - 14 feet by 16 feet 6 inches.
 Reception Hall - 11 feet 6 inches by 11 feet.
 Bedroom - 11 feet 6 inches by 11 feet.

SECOND FLOOR.
 Bedroom - 12 feet by 12 feet.
 Bedroom - 9 feet 6 inches by 12 feet.
 Bedroom - 10 feet 6 inches by 12 feet 6 inches.
 Bedroom - 11 feet 6 inches by 7 feet.
 Bathroom - 7 feet by 5 feet 9 inches.
 Bath - 5 feet 9 inches by 5 feet 9 inches.

The Arrangement of Our Houses
 is such that they can be well heated with very little fuel. The 42 inch boiler is the size of the average boiler of concrete block construction which is the size of the boiler of concrete block construction. The boiler will give you 100,000 B.T.U. of heat. Remember the size of boiler is 42 inch by 42 inch. 42 inch by 42 inch, 42 inch by 42 inch, 42 inch by 42 inch, 42 inch by 42 inch.

DO NOT ATTEMPT BUILDING WITHOUT PLANS, don't pay an architect \$100.00 or \$150.00 for plans which in our way complete in accuracy or detail with the plans we will furnish you free of charge on condition that you send us a small portion of your bill work order. If you were so thoughtful to build a house similar to the house illustrated above, it would cost you from \$200.00 to \$1,000.00 more.
 See how you can get the plans for this house free on page 2.

Sears, Roebuck & Co., Chicago, Ill. BOOK OF MODERN HOMES

Archival image of typical Foursquare style from Book of Modern Homes, Sears.

Conservation Recommendation: Restoration

- Due to the integrity of wood frame structure, the exterior walls should be preserved through retention and in-situ repair work. Structural investigation may be necessary to understand the condition of existing exterior walls.
- Paint restored wood cladding according to colour schedule devised by Heritage Consultant.
- New trim, including window and door trim and sills should be appropriate to the historic character of the house, and wood where possible.
- Replace missing or damaged siding or cornerboards where necessary to match existing in material, profile and dimensions. Replicated replacements should be milled to match original in profile and air-dried to avoid changes in size due to shrinkage.
- Combed and/or textured lumber, or fibre cement products such as Hardie Board are not acceptable.
- Design structural or seismic upgrades so as to minimize the impact to the character-defining elements.
- Utilize Alternate Compliance Methods for fire and spatial separations including installation of sprinklers where possible.
- If redevelopment include infill at close proximity to the heritage house, non-combustible materials may be used for fire separation reasons. The non-combustible materials should match the original materials and detailing as closely as possible.

5.5 FRONT VERANDAH

The Johnston Residence features an original full-width front verandah with hipped roof and closed soffit, lathe turned columns and newel posts, closed balustrade with open balustrade on either side of the entry stairs, and wooden cornerboards. Most of the aforementioned details on the front verandah appear to be original to the historic house, and should be preserved, except where noted.



View of the porch as seen from the northeast corner.



View of the front porch, looking west.

CONSERVATION RECOMMENDATIONS



Front view of existing porch stairs showing wooden treads and open balustrade.



View of existing porch stairs (looking east) showing open balustrade with lathe turned balusters and columns, and newel posts.



Photos showing top (left) and bottom (right) portion of the engaged lathe turned column at east corner of the front porch.



Photos showing top (left) and bottom (right) portion of the typical full lathe turned column and newel post at the front porch. Note the 2x4 addition on above the newel post that is not a character-defining element of Johnston House.

CONSERVATION RECOMMENDATIONS

As part of the rehabilitation scheme, original wood detailing within the front verandah will be preserved, where possible. At some point, 2x4 were added to the newel posts facing both the interior and exterior of the porch. Any material beyond repair will be replaced with physically and visually consistent material, to match original.

The eastern portion of the closed soffit appears to indicate that the verandah to the east was once open, and wrapped around the corner. The proposed redevelopment scheme involves the restoration of an open verandah to be contiguous to the front at the northeast corner of the historic house.

The original low wood balustrade on the front stairs may require revisions to meet the code. Heritage homes of this vintage were typified by a low balustrade of approximately 24" in height. In order to meet current code, alternate compliance measures should be explored, such as the use of metal pipe rail and/or glass panels to make up the remaining height to meet code requirements.

Conservation Strategy: Preservation & Rehabilitation

- Preserve the original front verandah in its existing full-width configuration.
- Original wood detailing within the front verandah should be preserved and repaired, as possible.
- Remove unsympathetic elements such as porch lattice and 2x4 addition to newel posts.
- Original low height of the balustrade should be retained, with alternate compliance methods utilized to achieve the required 42" height. New possible alternative materials may be glass panels, metal pipe rails or a combination of both.
- Restore the open verandah to wrap around east portion of the historic house, and match the original detailing at the front verandah.
- All exterior wood surfaces should be prepared for repainting according to colour schedule devised by Heritage Consultant.



Perpendicular configuration of closed soffit at the east portion of the front verandah.



Parallel configuration of closed soffit at the west portion of the front verandah, oriented perpendicularly in relation to the exterior wall.



Photo showing original venting along overhang soffit board along the north elevation of the front verandah (missing along the east and west overhang soffits) and decorative wood lattice.

5.6 FENESTRATION

Windows and doors are among the most conspicuous features of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation. — Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

5.6.1 WINDOWS

The Johnston Residence features a variety of original wooden frame and sash fenestration including: double-hung assemblies, some with Queen-Anne Style multi-paned upper sashes and coloured glass, with wooden sash horns; and fixed assemblies. All of these are character-defining elements of the historic house that should be preserved, if possible.

It appears that the majority of original wood-sash and stained glass windows are extant. The original wooden sash has characteristic wooden sash horns at the upper sashes, some of which are multi-pane with coloured glass. All elements have been painted and seem to be in good condition. Note that all visual inspection of the wooden sash were undertaken from ground level. The windows below the water table are not original, and appear to be in good condition.

The intent of the proposed redevelopment scheme is to preserve all original wood-sash windows as possible. Each window should be assessed on a case-by-case basis by a skilled contractor experienced in restoration of historic wood windows. Windows will be repaired as required, and any windows that are too damaged to repair will be replaced in-kind with physically and visually identical replica wood window.



A pair of original double-hung wood-sash windows with wooden horns in symmetrical location above the gable roof of front porch at north elevation.



An original double-hung wood-sash window, with multi-pane upper sashes and coloured glass at the western portion of the front porch.



Original door with oval inset glazing and adjacent fixed-pane wood window with frosted glazing.

CONSERVATION RECOMMENDATIONS

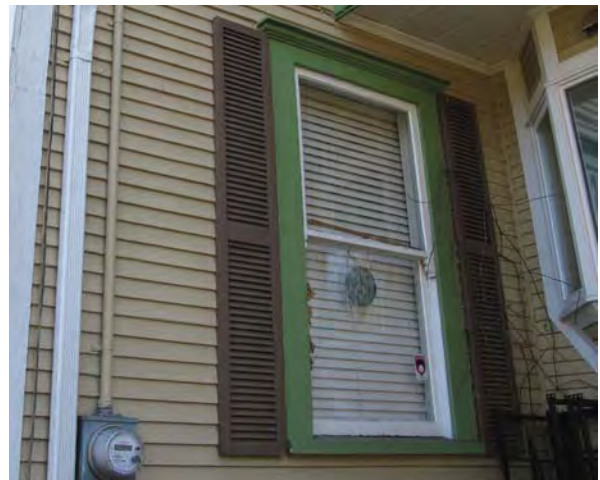


Existing condition of all four original windows at west elevation. Note that all windows on the second floor have similar configuration at west, north, and east elevations. The two ground floor windows at the northwest corner have multi-paned upper sashes and coloured glass.

Single glazing will be preserved, as possible. All original stained glass windows will be preserved, and repaired as required. Side and rear window configuration of later addition may be changed according to proposed window schedule, as necessary, and can include double-glazed wood sash assemblies.

Conservation Strategy: Rehabilitation &/or Restoration

- Preserve all original wood-frame and stained glass windows in their original configuration. Retain existing window sashes; repair as required; install replacement matching sashes where missing or beyond repair.
- Preserve and repair as required, using in kind repair techniques where feasible.



Existing condition of original window at south return of west elevation.

- Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by reapplying putty; weather-strip as necessary.
- Retain historic glass, where possible. Where broken glass exists in historic wood-sash windows, the broken glass should be replaced. When removing broken glass, the exterior putty should be carefully chipped off with a chisel and the glazier's points should be removed. The wood where the new glass will be rested on should be scraped and cleaned well, and given a coat of linseed oil to prevent the wood from absorbing the oil from the new putty. The new glass should be cut 1/16-1/8th smaller than the opening to allow for expansion and irregularities in the opening, to ensure the glazing does not crack due to natural forces. Window repairs should be undertaken by a contractor skilled in heritage restoration.
- Heritage Consultant can review window shop drawings and mock-up, when available. Ensure window manufacturer is aware of recommended sash paint colour prior to finalization of order.
- Later window configuration on side and rear elevations may be rehabilitated to accommodate the revised interior layout. All new windows should be wood-sash, painted.
- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.

5.6.2 DOOR

The Johnston Residence features an original wooden front door with oval inset glazing, which is a character-defining element of the historic house, and should be preserved. The exterior condition appears to be in good condition, although its functionality should be investigated. Heritage Consultant will review at time of condition assessment.

Conservation Strategy: Preservation &/or Restoration

- Retain the original door opening in its original location, and preserve and repair, as possible.

5.7 ROOF

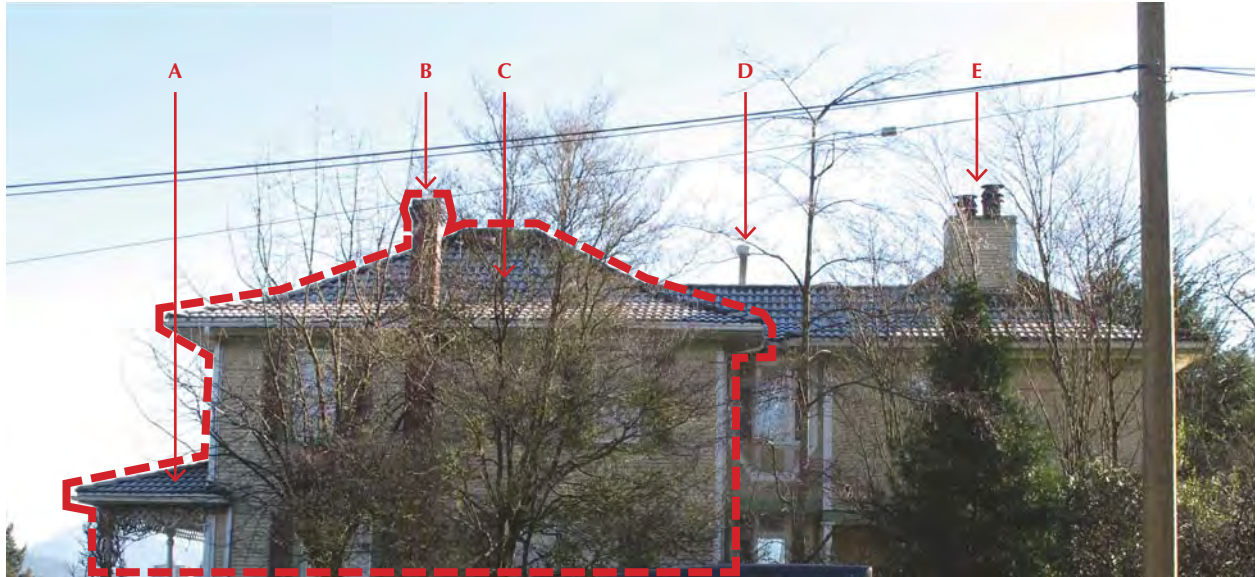
The Johnston Residence features a hipped-roof structure with closed soffits, and full-width front verandah with hipped roof and closed soffits. The original roof configuration is a character-defining element that should be preserved. Existing fascia boards and wood soffits appear to be original, and appear to be in good condition, and should also be preserved.

As part of the proposed rehabilitation scheme, the roof configuration will be preserved and existing wood detailing will be retained, as possible. Roofing material is not original, and can be replaced as needed; Heritage Consultant will review material options when available. The original roofing material would have been sawn cedar shingles. All existing wood trim will be assessed, and repaired as required. If any wood is in too poor condition to repair, then it will be replaced in-kind with physically and visually consistent material to match original.

Conservation Recommendation: Preservation & Rehabilitation

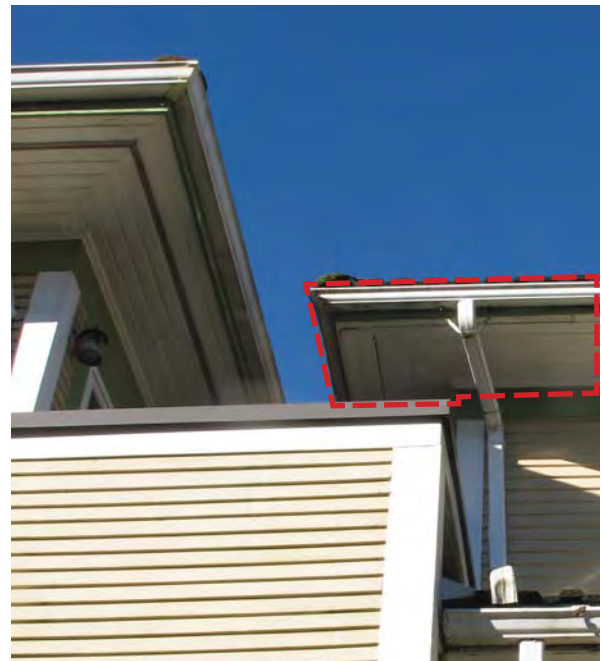
- Preserve the roof structure in its current configuration, as expressed by its hipped-roof structure with overhang and closed soffits.
- If required, roofing system may be rehabilitated. Cedar shingles are the preferred material, Duroid shingles may be acceptable if suitable profile and colour are determined.
- Retain the original fascia boards and wood plank soffits. Assess and repair as required.
- Design and install adequate rainwater disposal system and ensure proper drainage from the site is maintained.
- All exterior wood surfaces should be prepared for repainting according to colour schedule devised by Heritage Consultant.

CONSERVATION RECOMMENDATIONS



Original roof configuration (dashed in red) and later addition at the rear (south) elevation.

A: Front porch gable roof with closed soffit; B: Existing original external red brick chimney; C: Original hipped-roof configuration with closed soffit; D: Contemporary exhaust stack at the east portion of new addition; E: Contemporary internal chimney stack with two steel exhaust pipes clad in narrow wooded horizontal textured lap siding.



Zig-zag detailing of original wooden board soffits (dashed in red), in comparison with later flush corner detailing of wooden board soffits at the west (left) and east (right) elevations.

5.7.1 CHIMNEY

An original character-defining external red brick chimney is located on the west elevation, and is in relatively good condition, with evidences of weathering in the form of efflorescence, minor spalling, and mortar deterioration, with some biological growth along the mortar joints. Above the roofline, the extant red brick chimney stack has a corbelled crown. Where the bricks meet the soffit, it appears that there is water penetration from the roof, which caused further weathering of the brick units. It also appears that some wood trim are missing, and in need of replacement.

Conservation Recommendation: Rehabilitation

- Review flashing elements of original red brick chimney where it meets the roof to ensure no water penetration within and through the roof.
- Replace missing wood trim where soffit meets the brick.
- The original external portions of the chimney should be rebuilt to match the original unpainted brickwork.
- Any new bricks and mortar should match the original as closely as possible in material, dimension, profile and colour.
- The new brickwork should be braced as required, to ensure structural stability.

5.8 COLOUR SCHEDULE

Part of the restoration process is to finish the building in historically appropriate paint colours. The following colour scheme has been derived by the Heritage Consultant, based on colours available at the time the house was built. The colours have been matched to Benjamin Moore's Historical True Colours Palette. Further investigation should be undertaken when full access to the house is available.



Photo showing a portion of the exterior red brick chimney immediately above and below the roof level.

Prior to final paint application, samples of these colours should be placed on the building to be viewed in natural light. Final colour selection can then be confirmed. Matching to any other paint company products should be verified by the Heritage Consultant.








Conservation Recommendation: Restoration

- Complete all basic repairs and restoration, and remove surface dust and grime before preparing, priming and painting. Ensure that all surfaces to be painted are thoroughly dry.
- Scrape and sand painted surfaces only as deep as necessary to reach a sound base. Do not strip previous paint that is adhering except to repair base-material decay.

CONSERVATION RECOMMENDATIONS

- Remove deteriorated paint that is not adhered to the wood using a paint scraper.
 - Remove dust and dirt with the gentlest method possible such as low-pressure (hose pressure) water washing, using soft, natural brushes or plastic putty knives.
 - Paint all areas of exposed wood elements
- with primer. Select an appropriate primer for materials being painted (e.g. if latex paint is used over original oil paint, select an oil-based primer).
- Re-apply colours to the surfaces by wrapping the applied colour around their edges, where possible (architectural trip wrap).

PRELIMINARY COLOUR TABLE: JOHNSTON RESIDENCE (2801 ST. GEORGE STREET)

Element	Colour*	Code	Sample	Finish
Siding	Dunbar Buff	VC-5		Satin
Window & Door Trim, Cornerboard, Columns, Fascia Board, Water Table, Other Trim	Pendrell Red	VC-29		Semi-Gloss
Soffits	Dunbar Buff	VC-5		Semi-Gloss
Window Sash	Gloss Black	VC-35		High-Gloss
Foundation Skirting	Dunbar Buff	VC-5		Semi-Gloss
Verandah Decking	Edwardian Porch Grey	VC-26		Semi-Gloss
Gutters & Downspouts	Oxford Ivory	VC-1		Flat
Door	Strip stain and varnish, if possible (otherwise, match window sash)	-	-	Stained & Varnished (or Gloss)

*Paint colours come from Benjamin Moore's *Historical Vancouver True Colours*

5.0 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the historic building. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Report to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough maintenance plan will ensure the integrity of the rehabilitated Johnston Residence is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*. As defined by the Standards and Guidelines, maintenance is defined as:

Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.

The assumption that newly renovated buildings become immune to deterioration and require less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

6.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

6.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards and Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends “using the gentlest means possible”. Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior material such as brick wall surfaces and wood elements such as storefront frames. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive cleaning is required,



this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.

6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. – must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building.

From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather- sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

6.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity. Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate. The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash,

etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the Johnston House, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

EXTERIOR INSPECTION

Site Inspection:

- ☐ Is the lot well drained? Is there pooling of water?
- ☐ Does water drain away from the foundation?
- ☐ Are pavers cracking or uneven?
- ☐ Are leaves and needles from surrounding trees and landscaping falling on site and blocking water drainage?
- ☐ Is landscaping trimmed back and maintained?

Foundation:

- ☐ Moisture: Is rising damp present?
- ☐ Is there back splashing from ground to structure?
- ☐ Is any moisture problem general or local?
- ☐ Is spalling from freezing present?
- ☐ Is damp proof course present?
- ☐ Are there shrinkage cracks in the foundation?
- ☐ Are there movement cracks in the foundation?
- ☐ Is crack monitoring required?
- ☐ Is uneven foundation settlement evident?
- ☐ Are crawl space vents clear and working?
- ☐ Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil

- build-up?
- ☐ Is there evidence of structure deflection?

Wood Elements:

- ☐ Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills or ledges?)
- ☐ Is wood in direct contact with the ground?
- ☐ Is there insect attack present? Where and probable source?
- ☐ Is there fungal attack present? Where and probable source?
- ☐ Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- ☐ Is any wood surface damaged from UV radiation? (bleached surface, loose fibres)
- ☐ Is any wood warped twisted or cupped?
- ☐ Is any wood split? Are there loose knots?
- ☐ Are nails pulling loose or rusted?
- ☐ Is there any staining of wood elements? Source?

Condition of Exterior Painted/Stained Materials:

- ☐ Does paint/stain show blistering, sagging or wrinkling, alligatoring, or peeling? Source?
- ☐ Do paint/stain surfaces show signs of staining, bleeding knots, mildew etc.? Cause?
- ☐ Is paint/stain clean, especially at air exhaust vents?

Verandahs / Porches:

- ☐ Are steps safe? Handrails secure?
- ☐ Do any support columns show rot at their bases?
- ☐ Attachment – are porches, steps, etc. securely connected to the building?

INTERIOR INSPECTION

Basement:

- ☐ Are there signs of moisture damage to the walls? If there is visible masonry, is the masonry cracked, discoloured, spalling?
- ☐ Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- ☐ Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- ☐ Are walls even or buckling or cracked? Is the floor cracked or heaved?
- ☐ Are there signs of insect or rodent infestation?

Occupied Areas:

- ☐ Floors, walls and ceilings: are they plumb and level? Are there any signs of settlement, old or recent?
- ☐ Are finishes dirty, peeling, lifting, stained or cracked?
- ☐ Are there any signs of water leakage, condensation or moisture damage? (Mould, water staining, material softness etc.)

Concealed Areas:

- ☐ Are crawl space and roof space vents clear and functional?
- ☐ Is there evidence of leaks from pipes and ducts which pass through concealed spaces?
- ☐ Are wood materials soft, damp, split or warped? Are metal materials rusting. Is paint peeling.
- ☐ Are there signs of infestations by birds, bats, insects, rodents etc., past or present?



6.7.2 MAINTENANCE PROGRAMME

INSPECTION CYCLE:

Daily

- Observations made during cleaning (cracks, damp, dripping pipes, malfunctioning hardware, etc.) to be noted in the log book or building file.

Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms.
- Check condition of weather sealants (Fall)
- Clean the exterior using a soft bristle broom/ brush.

Annually (Spring)

- Inspect foundation for cracks, deterioration.
- Inspect windows for paint/stain deterioration, and for sealant failure, wood decay, corrosion.
- Complete annual inspection and report.
- Clean out gutters and rainwater systems.
- Touch up exterior paint/stain where needed.
- Check for plant, insect or vermin infestation.
- Routine cleaning as required.

Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five years to fifteen years.

Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

Major Maintenance Work (as required)

- Replacement of deteriorated building materials as required

APPENDIX A: RESEARCH SUMMARY

BRITISH COLUMBIA VITAL EVENTS:

Marriage Registration: William Thomas Johnston & Lulie Card Nason, married June 17, 1908, Port Moody, Reg. #1908-09-120663

Death Registration: William Thomas Johnston, died February 10, 1948, Age 66, Vancouver, Reg. #1948-09-002119

Death Registration: Lulie Card Johnston, died January 4, 1986, Age 97, Vancouver, Reg. #1986-09-000362

SOURCES:

- City of Port Moody Assessment Records
- City Directories
- Historic Title Search





Wednesday, May 15, 2019

ATTN: Kevin Jones
Senior Development Planner
City of Port Moody
100 Newport Drive
Port Moody, BC V3H 5C3
(604) 469-4582
kjones@portmoody.ca

Dear Mr. Jones;

**Heritage Memo #1-1: Heritage Review of Johnston House Redevelopment Proposal
Johnston Residence – 2801 St. George Street, Port Moody, BC**

Please accept this letter as a review of the proposed redevelopment scheme that includes the conservation of the historic Johnston Residence, addressed at 2801 St. George Street.

Donald Luxton & Associates prepared the Conservation Plan for this heritage house in April 2016, which provides the framework for the conservation of the Johnston Residence. We reviewed the drawings prepared by Shift Architecture Inc., dated 7 May 2019, and have the following comments:

A proposed overall rehabilitation scheme has been prepared by Shift Architecture Inc., which includes the preservation and restoration of the historic Johnston Residence, and the construction of a townhouse complex to the east of the historic place, characterized by 43 new residences within six individual buildings, and a new semi-private parkette/play area at the southwest corner of the site.

The proposed townhouse complex is physically separated from the historic place. This would allow, a high degree of retention of surviving, original exterior character-defining elements, and the restoration of the wrap-around verandah along the front and side elevations (north and east, respectively). The interior floor plan will be rehabilitated to upgrade its structure and improve its functionality for residential use, which also includes a new, attached garage to the rear of the historic place.

The following is an assessment of the intervention to the site, based on the *Standards and Guidelines for the Conservation of Historic Places in Canada*, Standards 11 and 12 for rehabilitation:

Standard 11: Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

Comments: The proposed new, attached garage is physically and visually compatible through the use of wood material, and an overall form, scale, and massing that is subordinate to, and distinguishable from, the historic house. The new, attached garage does not visually compete with the Johnston Residence.

DONALD LUXTON AND ASSOCIATES INC.

1030-470 GRANVILLE STREET, VANCOUVER BC, V6C 1V5
info@donaldluxton.com (604) 688-1216 www.donaldluxton.com

The townhouse complex is detached from the historic place, and is subordinate to, and distinguishable from, the historic house by virtue of its design. The architectural expression of the new townhouse complex is characterized by related but adapted vocabulary that does not mimic the architecture of the original house. Overall, it conforms to this Standard.

Standard 12: Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Comments: The new, attached garage to the rear of Johnston House is designed in a manner that retains the integrity of the original form, scale, and massing of the historic place. The proposed townhouse complex is detached from the historic place. All interventions are reversible, and can be removed in the future. Overall, it conforms to this Standard.

Based on this assessment, the proposed addition conforms to the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Please do not hesitate to contact us if you wish to discuss further, or have any questions about this heritage review. Thank you in advance for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "don luxton", followed by a long, sweeping horizontal flourish.

Donald Luxton, Principal
Donald Luxton & Associates Inc.



PROPERTY INFORMATION

Legal Description:
Lots 8 to 14 of Block 25, District Lot 201, Group 1 N.W.D., Plan 72
Civic Addresses:
2801 - 2831 St. George Street, Port Moody, B.C.

LOCATION PLAN



SITE

DESIGN RATIONALE

The proposed Johnston House development encompasses 7 existing single family lots located on the south side of St. George Street between Moody and Hugh Streets. Included within the development is the preservation and restoration of the historic Johnston Residence located at 2801 St. George Street. In addition to the restoration of the Johnston Residence, the development seeks to provide an additional 43 new three and four-bedroom, family oriented, townhome residences within six individual buildings are provided in addition to the renovated Johnston residence.

Three buildings with a total of 20 residences and the restored Johnston residence front on St. George Street while the remaining 23 residences front onto Hope Street. Each home, including the restored Johnston Residence is provided with two parking spaces. The buildings facing St. George Street present as three storeys in height while those facing Hope Street present as two to two and a half storeys in height except the three most eastern units which present as three storeys.

Parking for each of the homes is accessed off an internal roadway that bisects the development. Curb crossings providing access to the internal drive are located both on St. George and Hugh Streets with the access on St. George delineating the new development from the existing Johnston Residence. Twenty-one of the residences are provided with tandem parking while the remaining twenty-two units have more traditional side-by-side parking within their garages.

Three significant outdoor amenity areas are provided within the proposed development. A semi-private parkette/play area is provided at the southwest corner of the development. It is proposed that this amenity be extended beyond the boundaries of the property in order to make use of the ample boulevard on Moody Street while extending the use of the parkette to those outside of the development. A second amenity is provided between Buildings 2 and 3. This amenity provides a significant mid block break on St. George and provides a walkable connection between St. George and Hope Street. A third smaller outdoor amenity is provided between Buildings 5 and 6.

Located within the Moody Centre Heritage Character Area, the development seeks to provide an architectural expression that is mindful and appropriate to the existing heritage fabric within the site, immediate area and Moody Central as a whole. With this in mind, heritage appropriate, horizontal and shingle siding is used as the primary cladding materials for the new construction while the existing horizontal siding of the Johnston House will be retained and restored as required. For new construction, durable composite siding is utilized to reduce maintenance. Composite panel siding is used to further delineate building facades into appropriately scaled, individual unit divisions. A brick base is provided at the Street Facing facades of each building in order to firmly root the buildings in the landscape.

Sheltering roofs are provided for each of the buildings. The eastern and western buildings, which face both St. George and Hope Streets, have large nested gables with deep overhangs. Mid block buildings 2 and 5 have hipped roofs with the intention to differentiate these from the adjacent buildings. While the roof forms are different, similar detailing is shared by all buildings to ensure the project remains cohesive. To help locate and protect each home's entry, small porticos are provided with a single column in the centre separating the individual entries along with brackets on either side which serve to contain an individual entry.

Building facades facing Hugh Street, the access drive adjacent to the heritage home and the amenity area between buildings 2 and 3, are further articulated with projecting bays and additional windows both on the ground and upper levels. In addition to these enhancements, "front doors" have been added to the east façades of buildings 3 and 4 which face onto Hugh Street in order to elevate Hugh from a secondary to a primary street. The western home of Building 6 has been designed as a unique home within the overall development. It features a wrap around balcony with additional windows on all three levels that offer additional 'overlook' onto the amenity play area. In addition, the lower level of this home features a lock-off suite which has a private entry on the west side of the building.

Building facades facing the internal roadways maintain the roof expression of their street facing facades but are subdivided as pairs rather than nested gables or hipped roofs. A continuous balcony extends the full length of each of the buildings on the south side of the internal roadway while the north side balconies are punctuated with openings that allow small trees to green the roadway. Powder coated guards, with appropriately scaled stanchions, pickets and rails emulate the traditional wood guards one would find on a historic building.

As stated previously, the existing Johnston residence is to be retained and restored. As part of the restoration and renovation, the residence will be moved to a new foundation. In addition, the existing addition to the building will be demolished and the verandah will be extended to meet its original extent on the east side of the residence. A new, attached, two car garage is proposed which would be accessed off the internal drive. The internal floor plan of the residence will be redesigned to a more appropriate open plan that suits today's residential market. Throughout the renovation and restoration of this residence, care and attention will be paid to the retention of the existing façade, sash and other details when possible. New exterior construction will be detailed to emulate the existing heritage building.

PROJECT STATISTICS

Site Area	Existing	60987.2 sq. ft.	or	5665.9 sq. m.
	Site Coverage	Allowable 40% / Proposed 45%		
Setbacks	North	East	South	West
	Proposed	3.0m	3.0m	2.6m 3.0m

Area Summary

	Units	Residential (sq.ft.)	Gross (sq.ft.)	FSR (sq.ft.)
Level 1	44	9,601.7	9,601.7	9,601.7
Level 2		27,187.7	27,187.7	27,187.7
Level 3		27,098.5	27,098.5	27,098.5
Totals	44	63,887.9	63,887.9	63,887.9

Building Summary

	Main Floor (Sq. Ft.)	2nd Floor (Sq. Ft.)	3rd Floor (Sq. Ft.)	F.S.R. (Sq. Ft.)		Buildable (Sq. m.)	
Building 1	1129.4	3698.9	3777.1	8605.5	799.8	8605.5	799.8
Building 2	1372.1	3679.3	3777.9	8829.3	820.6	8829.3	820.6
Building 3	1504.8	4940.5	5033.0	11478.3	1066.8	11478.3	1066.8
Building 4	1567.8	4920.9	5033.0	11521.8	1070.8	11521.8	1070.8
Building 5	1616.5	4901.3	5033.0	11550.7	1073.5	11550.7	1073.5
Building 6	1638.3	4370.5	4444.5	10453.4	971.5	10453.4	971.5
Building 7	772.8	676.3		1449.1	134.7	1449.1	134.7
Totals	9601.7	27187.7	27098.5	63887.9	5937.5	63887.9	5937.5

Parking Summary

Townhomes

		Vehicle		Small Car (Max 30%)		Tandem Max 75%	
		Required	Provided	Maximum	Provided	Maximum	Provided
Residential	(2 per unit)	86	86	27	22	65	42
Visitor	(0.2 per unit)	9	7	3	3		

Heritage House

		Vehicle		Small Car (Max 30%)	
		Required	Provided	Maximum	Provided
Residential	(1 per unit)	1	2		
Total Parking		96	95	30	25

PROJECT TEAM

OWNER/DEVELOPER

MARCON JOHNSTON (GP) Ltd.
5645 - 199 Street, Langley BC V3A 1H9
604.630.5646

ARCHITECT

SHIFT ARCHITECTURE
200 - 1000 West 3rd Avenue, North Vancouver BC V7P 3J6
604.988.7501

LANDSCAPE ARCHITECT

CONNECT LANDSCAPE ARCHITECTURE INC.
2305 Hemlock Street, Vancouver BC V6H 2V1
604.661.3303

HERITAGE CONSULTANT

DONALD LUXTON AND ASSOCIATES INC.
1030 Granville Street, Vancouver BC V6C 1V5
604.688.1216

SURVEYOR

BUTLER SUNDVICK
1375 McLean Drive, Vancouver BC V5L 3N7
604.872.7211

CIVIL

R.F. BINNIE & ASSOCIATES
205 - 4946 Canada Way, Burnaby BC V5G 4H7
604.205.4946

TRAFFIC CONSULTANT

BUNT & ASSOCIATES
1550 - 1060 West Pender, Vancouver BC V6E 3S7
604.685.6427

ARBORIST CONSULTANT

FROGGERS CREEK TREE CONSULTANTS LTD.
7763 McGregor Avenue, Burnaby BC V5J 4H4
604.721.6002

GEOTECHNICAL CONSULTANT

GEOPACIFIC CONSULTANTS INC.
215 - 1200 WEST 73rd AVENUE, Vancouver BC V6P 6G5
604.439.0922

DRAWING LIST

A0.00	COVER SHEET
A0.02	CONTEXT PLAN
A0.03	CONTEXT IMAGES
A0.04	SHADOW STUDIES
A0.05	PERSPECTIVES - HERITAGE HOUSE
A0.06	PERSPECTIVES - TOWNHOMES
A0.07	STREETSCAPES
A1.01	SITE PLAN
A1.02	SITE GRADES
A1.03	LEVEL 1 OVERALL PLANS
A1.04	LEVEL 2 OVERALL PLANS
A1.05	LEVEL 3 OVERALL PLANS
A2.01	HERITAGE HOUSE CONSERVATION PLAN - PLANS
A2.02	HERITAGE HOUSE CONSERVATION PLAN - ELEVATIONS
A2.03	HERITAGE HOUSE PLANS
A2.04	HERITAGE HOUSE PLANS
A2.05	HERITAGE HOUSE ELEVATIONS & SECTIONS
A3.01	TOWNHOME BLDG 1 PLANS
A3.02	TOWNHOME BLDG 2 PLANS
A3.03	TOWNHOME BLDG 3 PLANS
A3.04	TOWNHOME BLDG 4 PLANS
A3.05	TOWNHOME BLDG 5 PLANS
A3.06	TOWNHOME BLDG 6 PLANS
A4.01	TOWNHOME BLDG 1 ELEVATIONS
A4.02	TOWNHOME BLDG 2 ELEVATIONS
A4.03	TOWNHOME BLDG 3 ELEVATIONS
A4.04	TOWNHOME BLDG 4 ELEVATIONS
A4.05	TOWNHOME BLDG 5 ELEVATIONS
A4.06	TOWNHOME BLDG 6 ELEVATIONS
A5.01	BUILDING SECTIONS
A6.01	TOWNHOME UNIT PLAN TYPE A
A6.02	TOWNHOME UNIT PLAN TYPE A1
A6.03	TOWNHOME UNIT PLAN TYPE A2
A6.04	TOWNHOME UNIT PLAN TYPES B & B1
A6.06	TOWNHOME UNIT PLAN TYPE B2
A6.07	TOWNHOME UNIT PLAN TYPE B3
FSR 1.01	FSR OVERLAY L1
FSR 1.02	FSR OVERLAY L2
FSR 1.03	FSR OVERLAY L3

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No.	yy-mm-dd	Revision Notes

Project Title

2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

MARCON

Client/Owner

MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

COVER SHEET

Drawn By

Reviewed by

Project Number

1705

Plot Date

19-04-16

Scale

1" = 1'-0"

Sheet Number

Author

Approver



200,1000 West 3rd Street
North Vancouver, BC V7P 3J6
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Port Moody, BC

MARCON

Client/Owner

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5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

CONTEXT PLAN

Drawn By

Drawn by _____
Reviewed by _____

Project Number: _____

1705

Plot Date

19-04-16

Scale

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Sheet Number

A0.02

2

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SOUTH VIEWS ALONG ST. GEORGE STREET

SOUTHEAST VIEW AT MOODY STREET & ST. GEORGE STREET

EAST VIEWS ALONG MOODY STREET



WEST VIEW ALONG HUGH STREET

SOUTH VIEW ALONG ST. GEORGE STREET CONTINUED

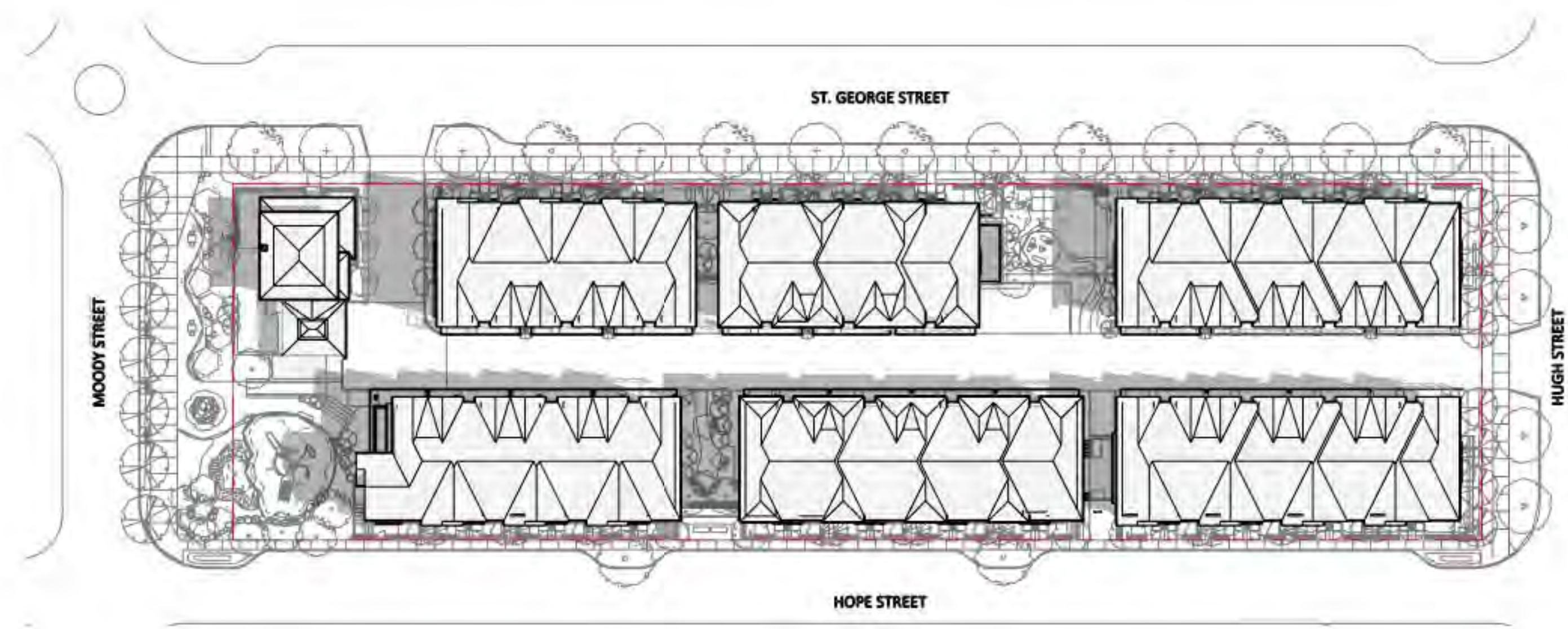


NORTH VIEW ALONG HOPE STREET

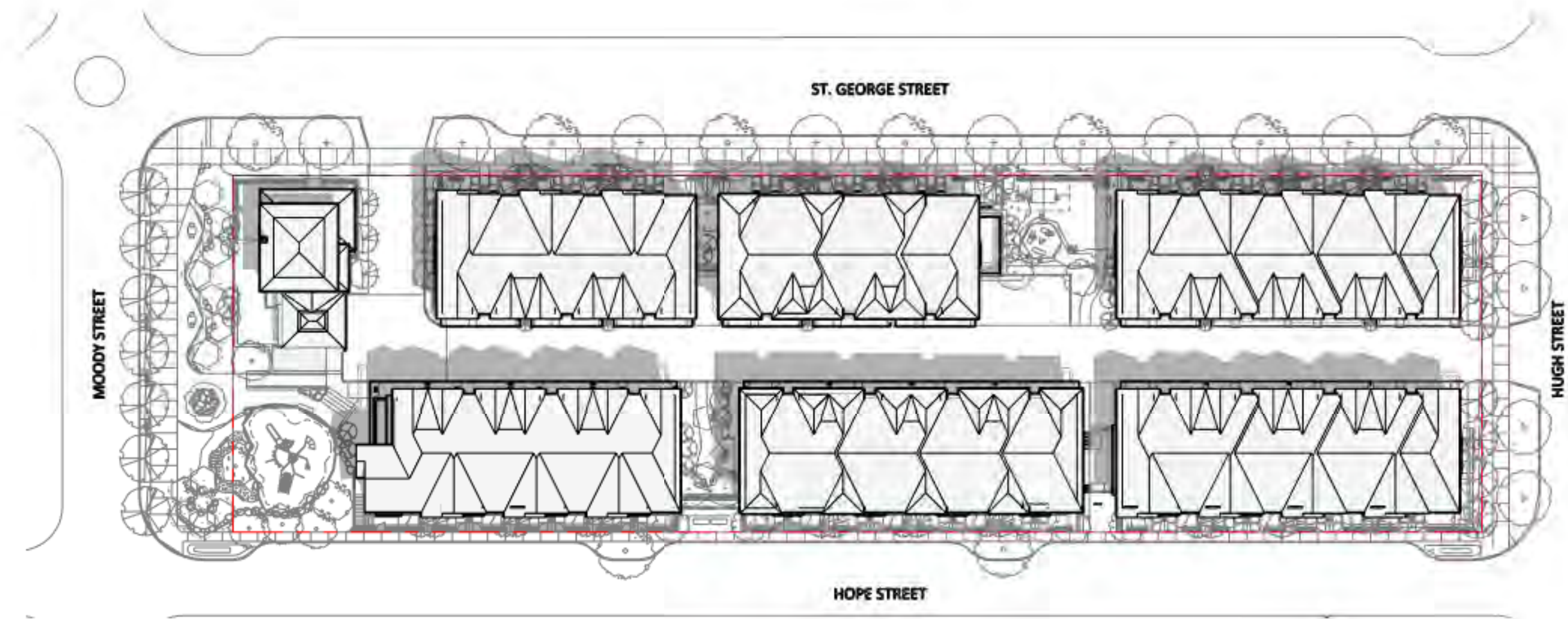


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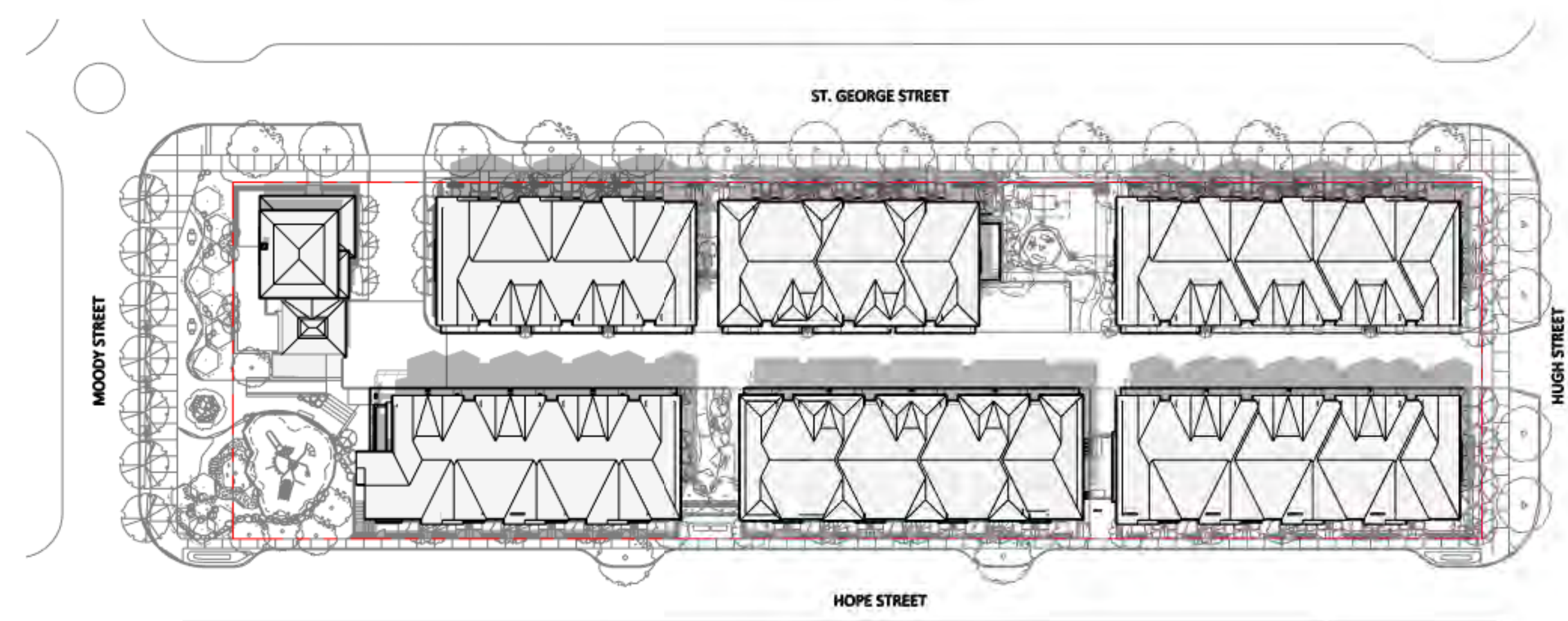
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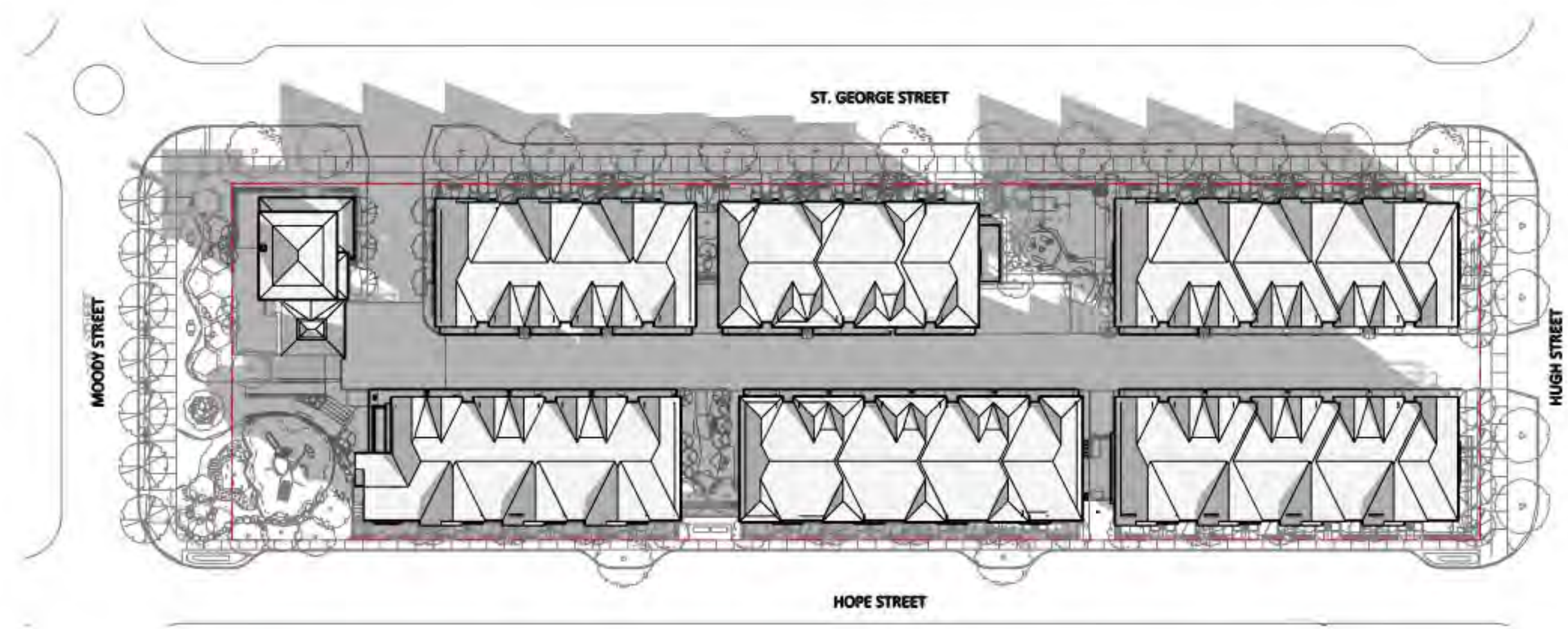
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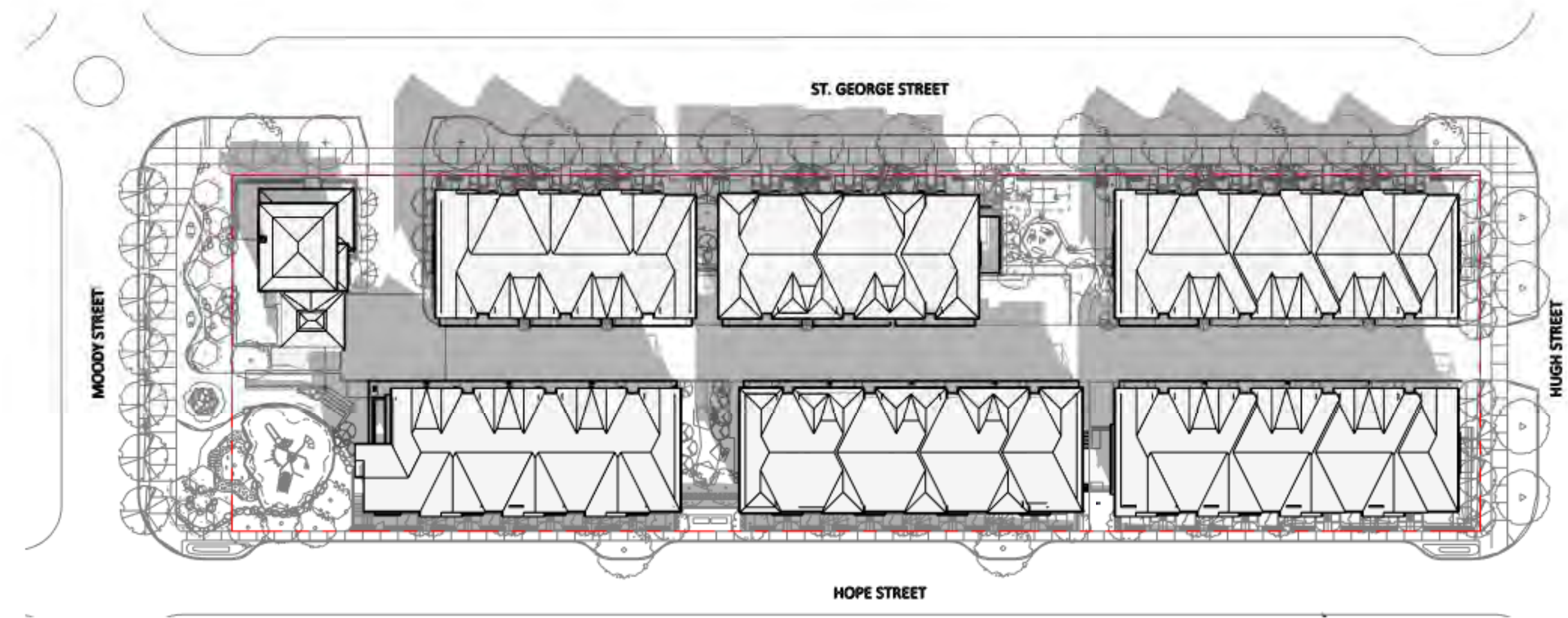
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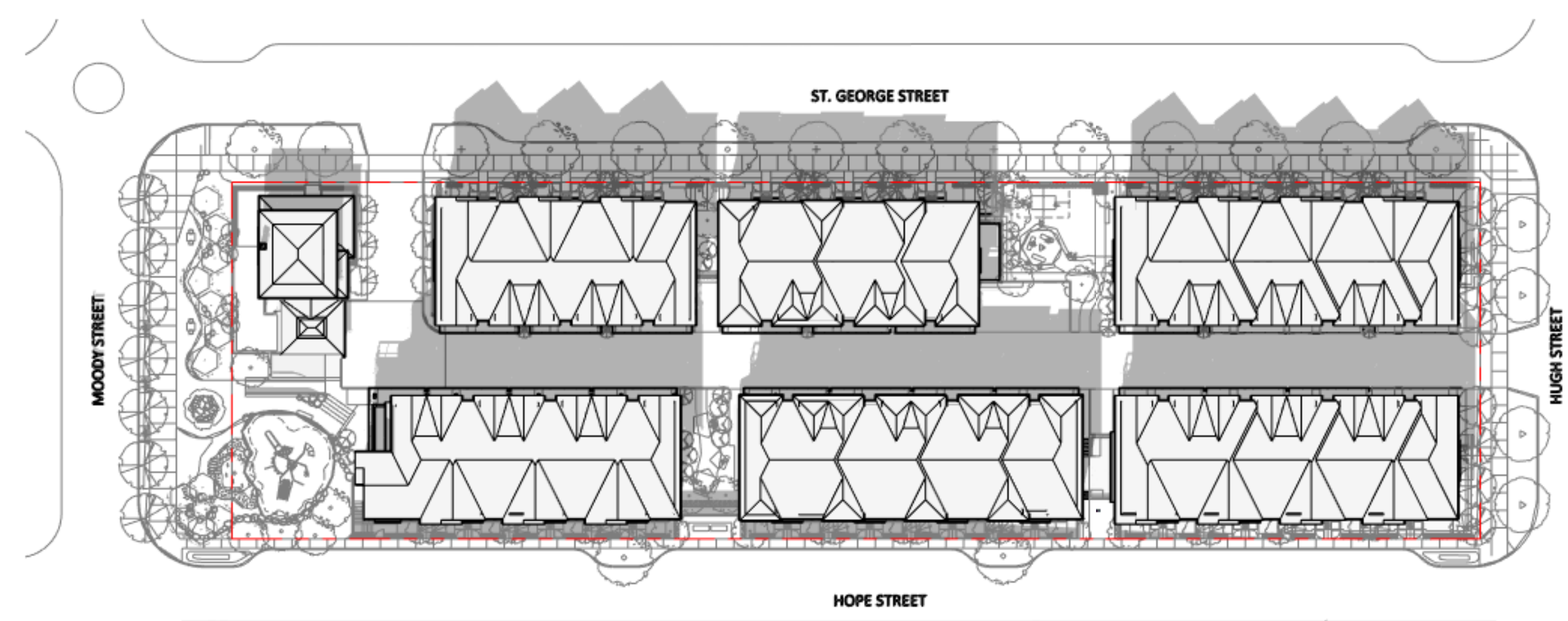
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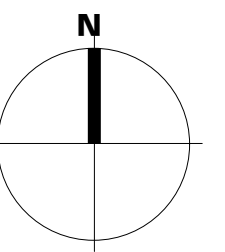
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5 SHADOW STUDY - SEPT / MARCH 21st (12pm)
1" = 40'-0"



6 SHADOW STUDY - SEPT / MARCH 21st (2pm)
1" = 40'-0"



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JOHNSTON HOUSE**
Port Moody, BC

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V3A 1H9

Sheet Title
SHADOW STUDIES

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
1" = 40'-0"

Sheet Number
D



VIEW FROM ST. GEORGE & MOODY
STREETS



VIEW FROM MOODY STREET LOOKING
NORTHEAST



VIEW FROM INTERNAL ROAD
LOOKING NORTHWEST



VIEW FROM INTERNAL ROAD
LOOKING SOUTHWEST

HERITAGE HOUSE GENERAL NOTES:
1. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE HERITAGE CONSERVATION PLAN, PREPARED BY DONALD LUXTON & ASSOCIATES (ISSUED APRIL 2016).
2. ALL ORIGINAL MATERIALS AND ARCHITECTURAL DETAILING SHOULD NOT BE REMOVED OR REPLACED WITHOUT PRIOR REVIEW AND APPROVAL BY HERITAGE CONSULTANT. IF REMOVAL IS REQUIRED, EXISTING CONDITION SHOULD BE DOCUMENTED PRIOR TO CAREFUL DISMANTLING. SALVAGE ALL ORIGINAL MATERIALS, AS POSSIBLE, AND REINSTATE TO MATCH ORIGINAL.
3. HISTORIC WINDOWS ARE TO BE PRESERVED AND PROTECTED. A WINDOW SURVEY IS TO BE UNDERTAKEN TO ASSESS THE EXISTING CONDITION, AND TO RECOMMEND RESTORATION METHODS WHERE NECESSARY, AS SPECIFIED BY HERITAGE CONSULTANT.
4. ALL NEW AND REPLACED WINDOWS, DOORS AND CLADDING SHOULD BE MADE OF WOOD.
5. ALL ORIGINAL BUILDING COMPONENTS IN GOOD CONDITION WILL BE RETAINED, AND REPAIRED IN-KIND AS NECESSARY, UNLESS OTHERWISE NOTED.

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Port Moody, BC

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Sheet Title
**PERSPECTIVES - HERITAGE
HOUSE**

Drawn By
Reviewed by

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
1/2" = 1'-0"

Issue/Revision
D

Sheet Number
A0.05



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1 STREETSCAPE - ST. GEORGE STREET
1/16" = 1'-0"



2 STREETSCAPE - MEWS LOOKING SOUTH
1/16" = 1'-0"



3 STREETSCAPE - HOPE STREET
1/16" = 1'-0"



4 STREETSCAPE - MEWS LOOKING NORTH
1/16" = 1'-0"



5 STREETSCAPE - MOODY STREET
1/16" = 1'-0"



6 STREETSCAPE - HUGH STREET
1/16" = 1'-0"

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Sheet Title
STREETSCAPES

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
1/16" = 1'-0"

Issue/Revision
D

Sheet Number

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No.	yy-mm-dd	Revision Notes



MARCON

Sheet Title

SITE PLAN

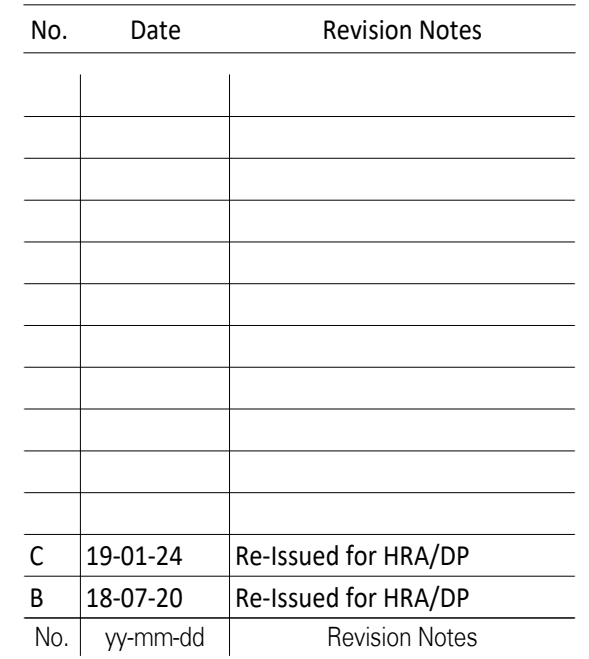
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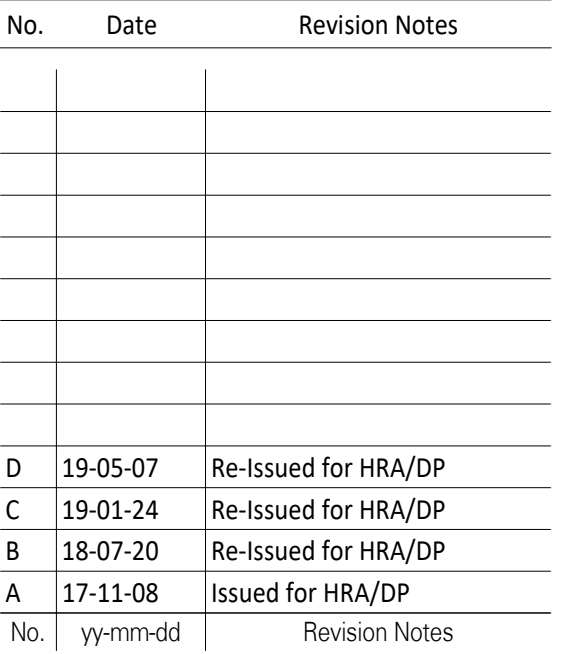
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19-04-16	19-05-07

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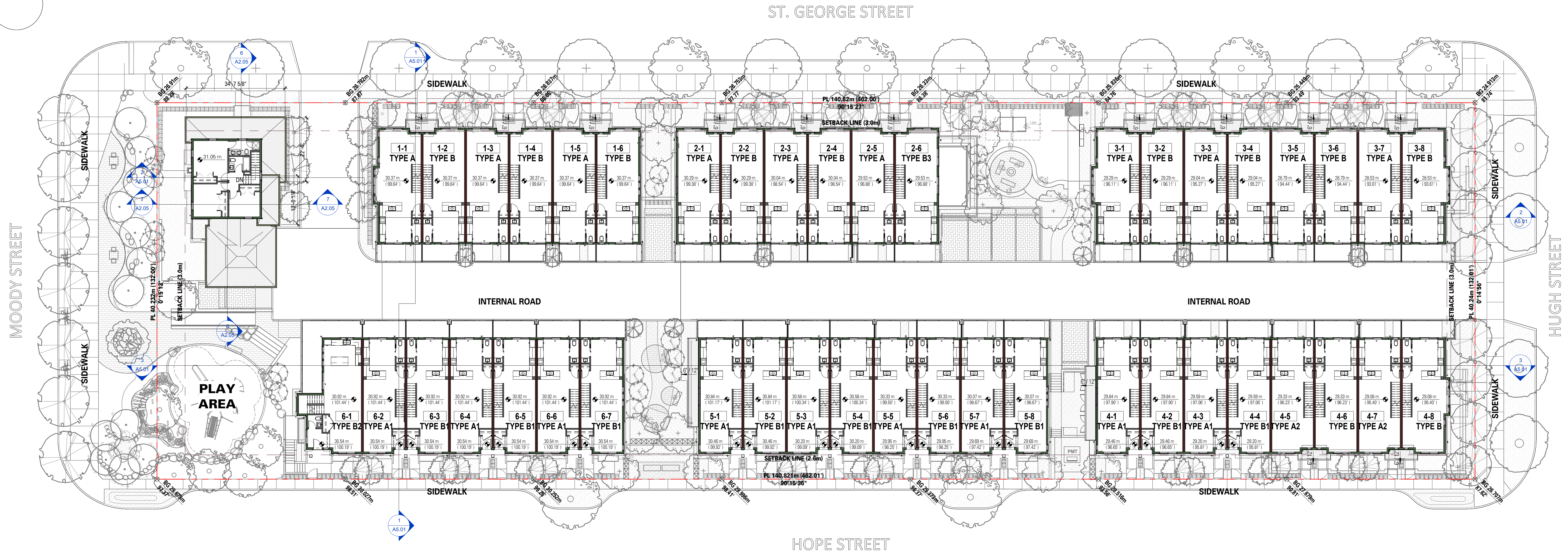


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JOHNSTON HOUSE

Port Moody, BC

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Sheet Title

LEVEL 2 OVERALL PLANS

Drawn By	Author
Reviewed by	Approver
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Project Number	
1705	
Plot Date	Issue Date
19-04-16	19-05-07
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JOHNSTON HOUSE

Port Moody, BC

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5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

LEVEL 3 OVERALL PLANS

Drawn By	Author
Reviewed by	Approver
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Project Number	
1705	
Plot Date	Issue Date
19-04-16	19-05-07
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Sheet Number	

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North Vancouver, BC V7P 3J6
T 604.988.7501 | shiftarchitecture.ca

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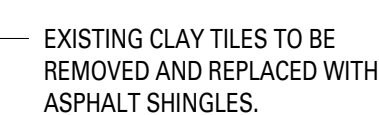
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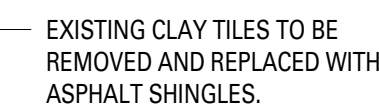
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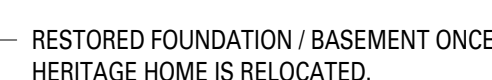
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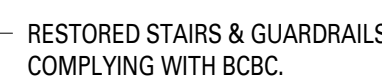
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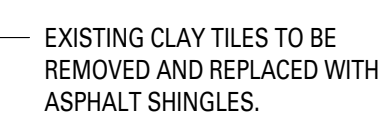
4 EXISTING ROOF
1/8" = 1'-0"



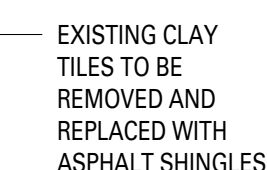
5 PROPOSED BASEMENT
1/8" = 1'-0"



6 PROPOSED LEVEL 1
1/8" = 1'-0"



7 PROPOSED LEVEL 2
1/8" = 1'-0"



8 PROPOSED ROOF
1/8" = 1'-0"

HERITAGE HOUSE GENERAL NOTES:

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Project Title

2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

Client/Owner

MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

**HERITAGE HOUSE
CONSERVATION PLAN - PLANS**

Drawn By

Reviewed by _____ Approver _____

Project Number
1705

Plot Date
19-04-16

Scale	Issue/Revision
As indicated	D

Sheet Number.

A2.01

1

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D	19-05-07	Re-Issued for HRA/DP
E	19-01-24	Re-Issued for HRA/DP
F	18-07-20	Re-Issued for HRA/DP
A	17-11-08	Issued for HRA/DP
No.	yy-mm-dd	Revision Notes

REISSUED FOR HRA/DP - 2019 MAY 07

Project Title
2801 - 2831
JOHNSTON HOUSE
Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.
5645 - 199 Street, Langley, BC
V3A 1H9

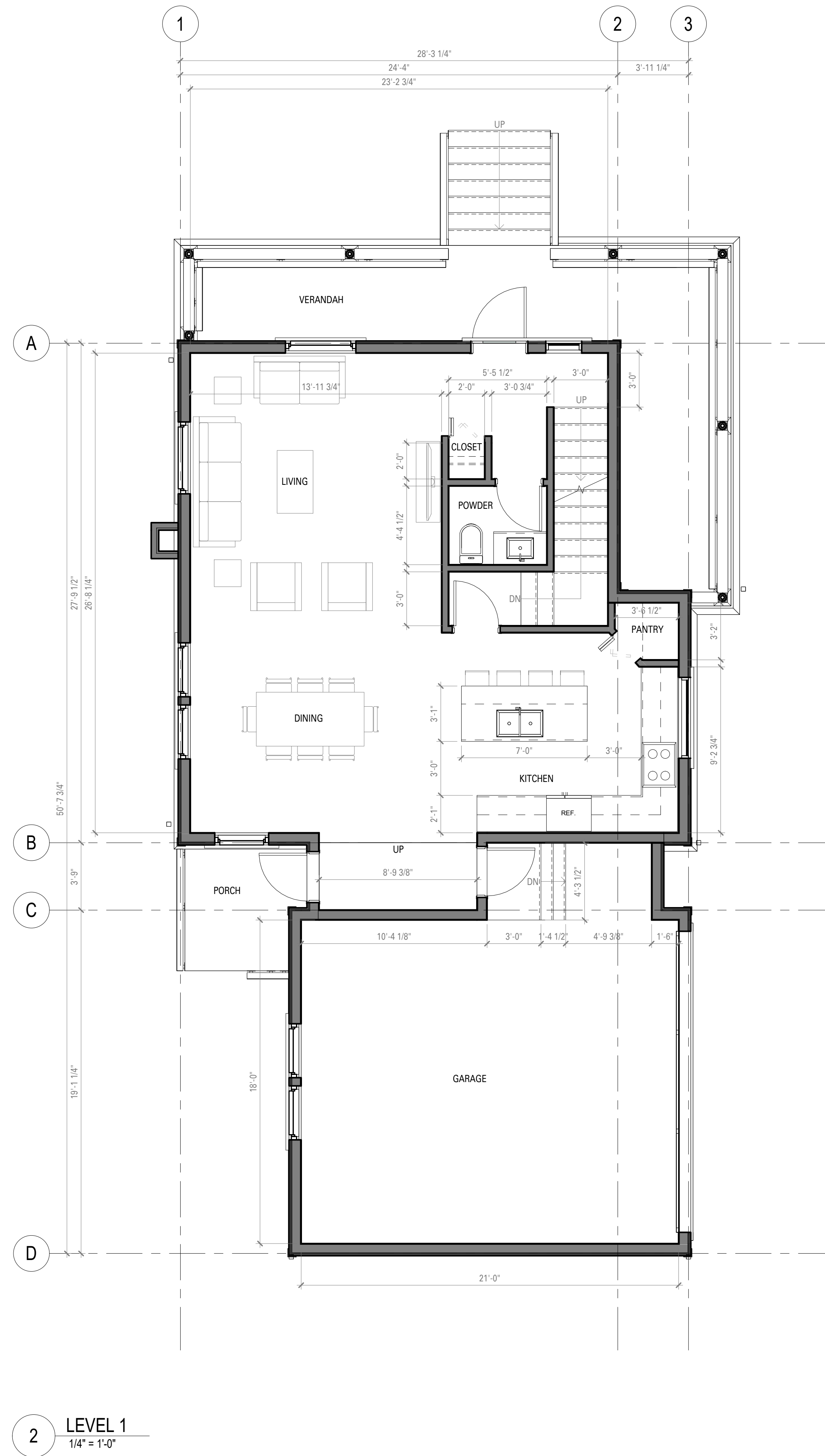
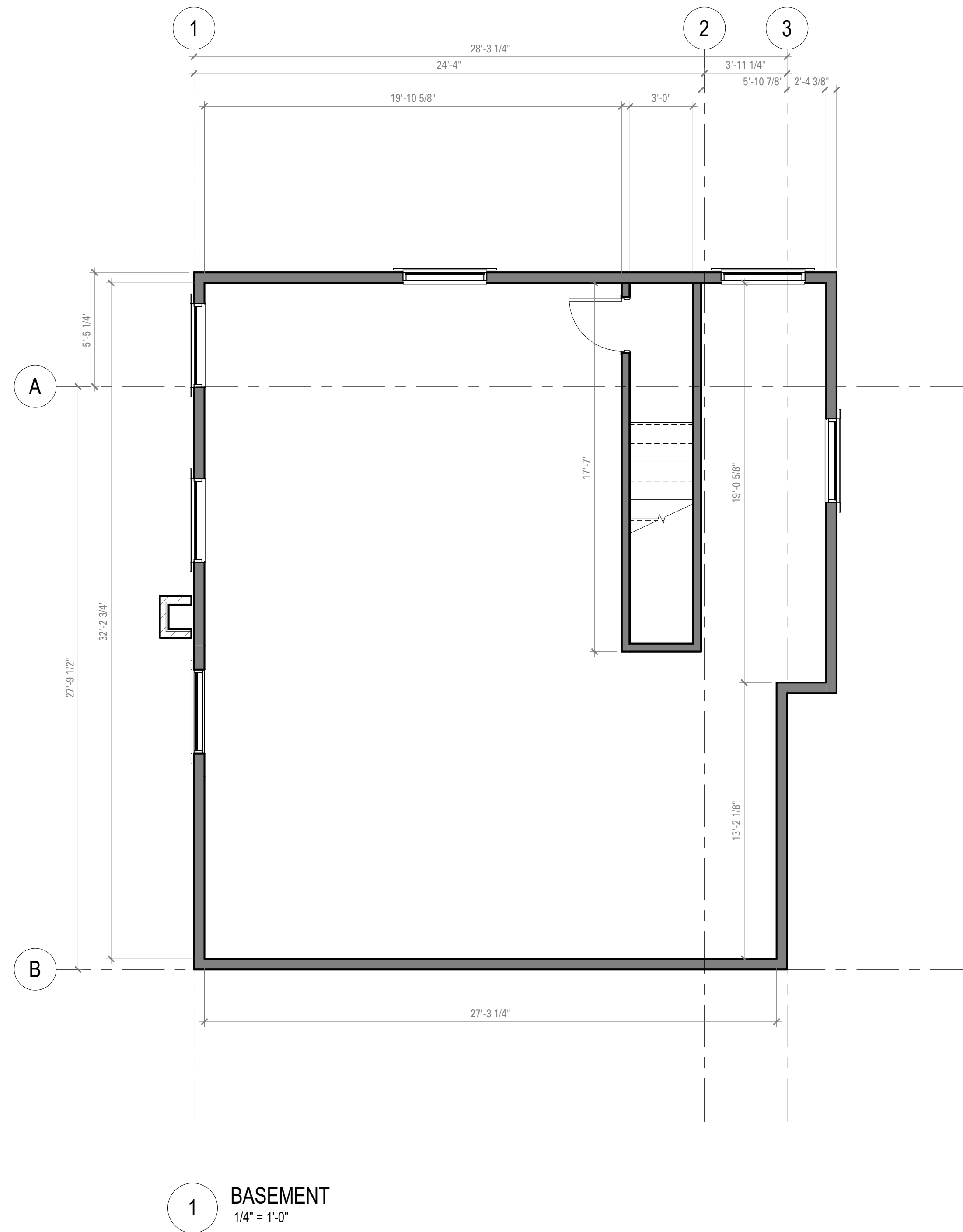
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HERITAGE HOUSE PLANS

Drawn By	Author
Reviewed by	Approver
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Project Number	
1705	
Plot Date	Issue Date
19-04-16	19-05-07
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Scale	Issue/Revision
1/4" = 1'-0"	D
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Sheet Number	

A2.03

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No.	yy-mm-dd	Revision Notes

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2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.
5645 - 199 Street, Langley, BC
V3A 1H9

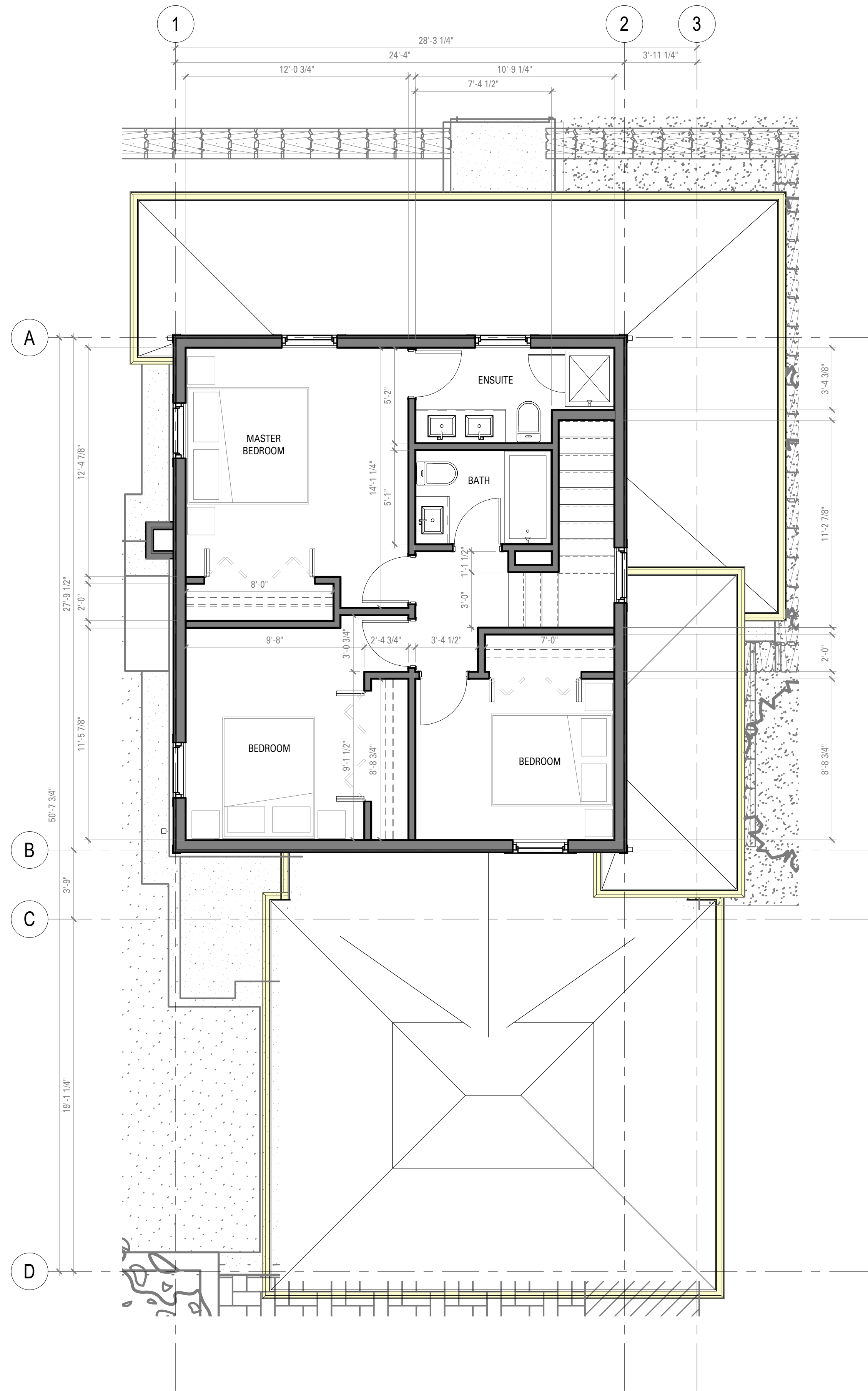
Sheet Title

HERITAGE HOUSE PLANS

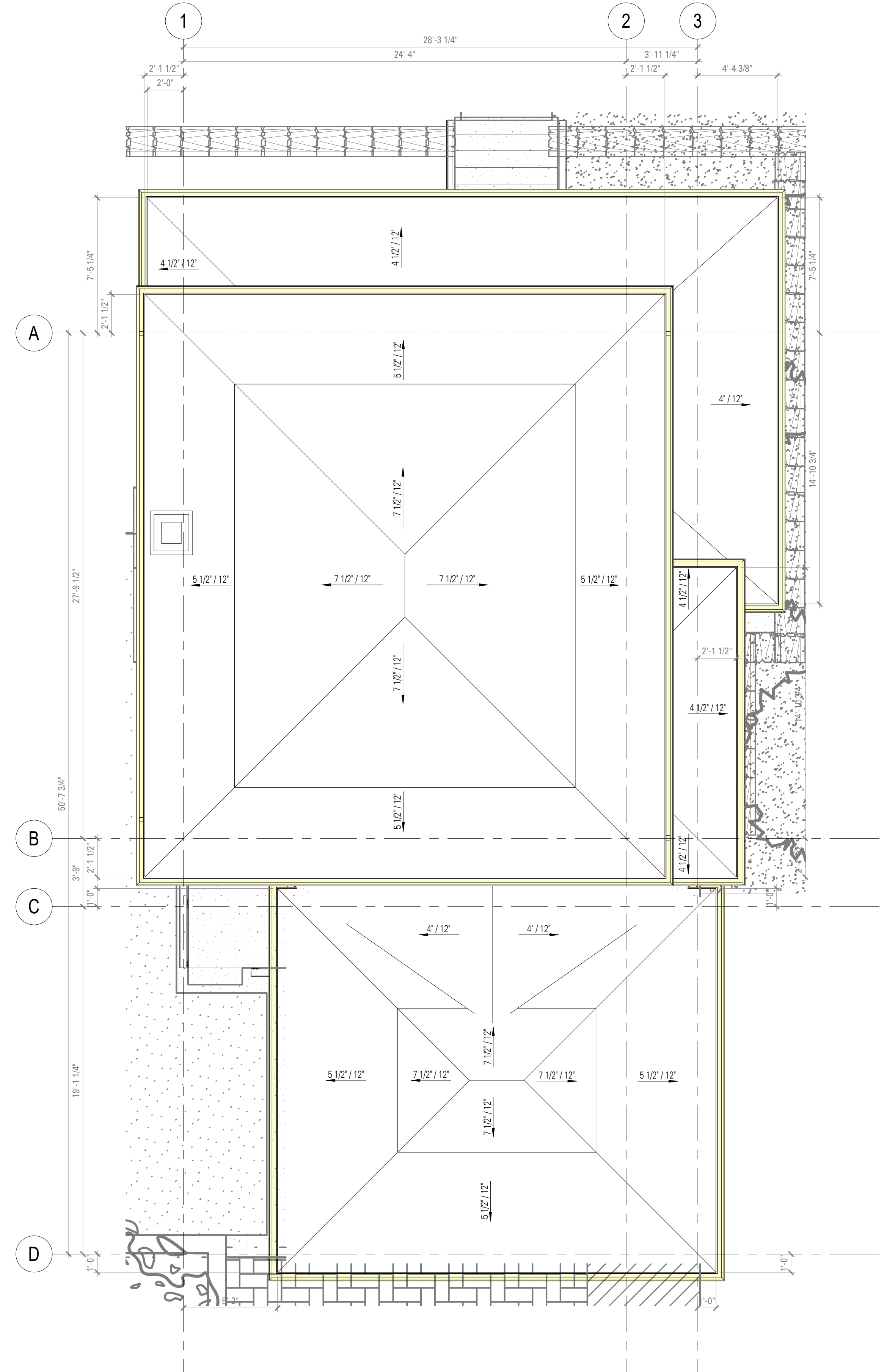
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<i>Reviewed by</i>	<i>Approver</i>
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1705	
<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07
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<i>Scale</i>	<i>Issue/Revision</i>
1/4" = 1'-0"	D
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<i>Sheet Number</i>	

A2.04

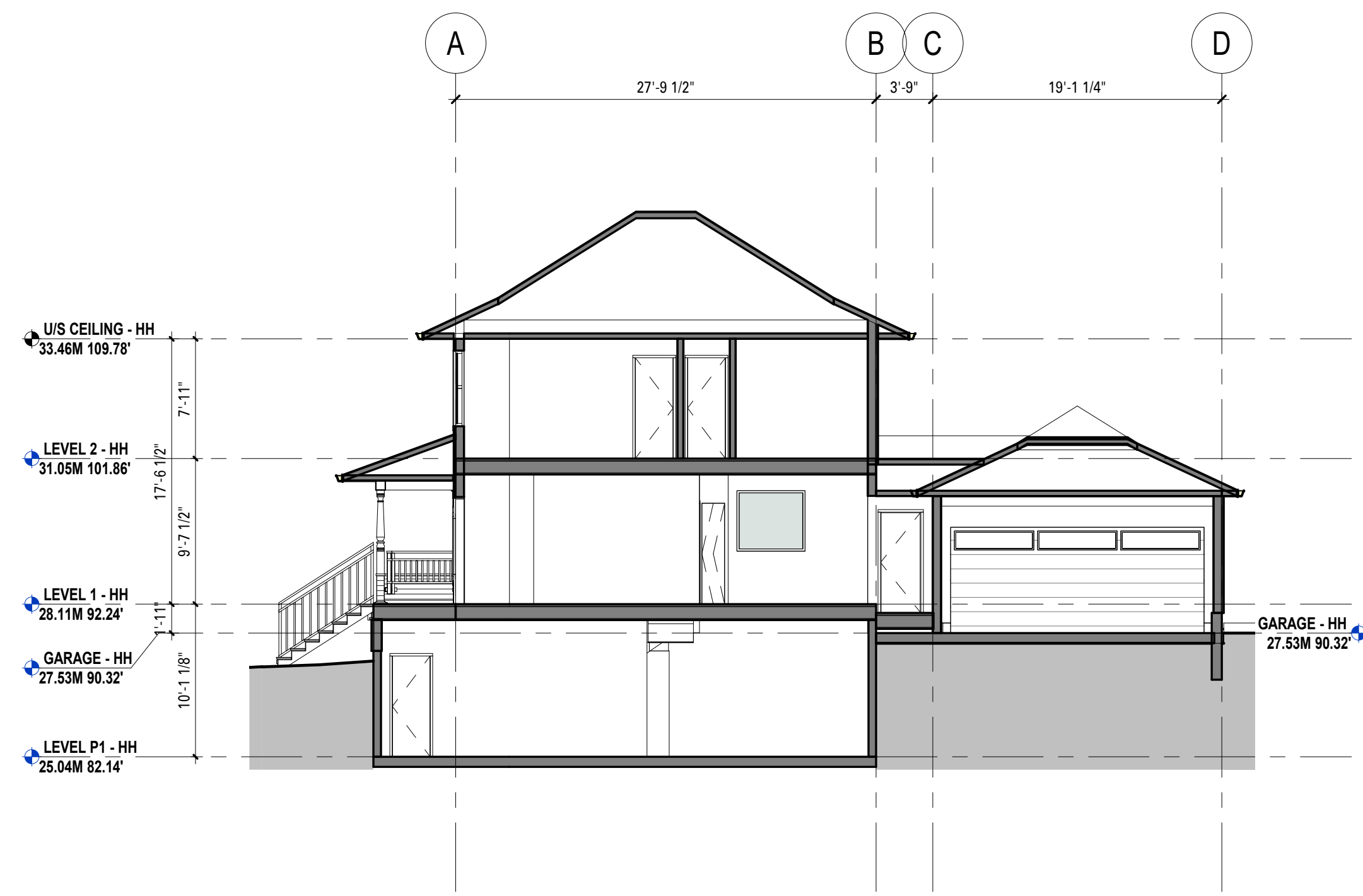
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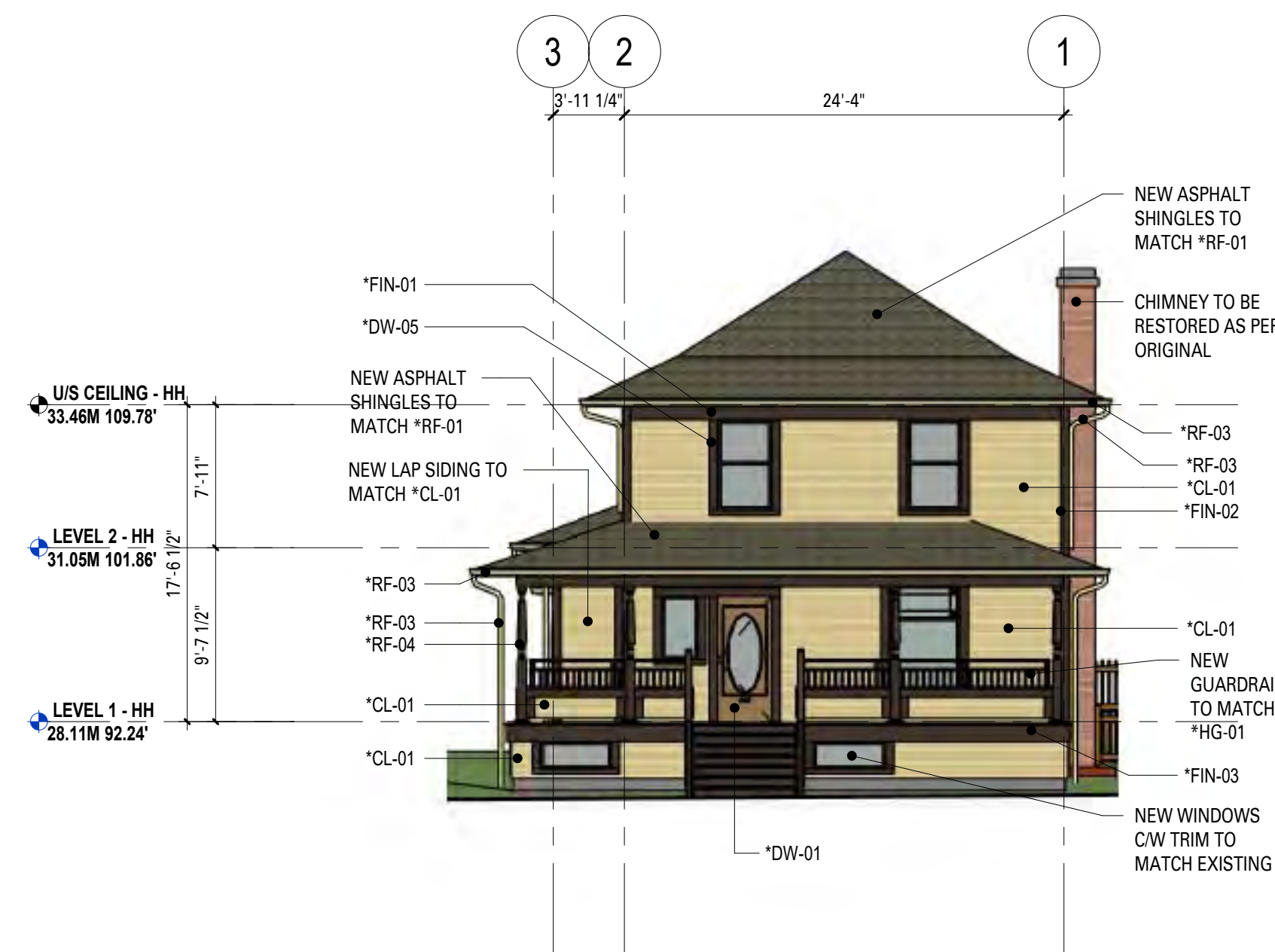
1 LEVEL 2
1/4" = 1'-0"



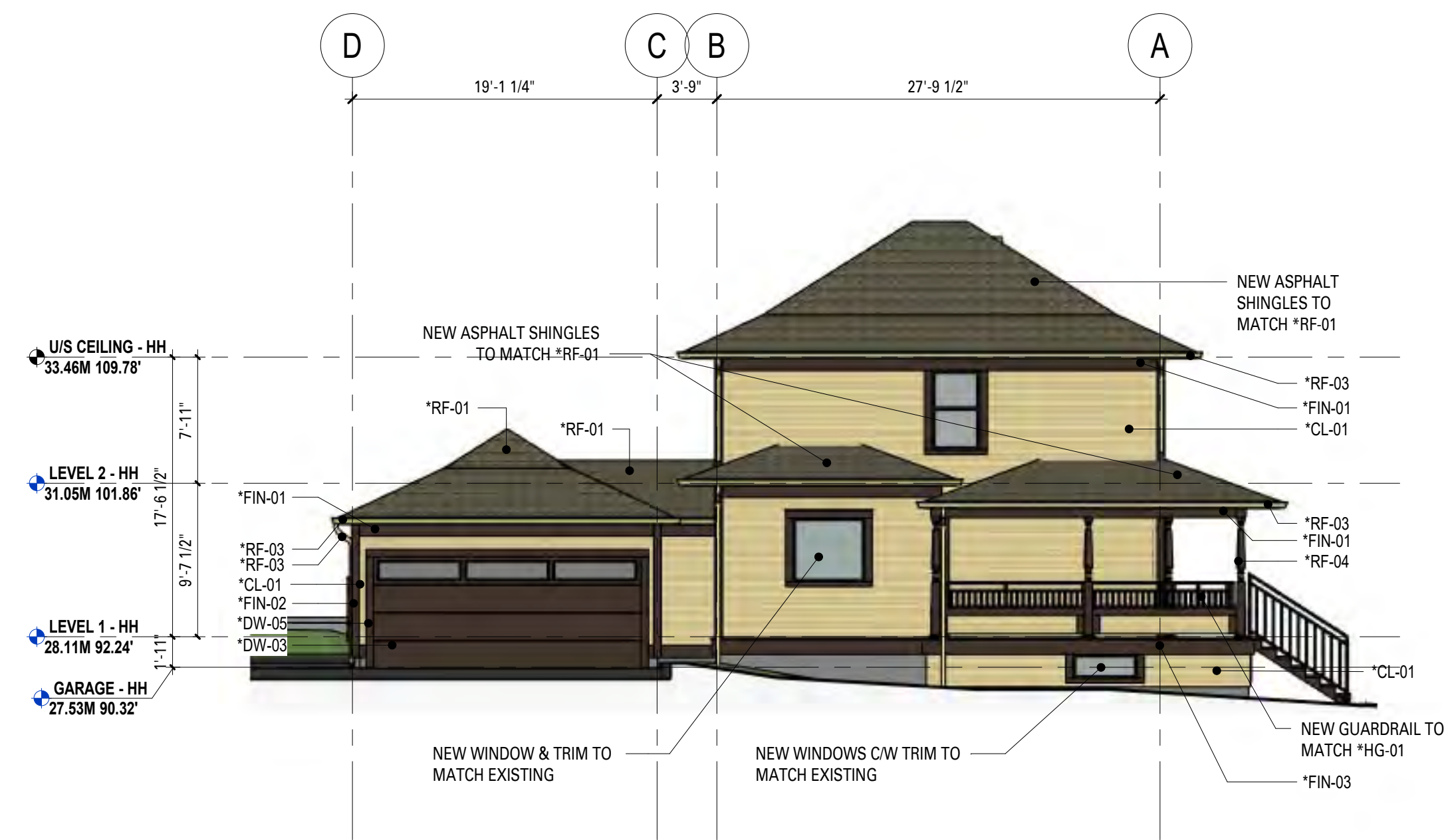
2 ROOF
1/4" = 1'-0"



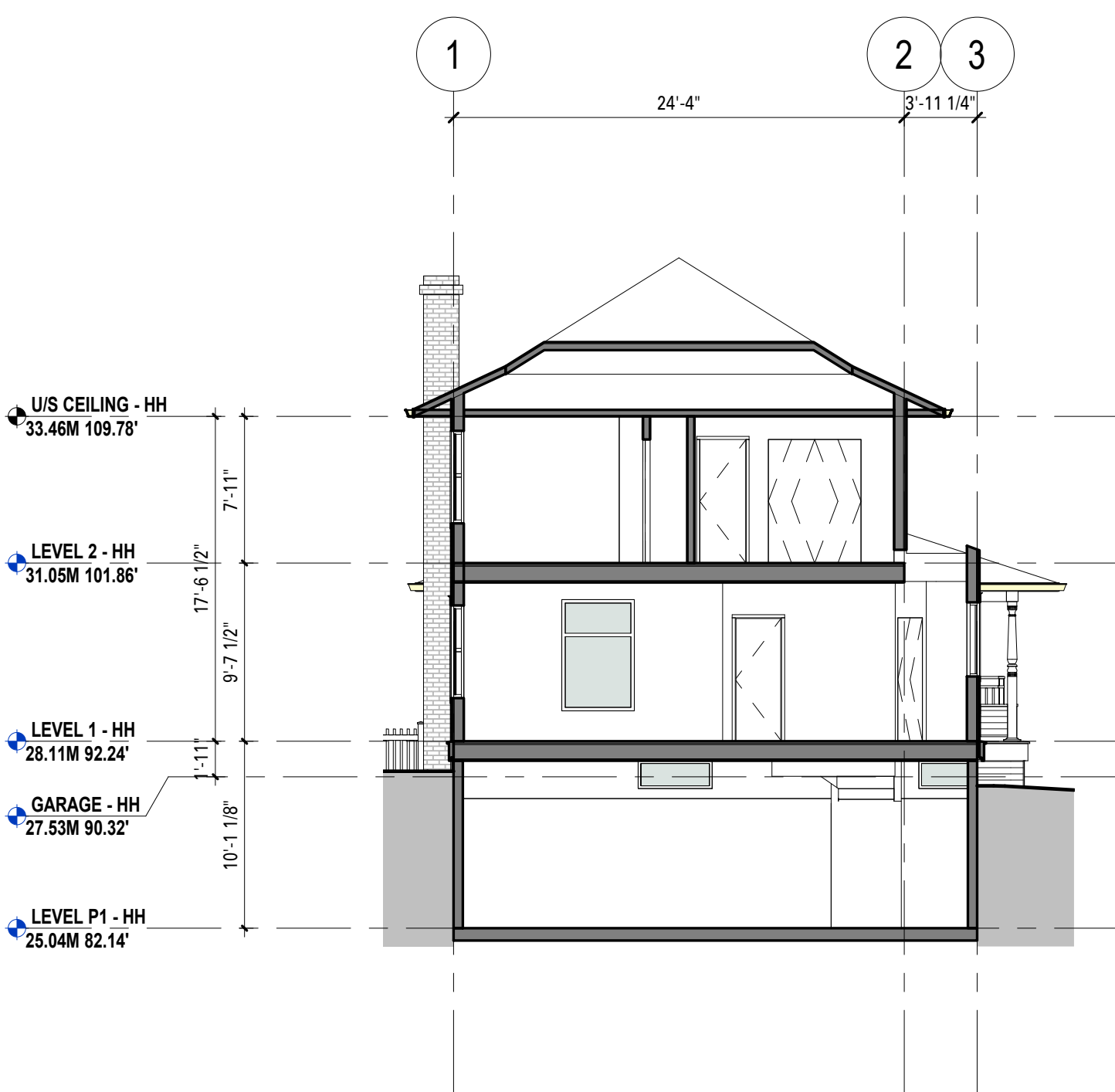
6 HERITAGE HOUSE NORTH / SOUTH SECTION
1/8" = 1'-0"



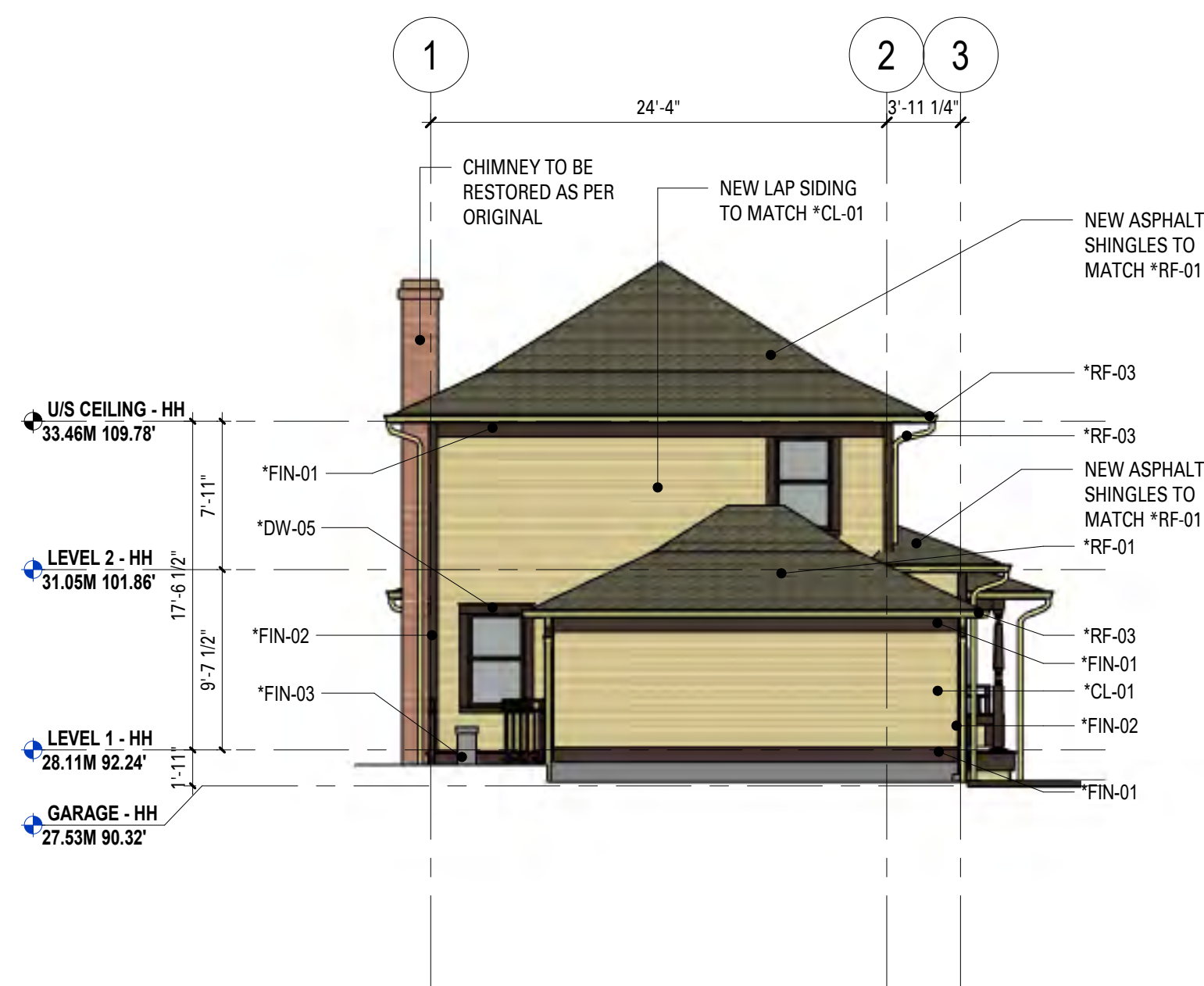
1 NORTH ELEVATION
1/8" = 1'-0"



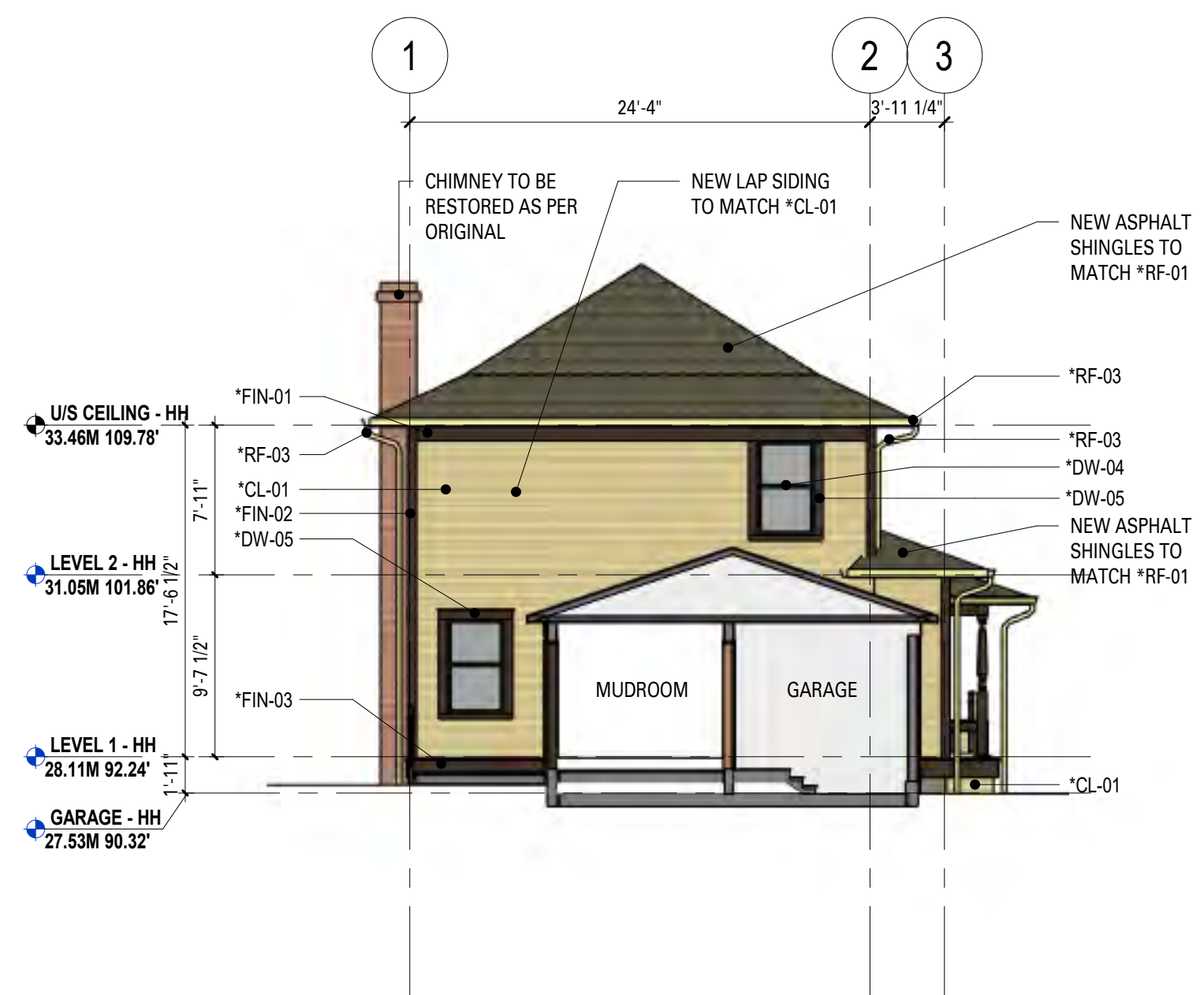
2 EAST ELEVATION
1/8" = 1'-0"



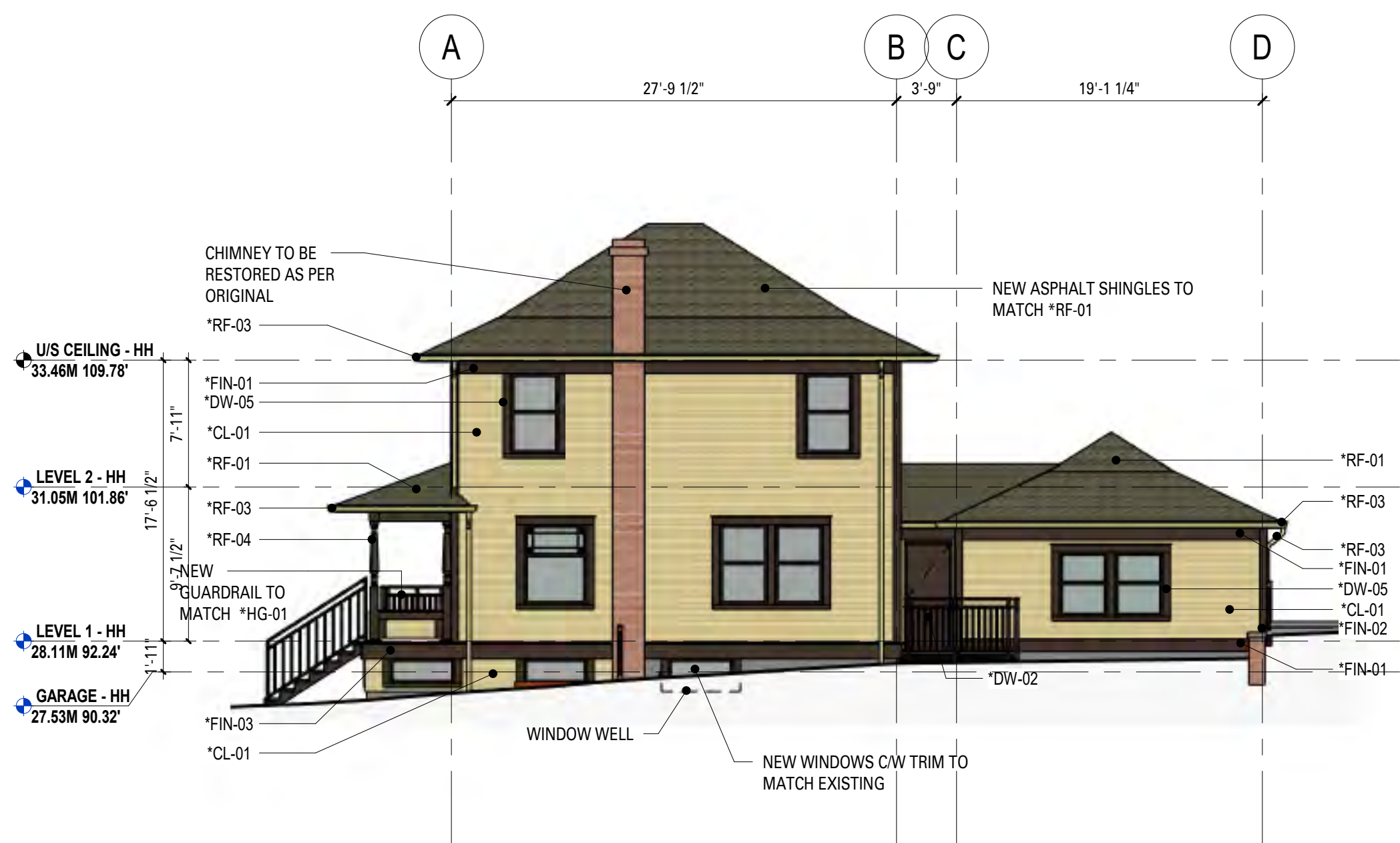
7 HERITAGE HOUSE EAST / WEST SECTION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"

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HERITAGE MATERIALS	
Item	Material
*CL-01	HORIZONTAL WOOD SIDING - BENJAMIN MOORE 'DUNBAR BUFF' VC-5
*DW-01	ENTRY WOOD DOOR - SICO 'TEAK' STAIN & VARNISHED
*DW-02	WOOD DOOR - BENJAMIN MOORE 'PENDRELL RED' VC-29
*DW-03	PAINTED FIBERGLASS GARAGE DOOR C/W CLEAR GLAZING - BENJAMIN MOORE 'PENDRELL RED' VC-29
*DW-04	WOOD WINDOW - BENJAMIN MOORE 'GLOSS BLACK' VC-35
*DW-05	WOOD TRIM 5 1/2" & 3 1/2" - BENJAMIN MOORE 'PENDRELL RED' VC-29
*DW-06	GLAZING - LOW-E DOUBLE PANE - CLEAR
*FIN-01	WOOD TRIM 1X10 - BENJAMIN MOORE 'PENDRELL RED' VC-29
*FIN-02	WOOD CORNER TRIM - BENJAMIN MOORE 'PENDRELL RED' VC-29
*FIN-03	WOOD BELLY BAND TRIM - BENJAMIN MOORE 'PENDRELL RED' VC-29
*FIN-04	VERANDAH DECKING - BENJAMIN MOORE 'EDWARDIAN PORCH GREY' VC-28
*HG-01	ALUMINUM GUARDRAIL - POWDER COAT - BENJAMIN MOORE 'PENDRELL RED' VC-29
*RF-01	ASPHALT SHINGLES - GAF - TIMBERLINE 'WEATHERED WOOD'
*RF-02	WOOD FASCIA 1X6 - BENJAMIN MOORE 'PENDRELL RED' VC-29
*RF-03	PREFINISHED ALUMINUM GUTTER / R.W.L. - BENJAMIN MOORE 'OXFORD IVORY' VC-1
*RF-04	WOOD COLUMNS - BENJAMIN MOORE 'PENDRELL RED' VC-29
*RF-05	WOOD SOFFIT - BENJAMIN MOORE 'DUNBAR BUFF' VC-5

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Project Title
**2801 - 2831
JOHNSTON HOUSE**
Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title
**HERITAGE HOUSE ELEVATIONS
& SECTIONS**

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
As indicated

Issue/Revision
D

Sheet Number

A2.05

REISSUED FOR HRA/DP - 2019 MAY 07

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Port Moody, BC

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MARCON JOHNSTON (GP) LTD.

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Sheet Title
TOWNHOME BLDG 1 PLANS

<i>Drawn By</i>	Author
<i>Reviewed by</i>	Approver

Project Number
1705

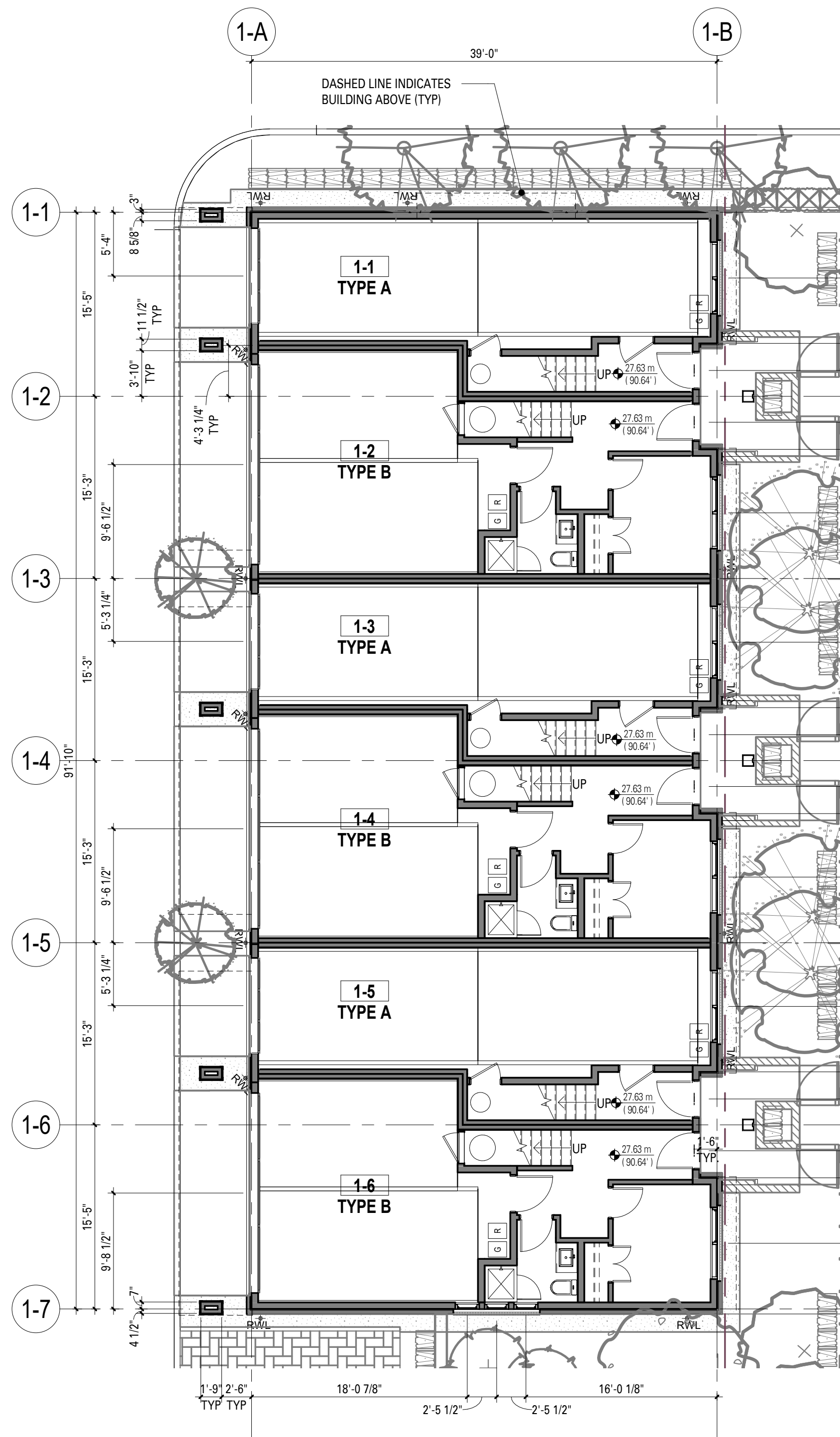
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19-04-16	19-05-07

Scale	Issue/Revision
1.0" 1.0"	D

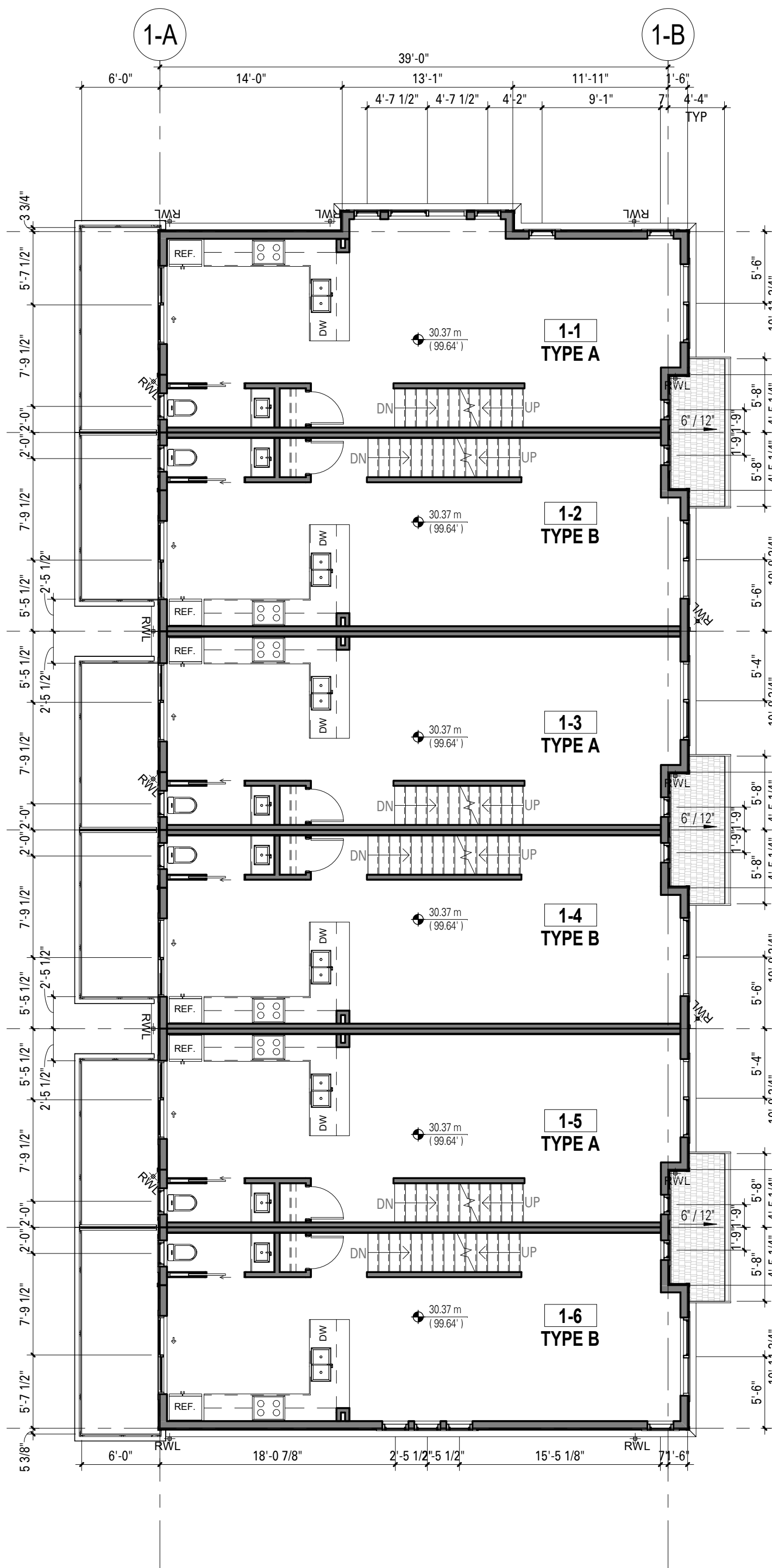
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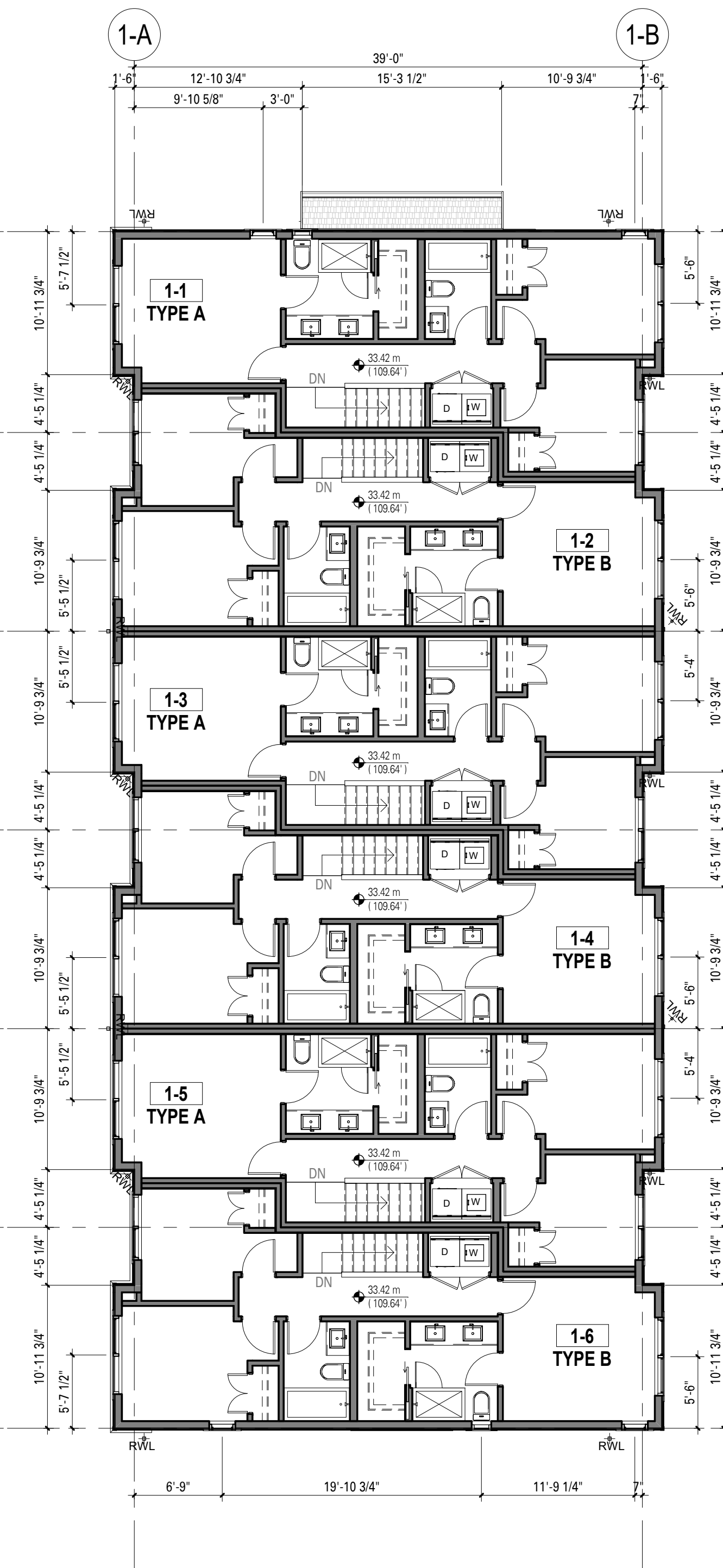
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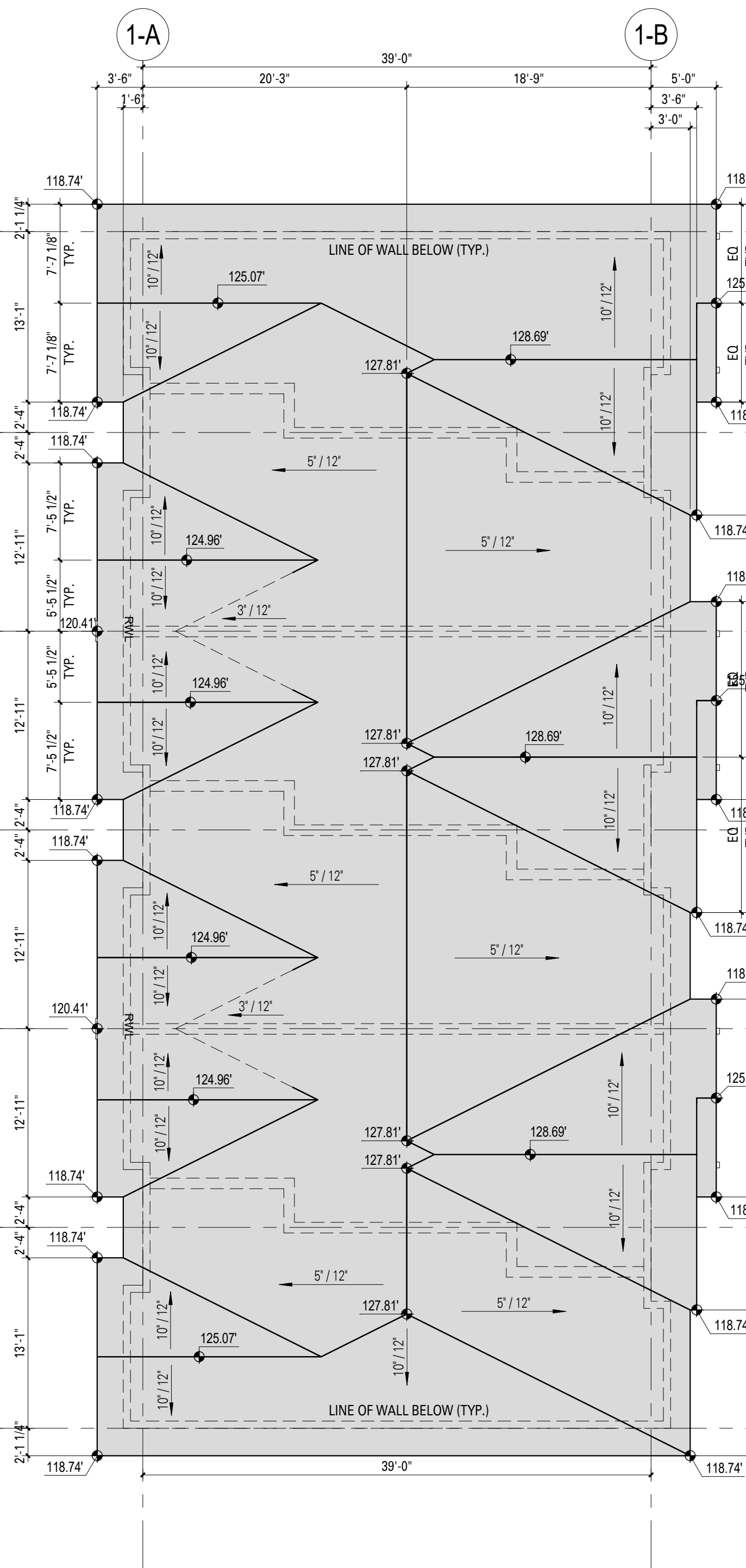
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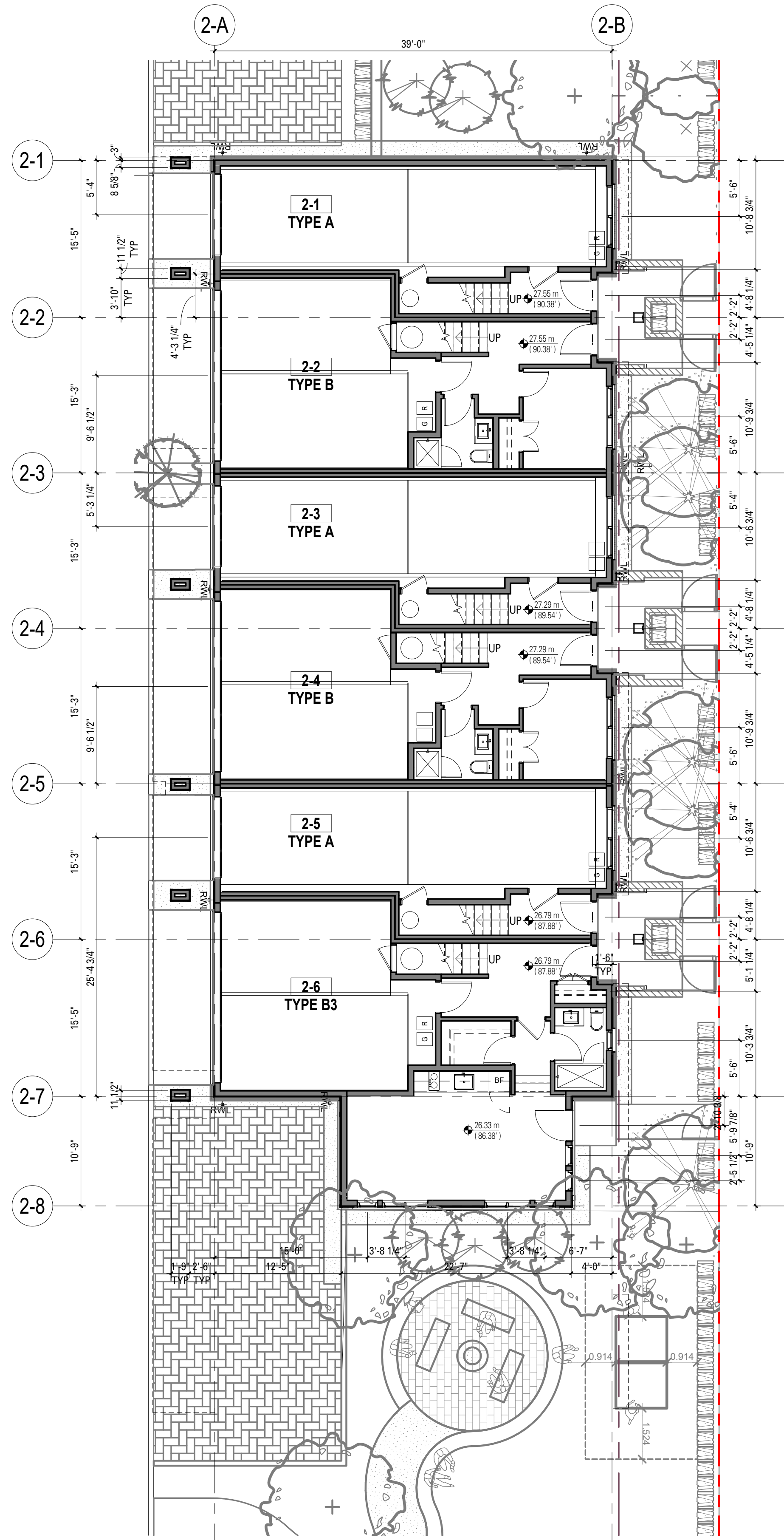
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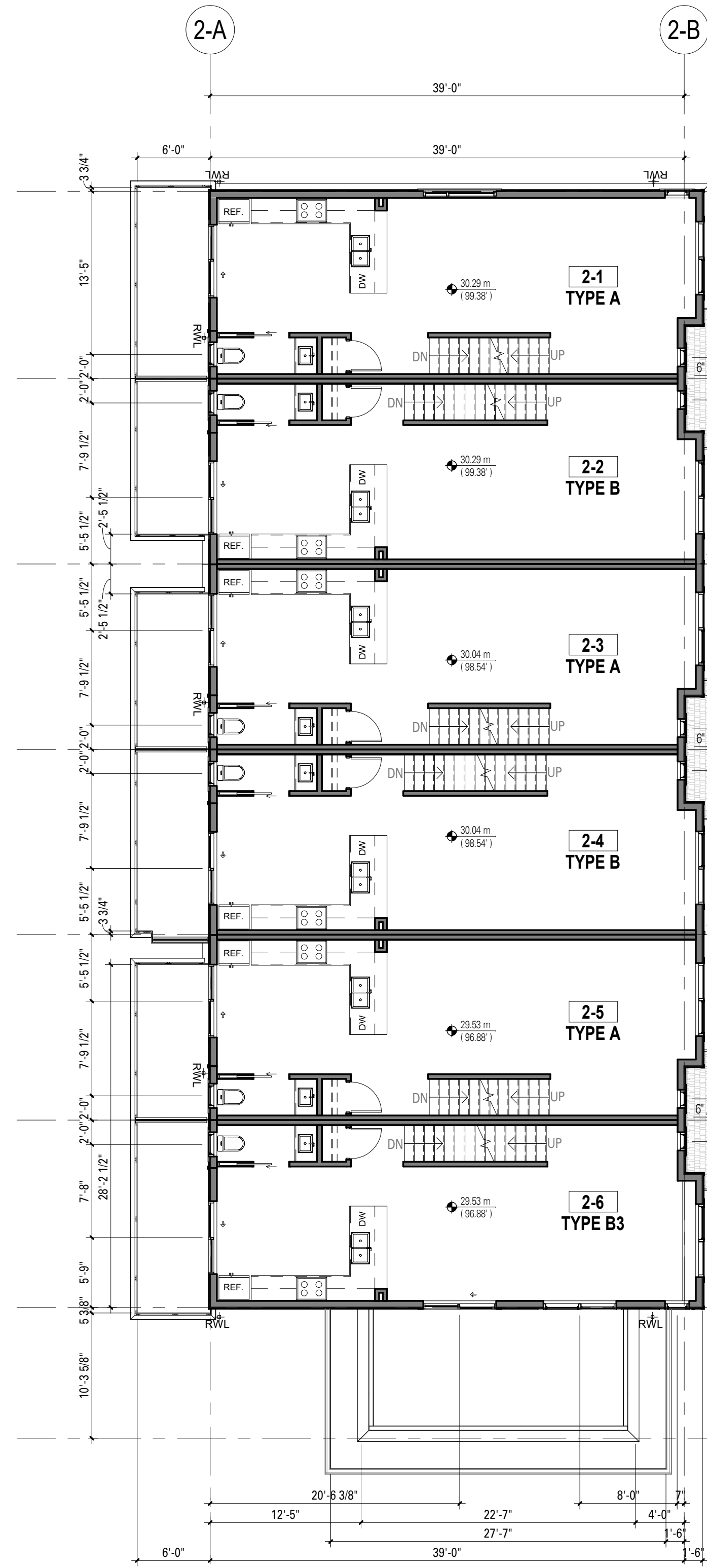
3 LEVEL 3 - B1
1/8" = 1'-0"



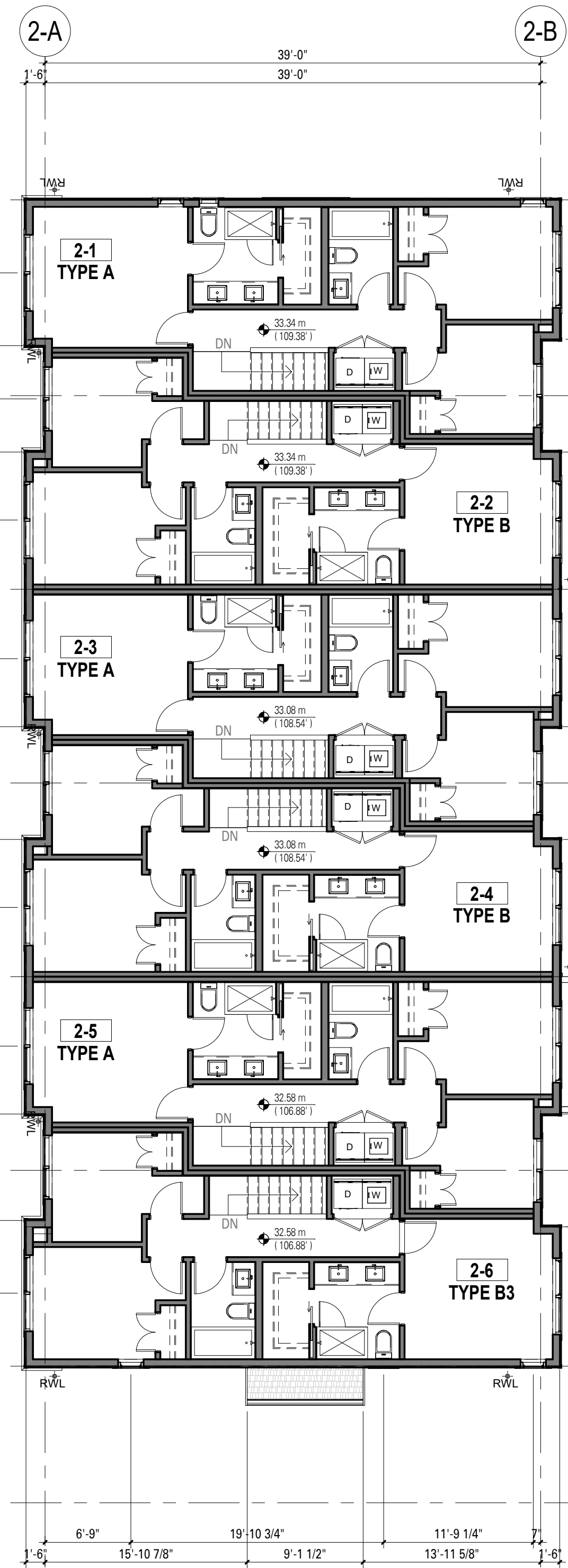
4 ROOF - B1
1/8" = 1'-0"



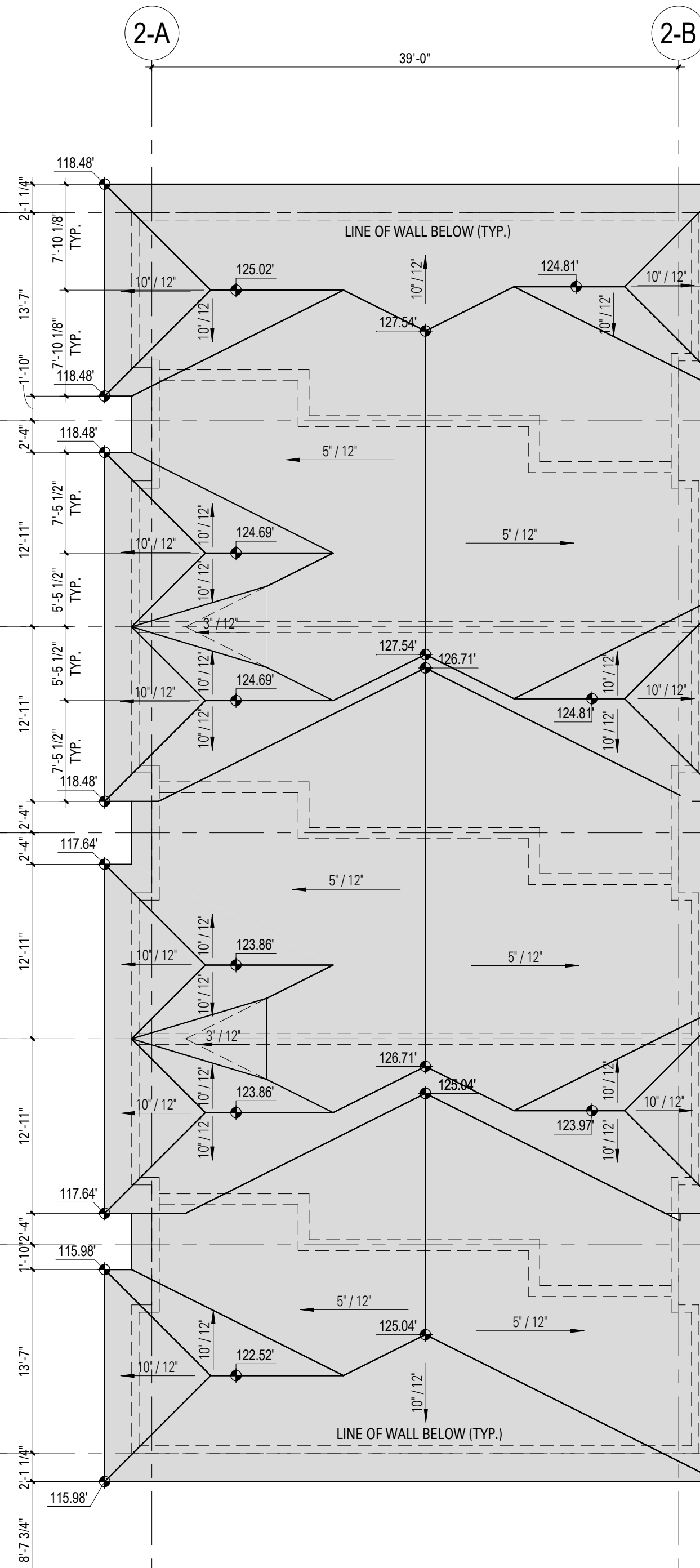
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1/8" = 1'-0"



2 LEVEL 2 - B2
1/8" = 1'-0"



3 LEVEL 3 - B2
1/8" = 1'-0"



4 ROOF - B2
1/8" = 1'-0"

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No.	yy-mm-dd	Revision Notes

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JOHNSTON HOUSE**
Port Moody, BC

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Sheet Title
TOWNHOME BLDG 2 PLANS

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

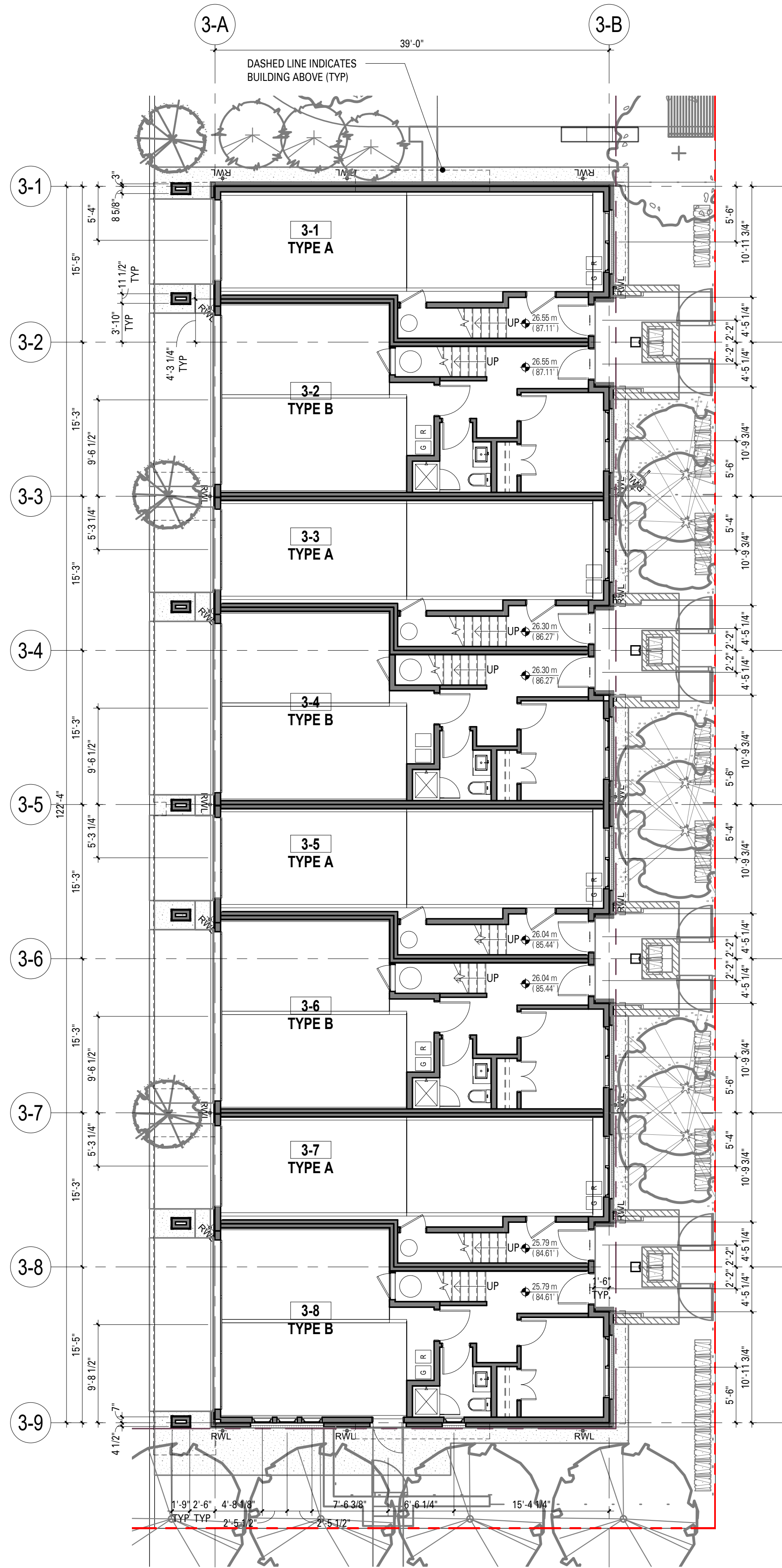
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19-05-07

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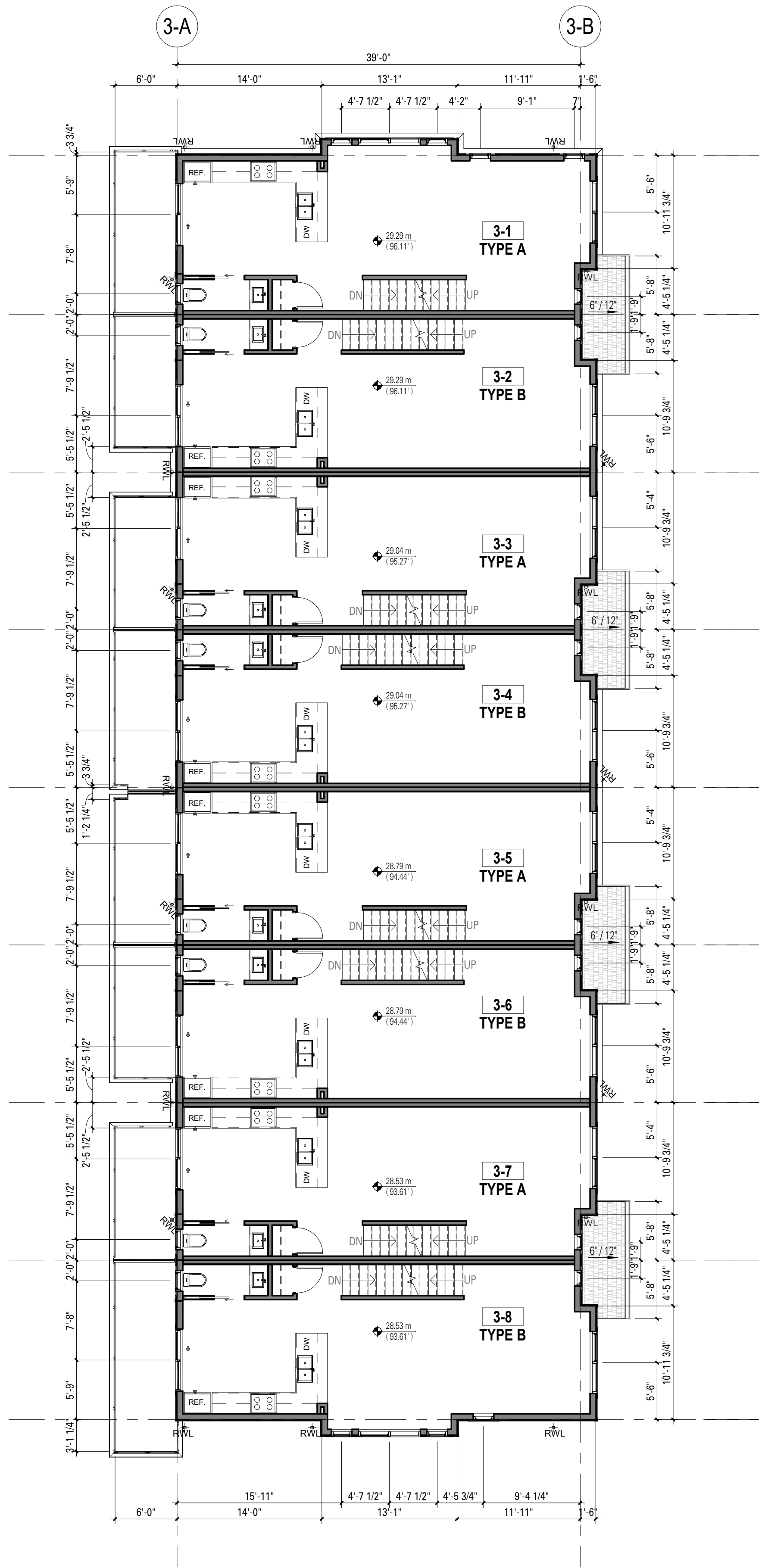
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Sheet Number

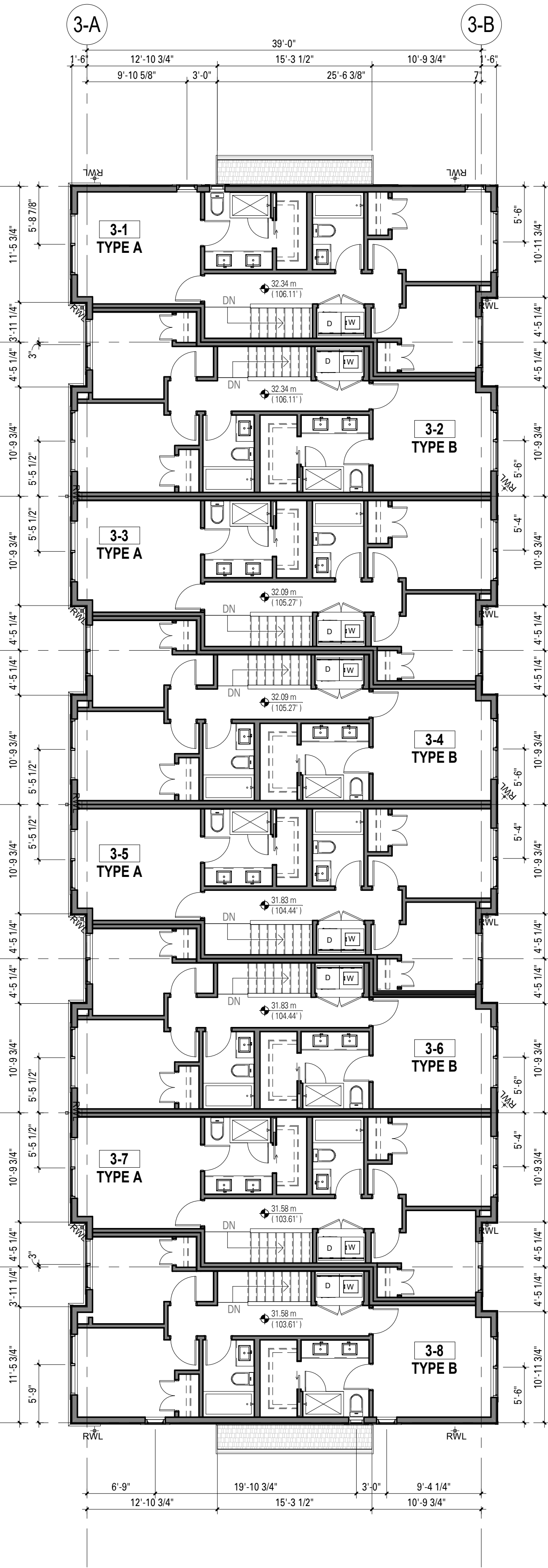
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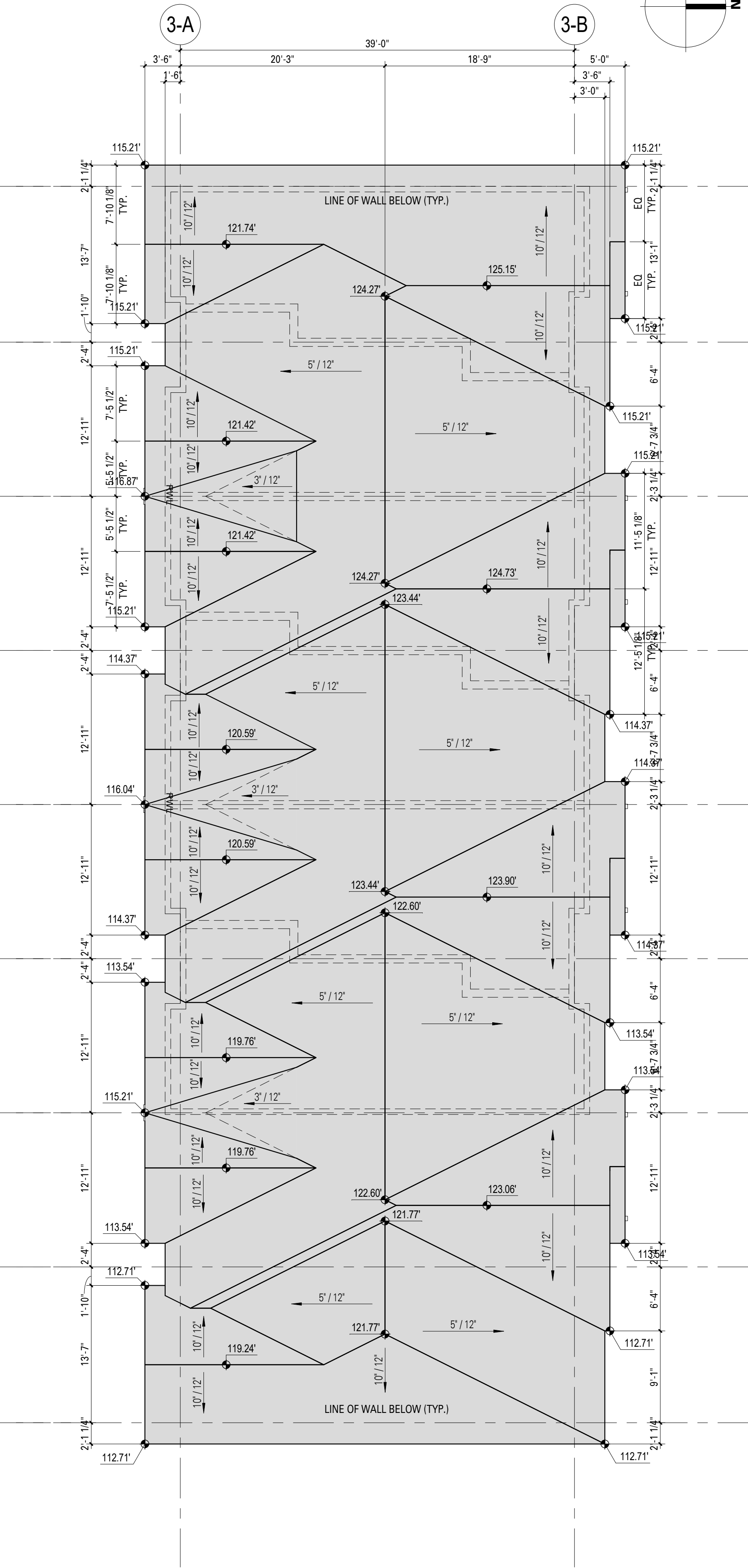
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2 LEVEL 2 - B3
1/8" = 1'-0"



3 LEVEL 3 - B3
1/8" = 1'-0"



4 ROOF - B3
1/8" = 1'-0"

SHIFT

ARCHITECTURE

200,1000 West 3rd Street
North Vancouver, BC V7P 3J6
T 604.988.7501 | shiftarchitecture.ca

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Project Title

2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

Client Owner

MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

TOWNHOME BLDG 3 PLANS

Drawn By

Author

Reviewed by

Approver

Project Number

1705

Plot Date

19-04-16

Issue Date

19-05-07

Scale

1/8" = 1'-0"

Issue/Revision

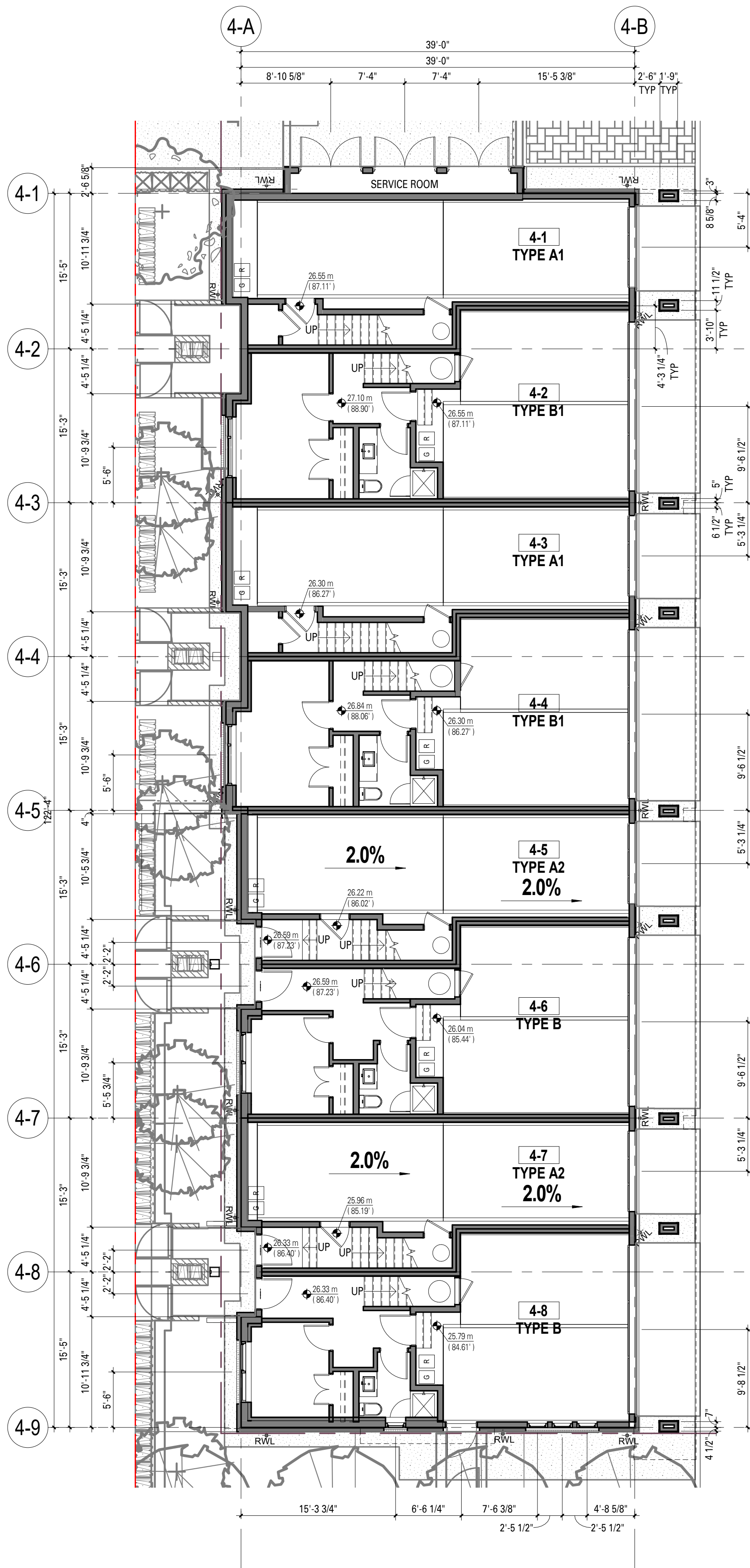
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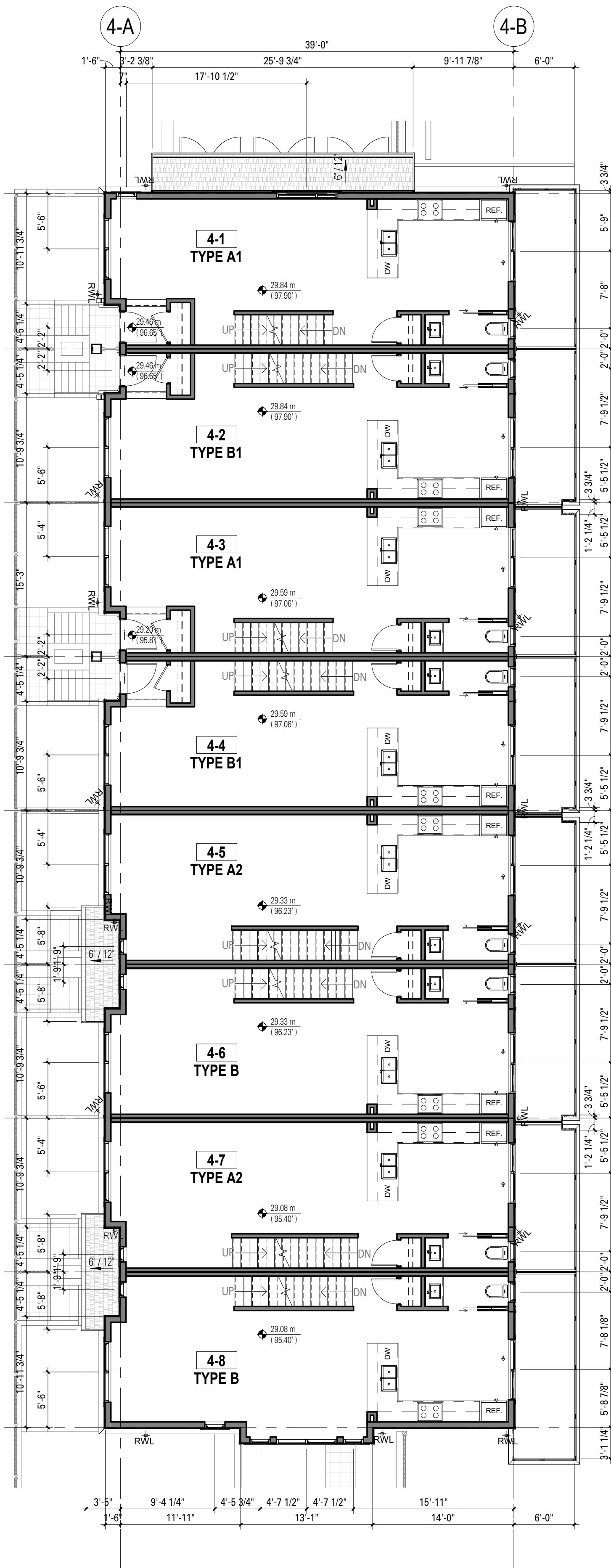
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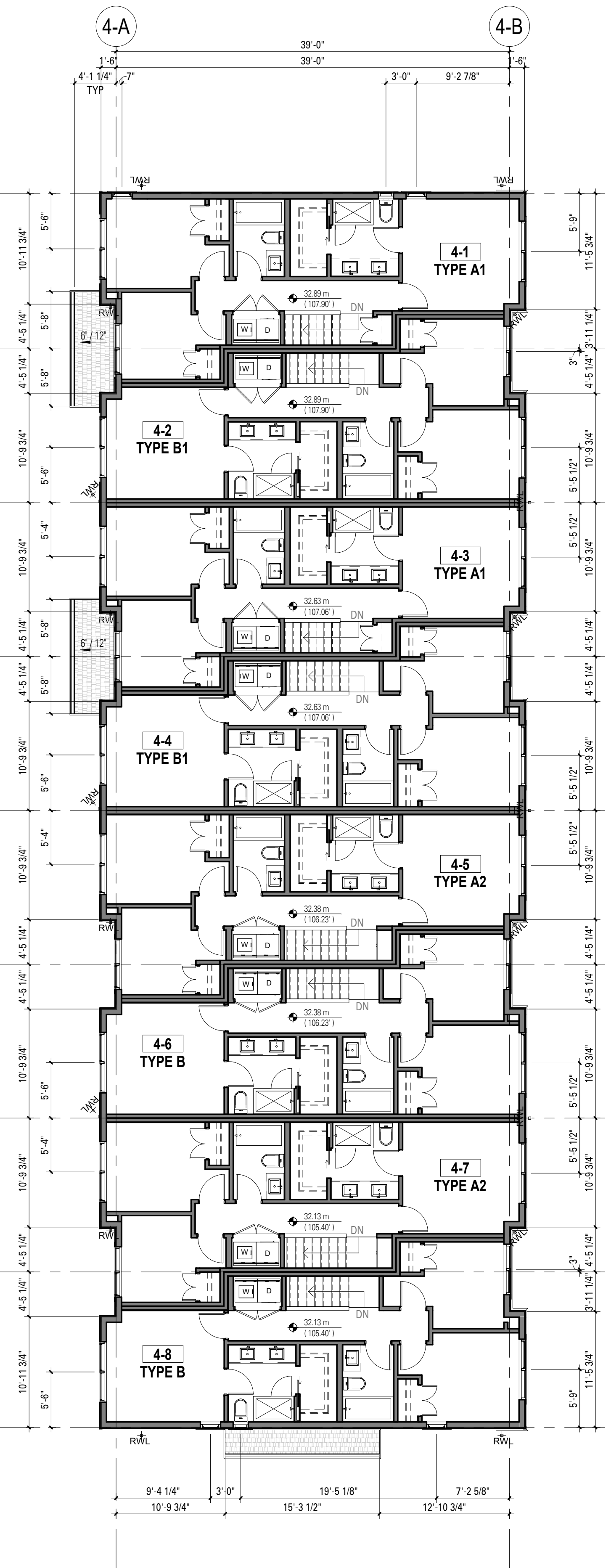
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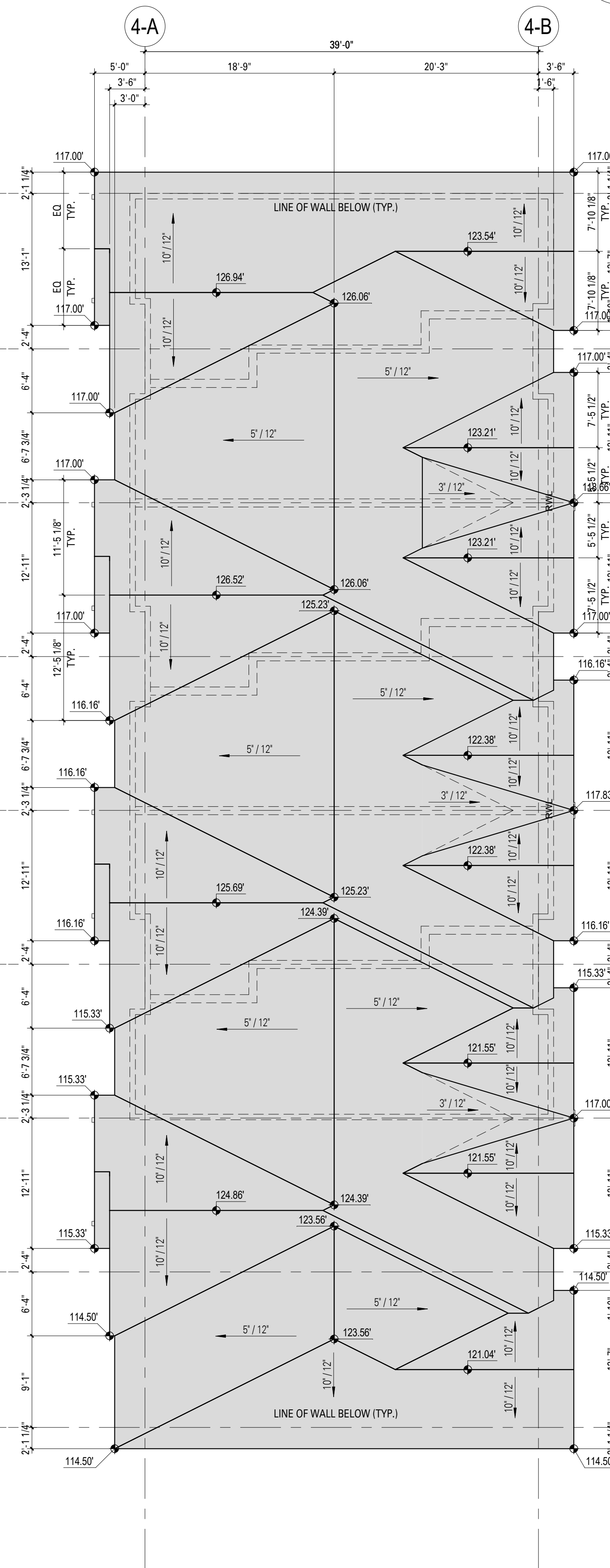
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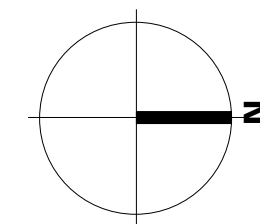
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1/8" = 1'-0"



3 LEVEL 3 - B4
1/8" = 1'-0"



4 ROOF - B4
1/8" = 1'-0"



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JOHNSTON HOUSE**
Port Moody, BC

Client/Owner
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5645 - 199 Street, Langley, BC
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Sheet Title
TOWNHOME BLDG 4 PLANS

Drawn By
Reviewed by

Project Number
1705

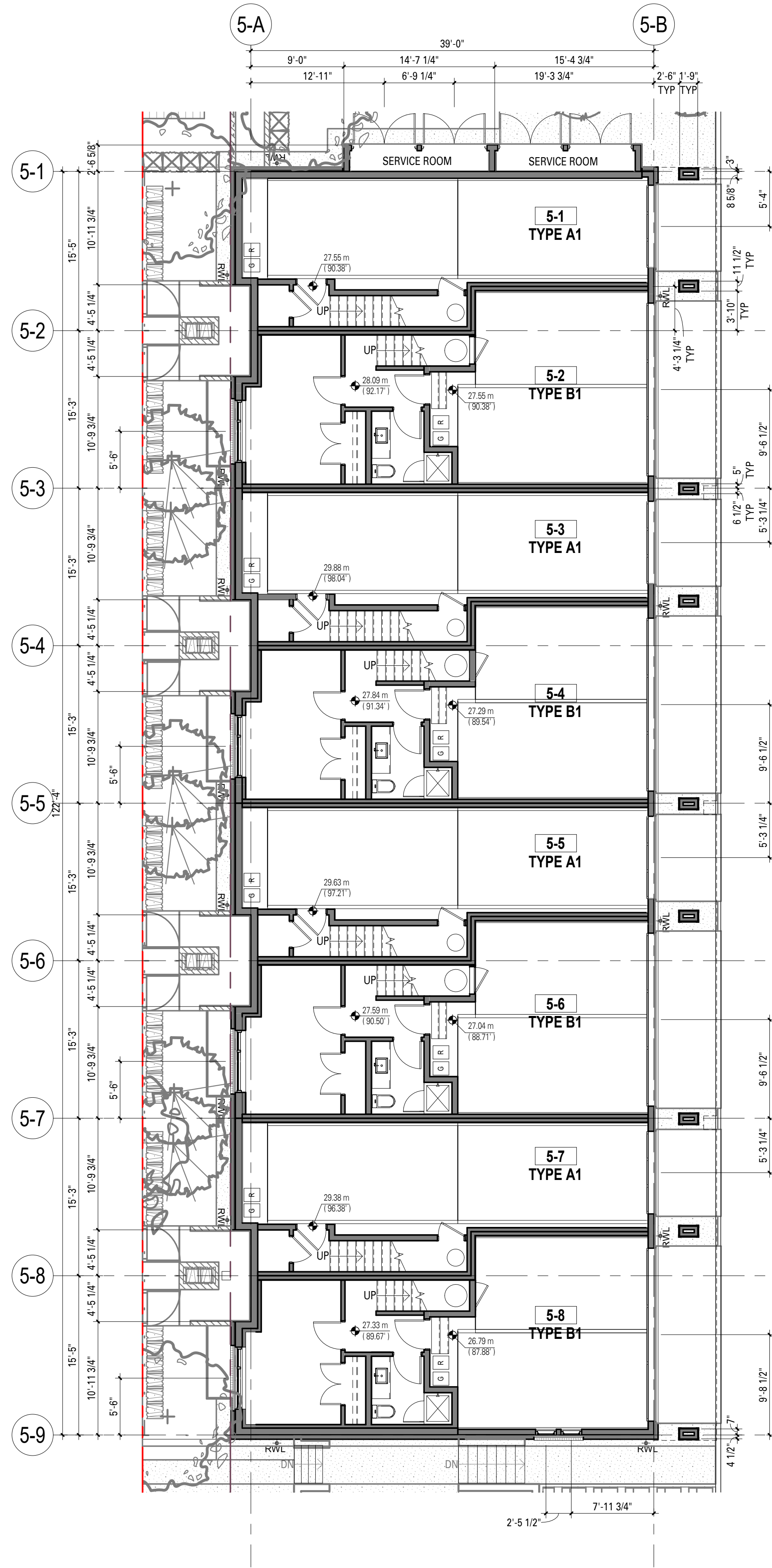
Plot Date
19-04-16

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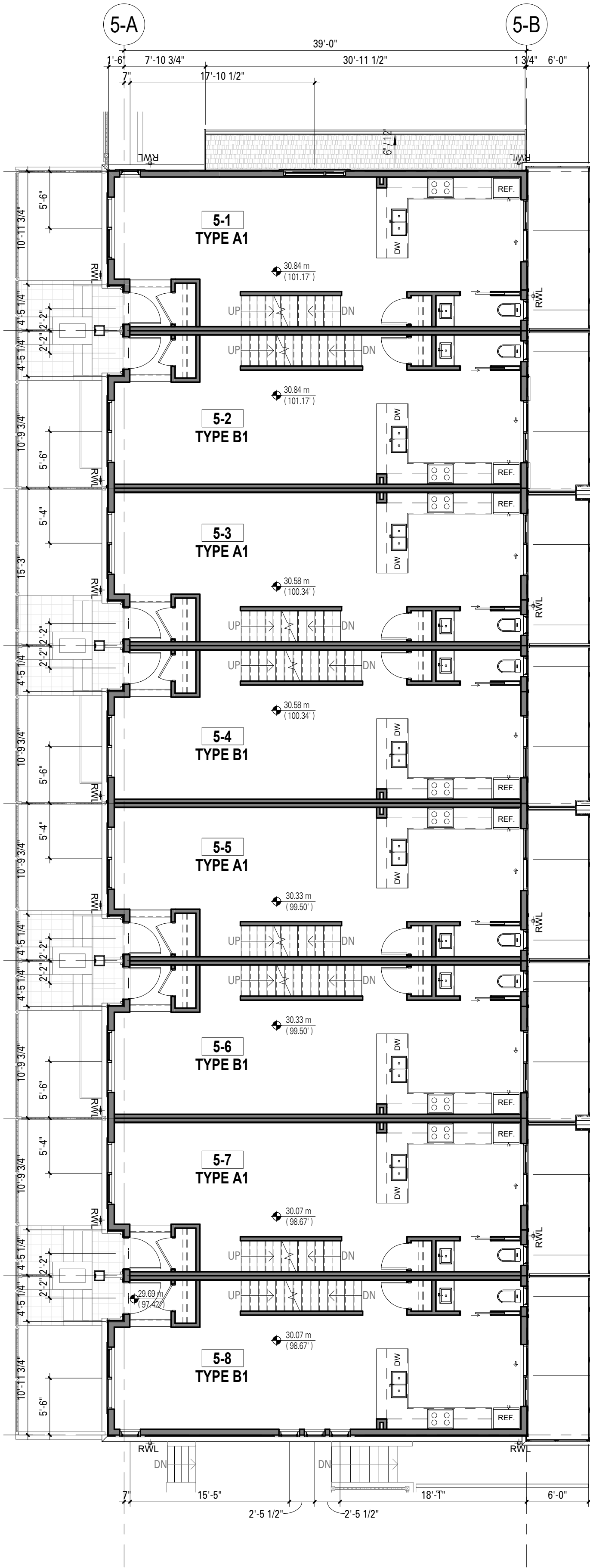
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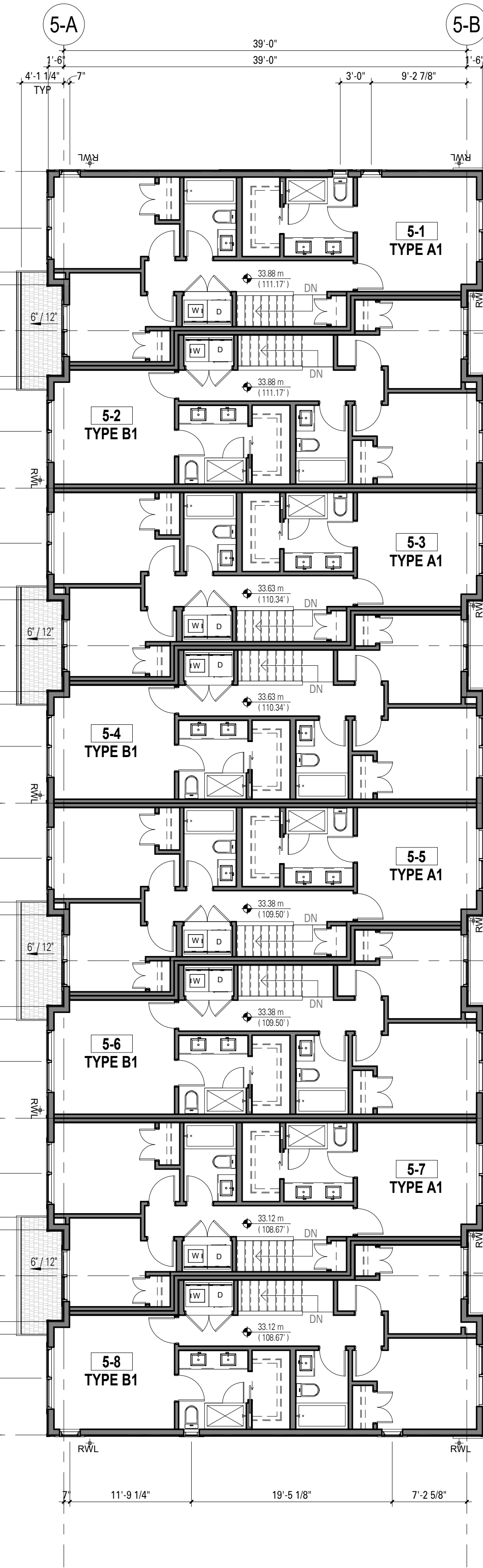
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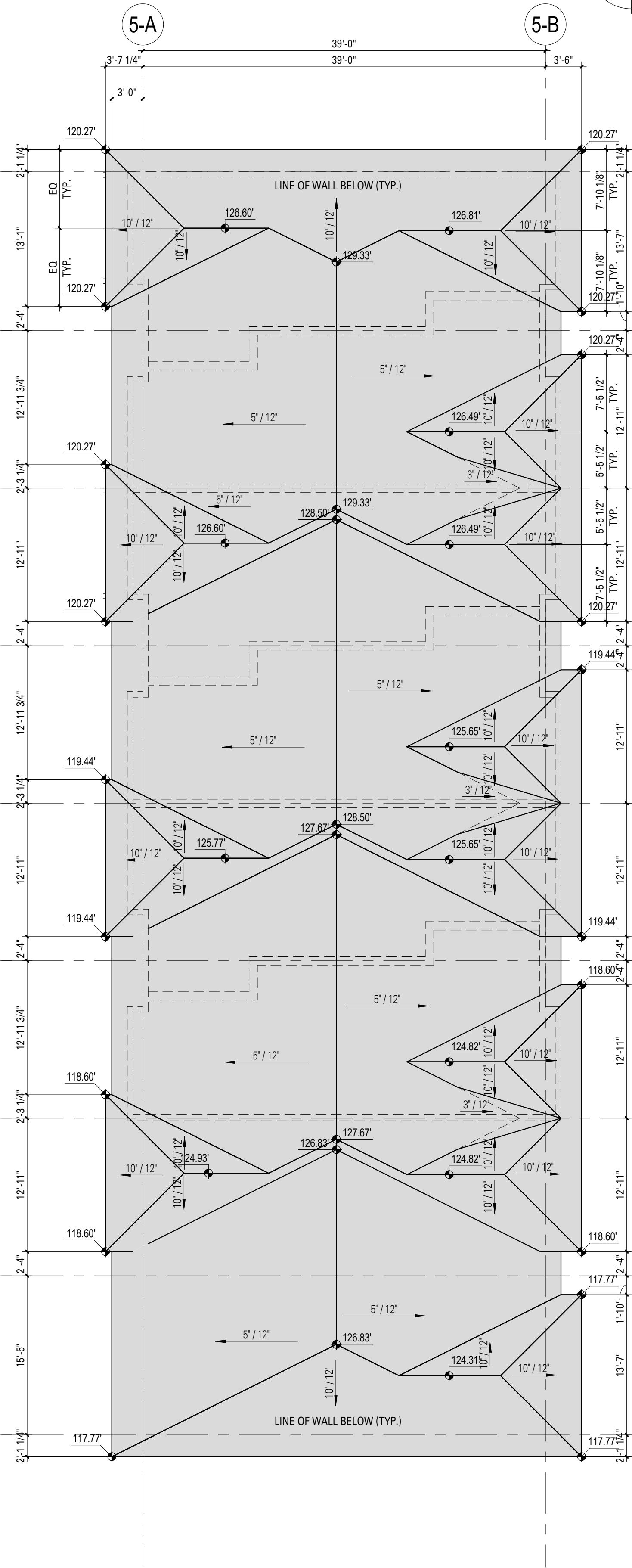
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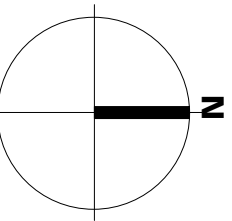
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1/8" = 1'-0"



3 LEVEL 3 - B5
1/8" = 1'-0"



4 ROOF - B5
1/8" = 1'-0"



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MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title
TOWNHOME BLDG 5 PLANS

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
1/8" = 1'-0"

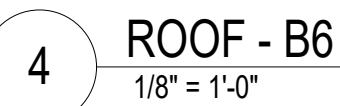
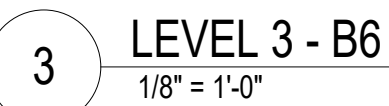
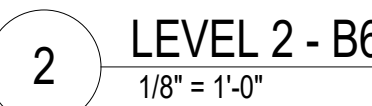
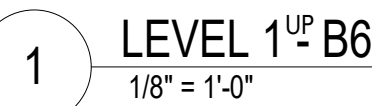
Issue/Revision
D

Sheet Number

A3.05



No.	Date	Revision Notes
D	19-05-07	Re-Issued for HRA/DP
C	19-01-24	Re-Issued for HRA/DP
B	18-07-20	Re-Issued for HRA/DP
A	17-11-08	Issued for HRA/DP
No.	yy-mm-dd	Revision Notes



REISSUED FOR HRA/DP - 2019 MAY 07

Project Title
2801 - 2831
JOHNSTON HOUSE
Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.
5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

TOWNHOME BLDG 6 PLANS

Drawn By	Author
Reviewed by	Approver

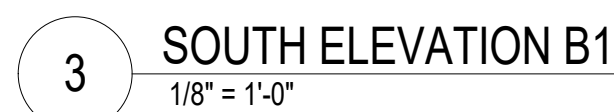
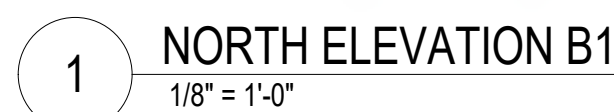
Project Number
1705

<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07

Scale Issue/Revision
1/8" = 1'-0" **D**

Sheet Number

A3.06



ITEM	MATERIAL
CL-01	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'PHILIPSBURG BLUE' HC-159
CL-02	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'HODLEY RED' HC-65
CL-03	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'MARBLEHEAD GOLD' HC-11
CL-04	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'GREAT BARRINGTON GREEN' HC-122
CL-05	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'WROUGHT IRON' 2124-10
CL-06	CEMENTITIOUS SHINGLE SIDING - BENJAMIN MOORE 'HEATHER GRAY' 2139-40
CL-07	CEMENTITIOUS PANEL SIDING (SMOOTH) - BENJAMIN MOORE 'DOVE WING' OC-18
CL-08	CEMENTITIOUS SOFFIT - BENJAMIN MOORE 'DOVE WING' OC-18
DW-01	PAINTED FIBERGLASS DOOR - BENJAMIN MOORE 'PHILIPSBURG BLUE' HC-159
DW-02	PAINTED FIBERGLASS DOOR - BENJAMIN MOORE 'HODLEY RED' HC-65
DW-03	PAINTED FIBERGLASS DOOR - BENJAMIN MOORE 'MARBLEHEAD GOLD' HC-11
DW-04	PAINTED FIBERGLASS DOOR - BENJAMIN MOORE 'GREAT BARRINGTON GREEN' HC-122
DW-05	PAINTED FIBERGLASS GARAGE DOOR C/W CLEAR GLAZING - BENJAMIN MOORE 'ASPHALT' CC-548
DW-06	PAINTED HOLLOW METAL DOOR - BENJAMIN MOORE 'IRON MOUNTAIN' 2134-30
DW-07	WINDOW - VINYL - BLACK EXTERIOR / WHITE INTERIOR
DW-08	CEMENTITIOUS 5 1/2" & 3 1/2" TRIM - BENJAMIN MOORE 'DOVE WING' OC-18
DW-09	GLAZING - LOW-E DOUBLE PANE - CLEAR

ITEM	MATERIAL
FIN-01	CEMENTITIOUS CORNER TRIM - BENJAMIN MOORE 'DOVE WING' OC-18
FIN-02	CEMENTITIOUS BELLY BAND TRIM - BENJAMIN MOORE 'DOVE WING' OC-18
FIN-03	CEMENTITIOUS BALCONY FASCIA - BENJAMIN MOORE 'WROUGHT IRON' 2124-10
FIN-04	PREFINISHED ALUMINUM FLASHINGS - GENTEK 'CASHMERE'
HG-01	ALUMINUM GUARDRAIL, C/W ALUMINUM PICKETS - POWDER COAT - TO MATCH 'RAL 7012'
HG-02	ALUMINUM PRIVACY SCREEN C/W TRANSLUCENT GLAZING - POWDER COAT - TO MATCH 'RAL 7012'
MA-01	FACE BRICK, NORMAN MODEL, 1/3 BOND - PACIFIC CLAY 'DARK IRON SPOT' - VELOUR
RF-01	ASPHALT SHINGLES - IKO - CAMBRIDGE 'CHARCOAL GRAY'
RF-02	CEMENTITIOUS FASCIA (BUILT UP 1X12 & 1X6) - BENJAMIN MOORE 'DOVE WING' OC-18
RF-03	PREFINISHED ALUMINUM GUTTER / R.W.L. & FLASHING - GENTEK 'CASHMERE'
RF-04	WOOD BRACKETS - BENJAMIN MOORE 'DOVE WING' OC-18
RF-05	CEMENTITIOUS CLAD WOOD COLUMNS - BENJAMIN MOORE 'DOVE WING' OC-18
RF-06	CEMENTITIOUS CLAD WOOD COLUMNS - BENJAMIN MOORE 'ASPHALT' C-548
RF-07	CEMENTITIOUS CLAD WOOD BEAM - BENJAMIN MOORE 'WROUGHT IRON' 2124-10
RF-08	CEMENTITIOUS CLAD WOOD BEAM - BENJAMIN MOORE 'DOVE WING' OC-18
RF-09	CEMENTITIOUS SOFFIT - BENJAMIN MOORE 'DOVE WING' OC-18
RF-10	GABLE ROOF VENT - BENJAMIN MOORE 'DOVE WING' OC-18

Project Title
2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

**TOWNHOME BLDG 1
ELEVATIONS**

Drawn By	Author
Reviewed by	Approver

Project Number
1705

<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07

Scale Issue/Revision
1/8" = 1' 0" D

Sheet Number

A4.01

No.	Date	Revision Notes
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No.	yy-mm-dd	Revision Notes



ITEM	MATERIAL
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CL-05	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'WROUGHT IRON' 2124-10
CL-06	CEMENTITIOUS SHINGLE SIDING - BENJAMIN MOORE 'HEATHER GRAY' 2139-40
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DW-06	PAINTED HOLLOW METAL DOOR - BENJAMIN MOORE 'IRON MOUNTAIN' 2134-30
DW-07	WINDOW - VINYL - BLACK EXTERIOR / WHITE INTERIOR
DW-08	CEMENTITIOUS 5 1/2" & 3 1/2" TRIM - BENJAMIN MOORE 'DOVE WING' OC-18
DW-09	GLAZING - LOW-E DOUBLE PANE - CLEAR

ITEM	MATERIAL
FIN-01	CEMENTITIOUS CORNER TRIM - BENJAMIN MOORE 'DOVE WING' OC-18
FIN-02	CEMENTITIOUS BELL BAND - TRIM - BENJAMIN MOORE 'DOVE WING' OC-18
FIN-03	CEMENTITIOUS BALCONY FASCIA - BENJAMIN MOORE 'WROUGHT IRON' 2124-10
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RF-02	CEMENTITIOUS FASCIA (BUILT UP 1X12 & 1X6) - BENJAMIN MOORE 'DOVE WING' OC-18
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RF-04	WOOD BRACKETS - BENJAMIN MOORE 'DOVE WING' OC-18
RF-05	CEMENTITIOUS CLAD WOOD COLUMNS - BENJAMIN MOORE 'DOVE WING' OC-18
RF-06	CEMENTITIOUS CLAD WOOD COLUMNS - BENJAMIN MOORE 'ASPHALT' OC-548
RF-07	CEMENTITIOUS CLAD WOOD BEAM - BENJAMIN MOORE 'WROUGHT IRON' 2124-10
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RF-09	CEMENTITIOUS SOFFIT - BENJAMIN MOORE 'DOVE WING' OC-18
RF-10	GABLE ROOF VENT - BENJAMIN MOORE 'DOVE WING' OC-18

REISSUED FOR HRA/DP - 2019 MAY 07

Project Title
2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

**TOWNHOME BLDG 3
ELEVATIONS**

Drawn By	Author
Reviewed by	Approver

Project Number
1705

<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07

Scale	Issue/Revision
D	

Sheet Number

A4.03

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A	17-11-08	Issued for HRA/DP
No.	yy-mm-dd	Revision Notes



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DW-09	GLAZING - LOW-E DOUBLE PANE - CLEAR

ITEM	MATERIAL
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REISSUED FOR HRA/DP - 2019 MAY 07

Project Title

2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

MARCON

Client/Owner

MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

TOWNHOME BLDG 4 ELEVATIONS

Drawn By

Reviewed by

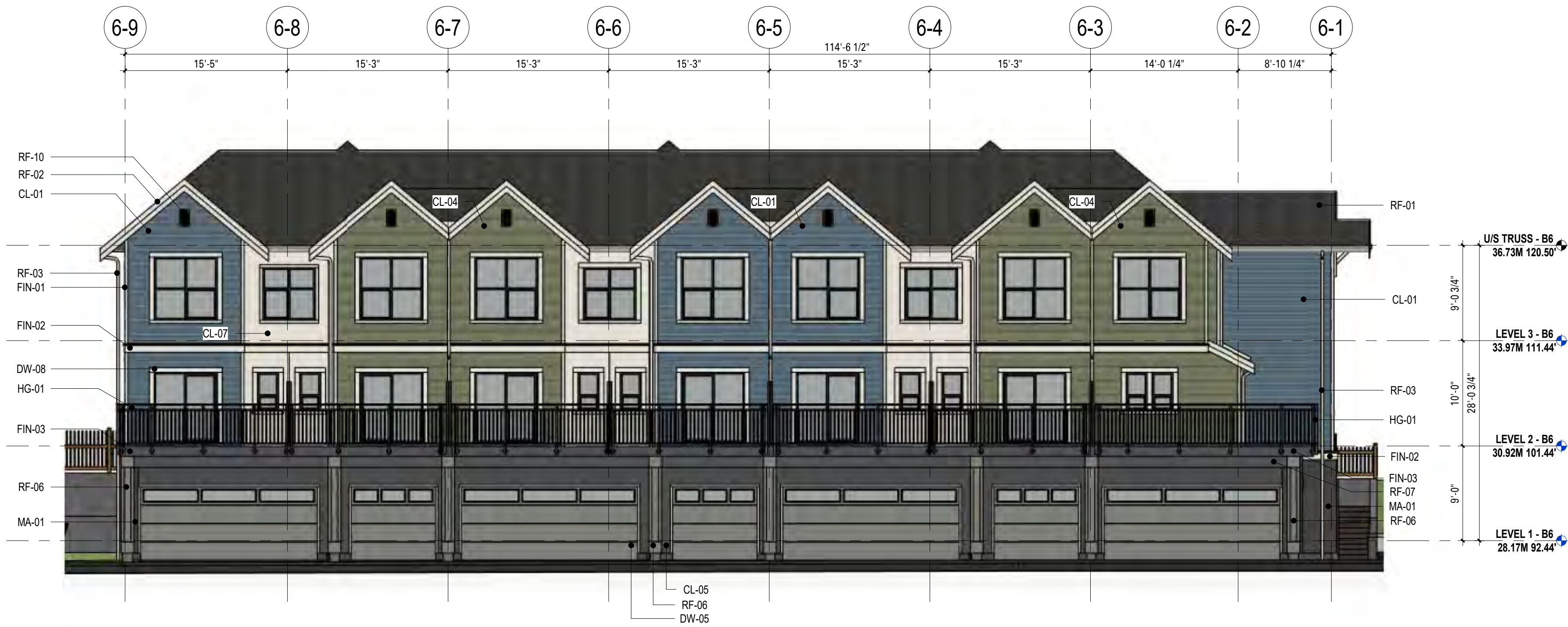
Project Number
1705

Plot Date
19-04-16

Scale

Sheet Number

A4.04



1 NORTH ELEVATION B6
1/8" = 1'-0"



2 EAST ELEVATION B6
1/8" = 1'-0"



3 SOUTH ELEVATION B6
1/8" = 1'-0"



4 WEST ELEVATION B6
1/8" = 1'-0"

TOWNHOME MATERIALS

ITEM	MATERIAL
CL-01	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'PHILIPSBURG BLUE' HC-159
CL-02	CEMENTITIOUS HORIZONTAL SIDING - BENJAMIN MOORE 'HODLEY RED' HC-65
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No.	yy-mm-dd	Revision Notes

Project Title
**2801 - 2831
JOHNSTON HOUSE**
Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title
**TOWNHOME BLDG 6
ELEVATIONS**

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
1/8" = 1'-0"

Issue/Revision
D

Sheet Number

A4.06





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No.	yy-mm-dd	Revision Notes

UNIT TYPE A	
UNIT	A
AREA	1312 sq.ft
L1	68 sq.ft
L2	617 sq.ft
L3	628 sq.ft
BEDS	3
10	/ 43

NOTE: UNIT AREAS ARE AVERAGED

REISSUED FOR HRA/DP - 2019 MAY 07

Project Title

2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

MARCON

Client/Owner

MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title

TOWNHOME UNIT PLAN TYPE A

Drawn By

Reviewed by

Project Numb

1705

Plot Date

19-04-16

Scale

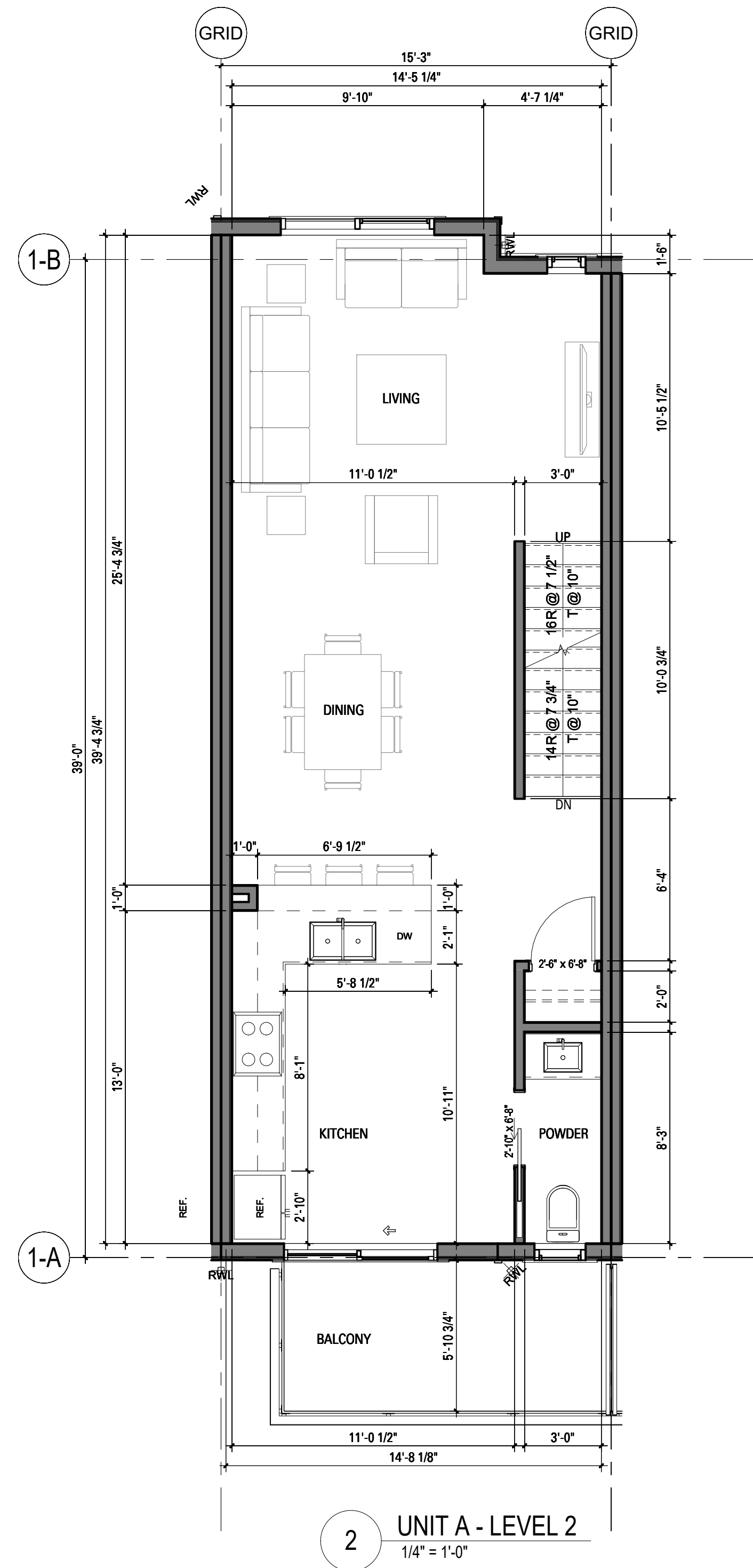
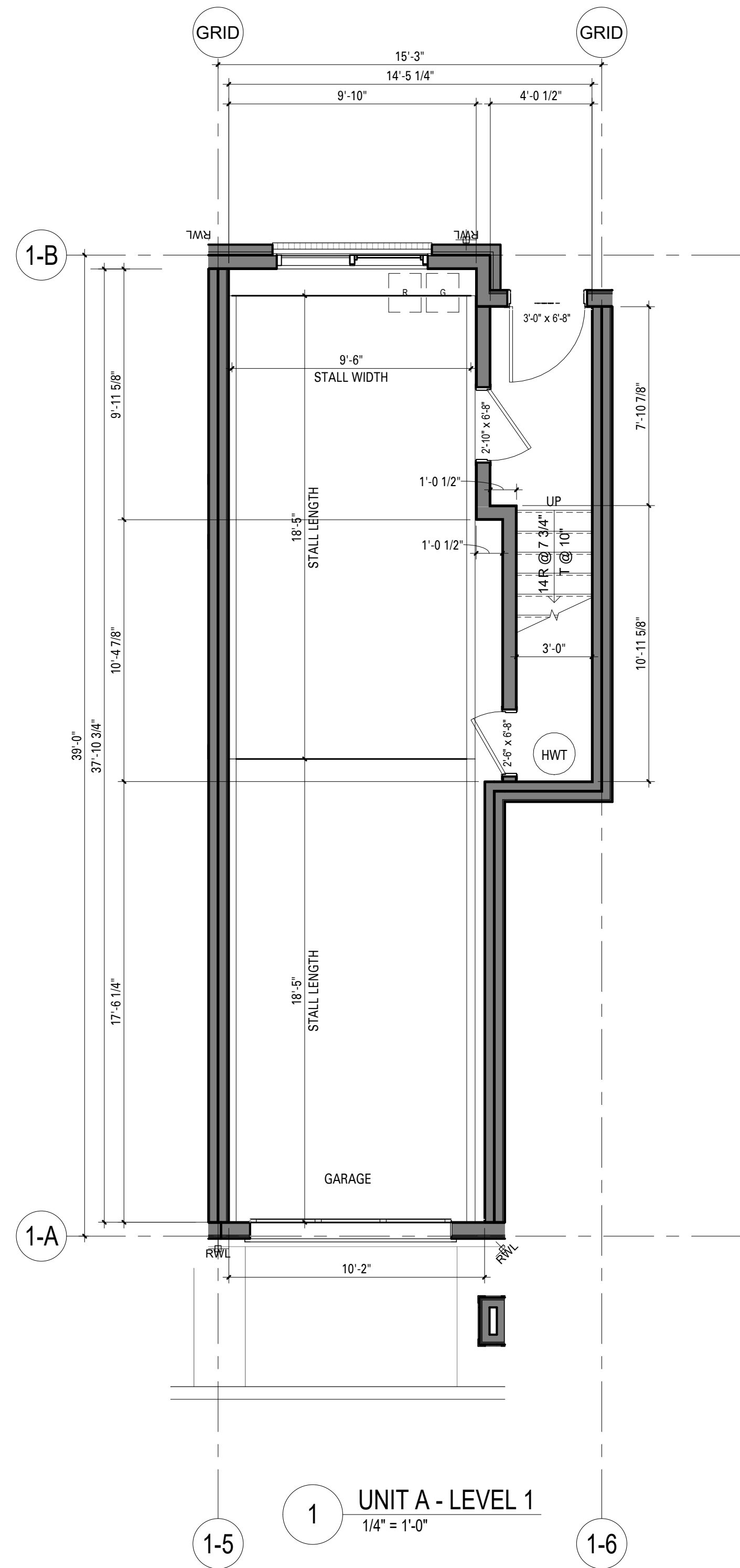
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21. *Journal of Management Education*, 2000, 24(1), 10-19.

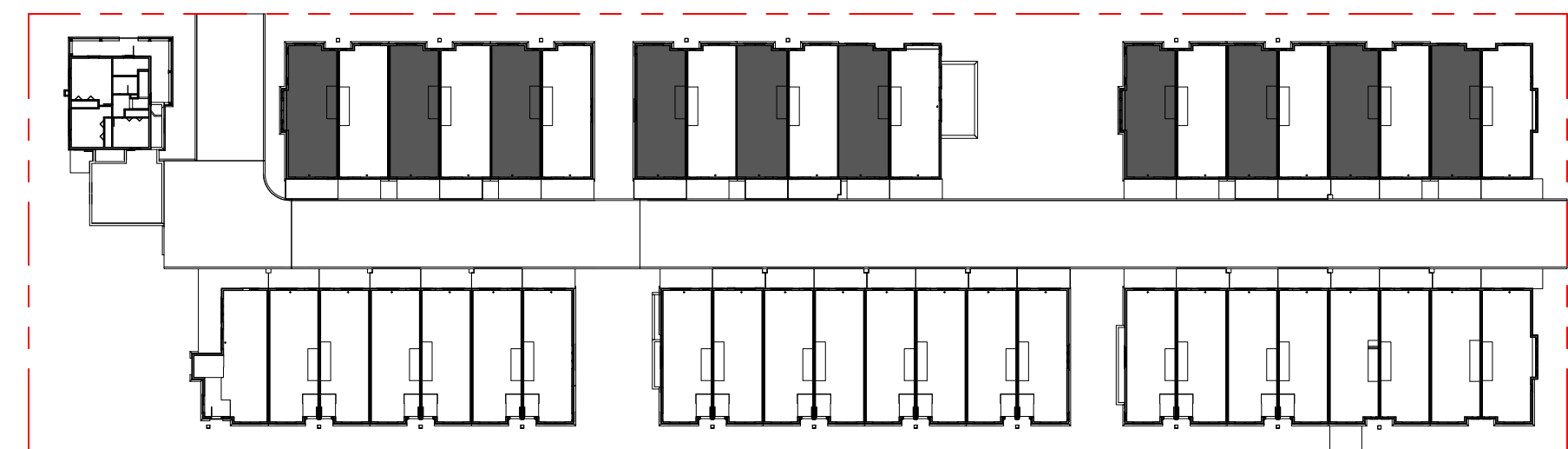
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A6.01

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NOTE: ALL DIMENSIONS ARE CLEAR DIMENSIONS



KEYPLAN 'A'



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No.	Date	Revision Notes
D	19-05-07	Re-Issued for HRA/DP
C	19-01-24	Re-Issued for HRA/DP
No.	yy-mm-dd	Revision Notes

UNIT TYPE A1	
UNIT	A1
AREA	1312 sq.ft
L1	73 sq.ft
L2	612 sq.ft
L3	627 sq.ft
BEDS	3
9	/ 43

NOTE: UNIT AREAS ARE AVERAGED

REISSUED FOR HRA/DP - 2019 MAY 07

Project Title

2801 - 2831

JOHNSTON HOUSE

Port Moody, BC

MARCON

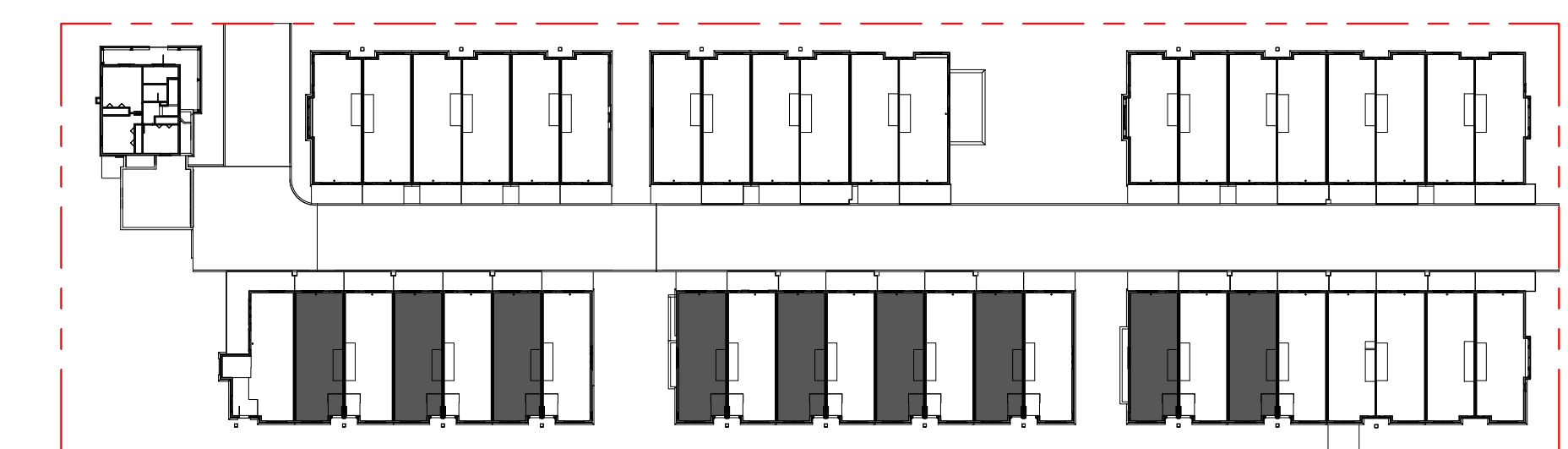
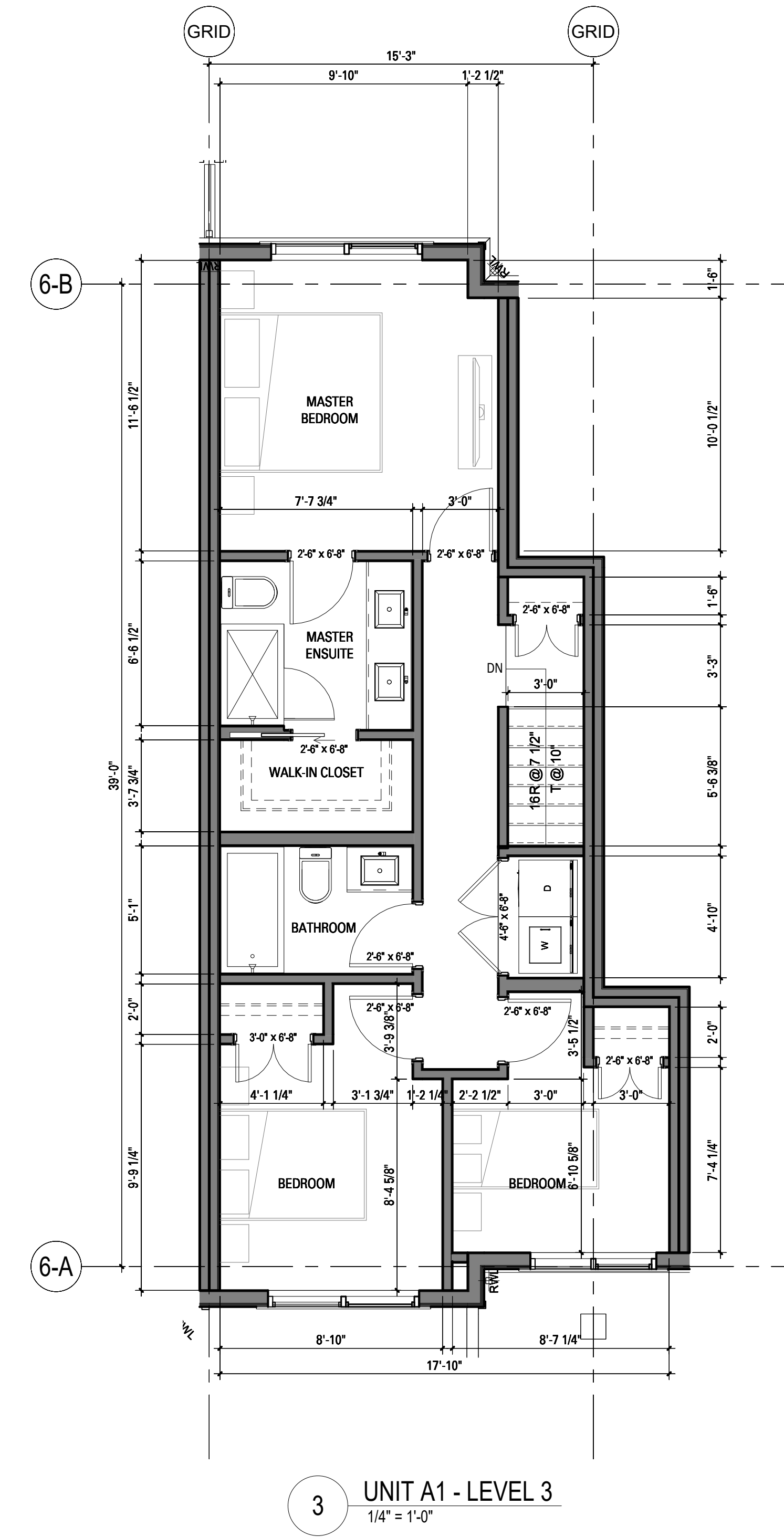
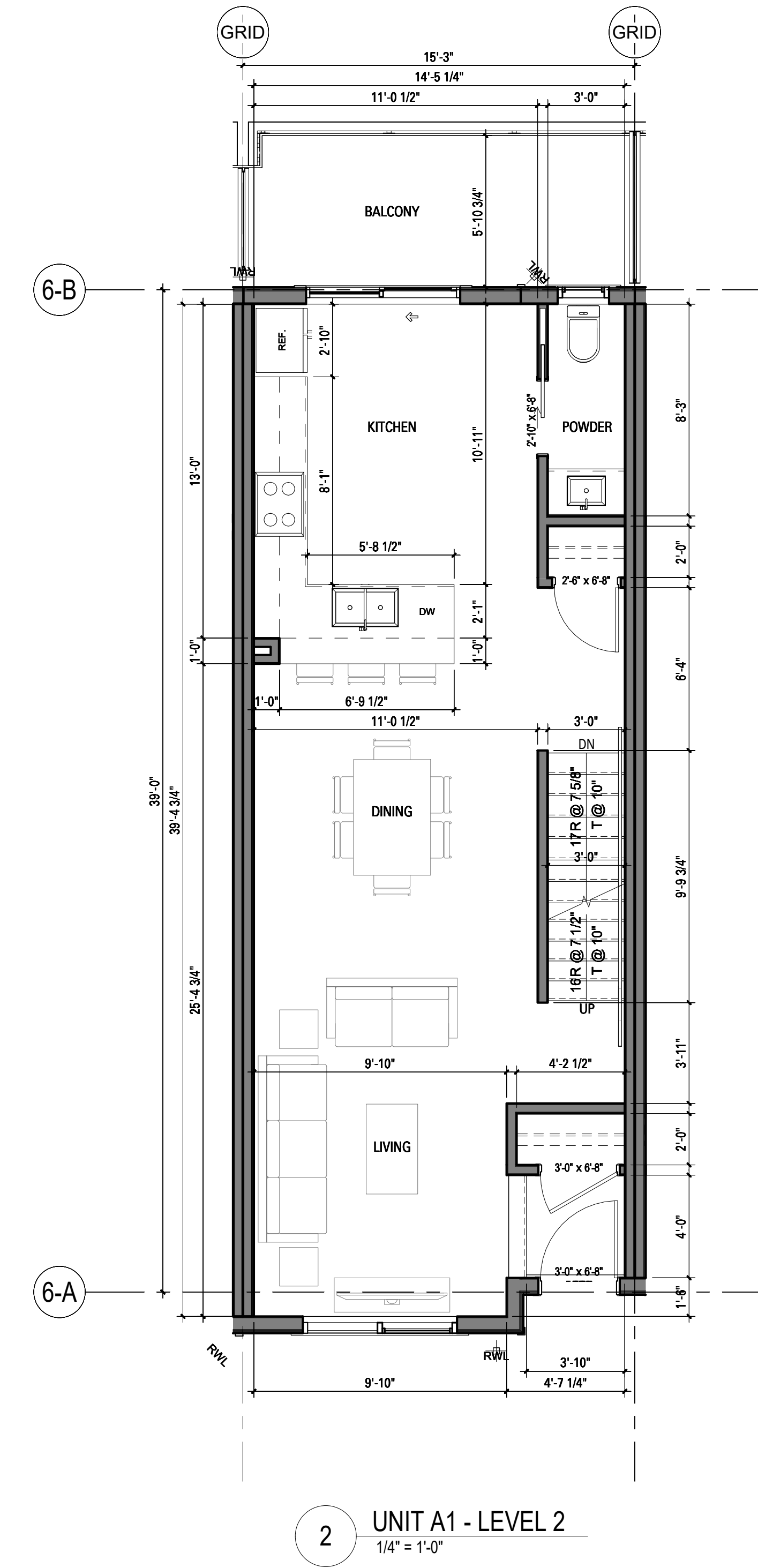
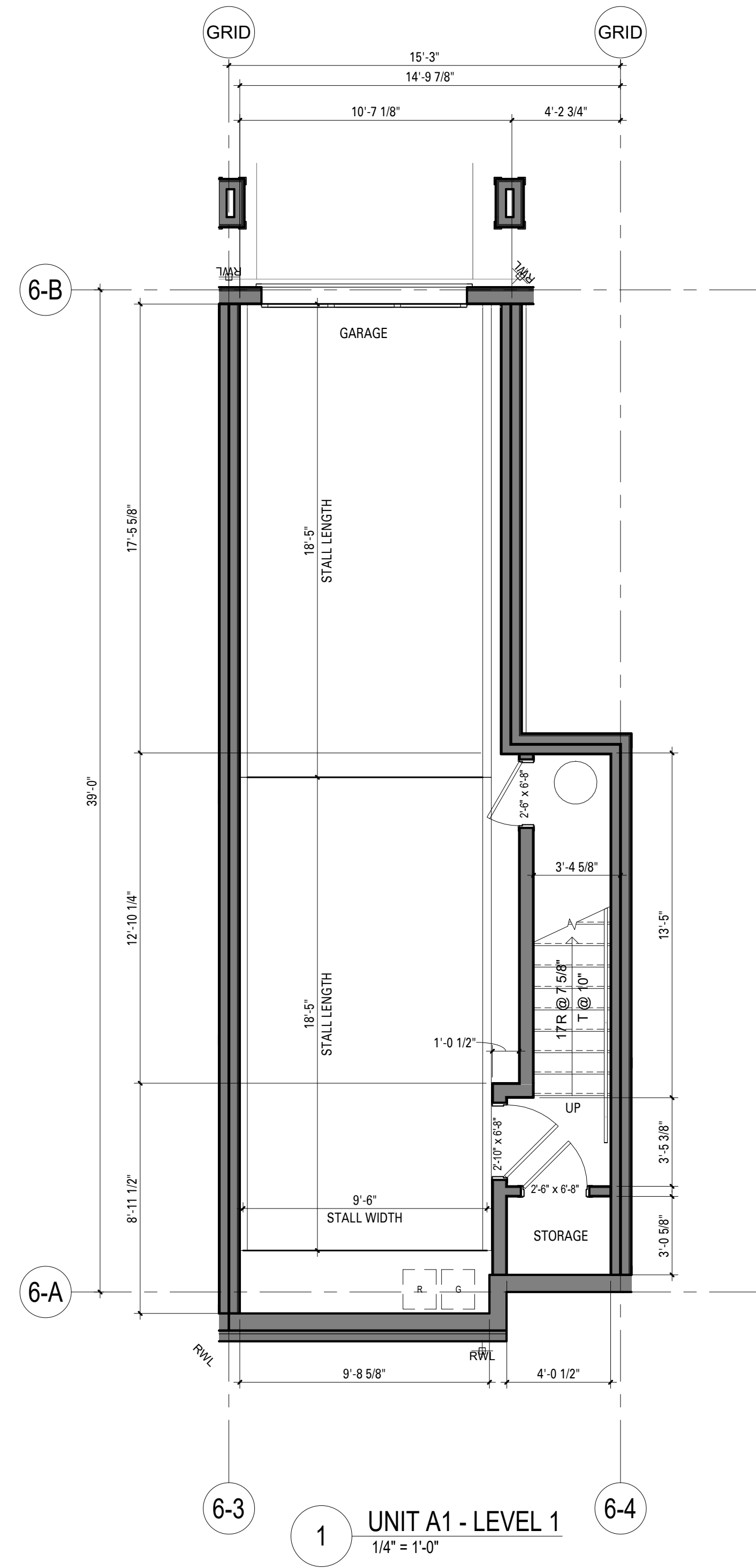
Client/Owner
MARCON JOHNSTON (GP) LTD.
5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title
TOWNHOME UNIT PLAN TYPE
A1

<i>Drawn By</i>	<i>Author</i>
<i>Reviewed by</i>	<i>Approver</i>
<hr/>	
<i>Project Number</i>	
1705	
<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07
<hr/>	
<i>Scale</i>	<i>Issue/Revision</i>
As indicated	D
<hr/>	
<i>Sheet Number</i>	

A6.02

2



KEYPLAN 'A1

NOTE: ALL DIMENSIONS ARE CLEAR DIMENSIONS

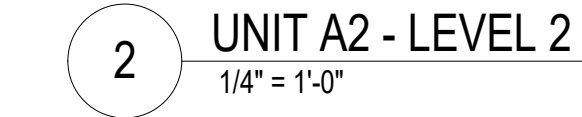


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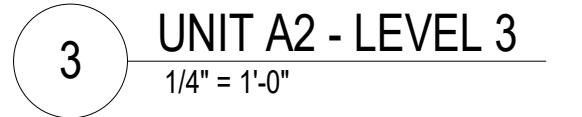
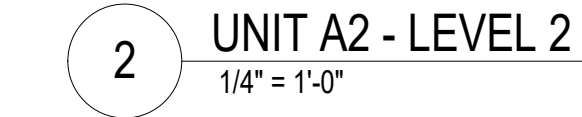
No.	Date	Revision Notes
D	19-05-07	Re-Issued for HRA/DP
C	19-01-24	Re-Issued for HRA/DP
No.	yy-mm-dd	Revision Notes

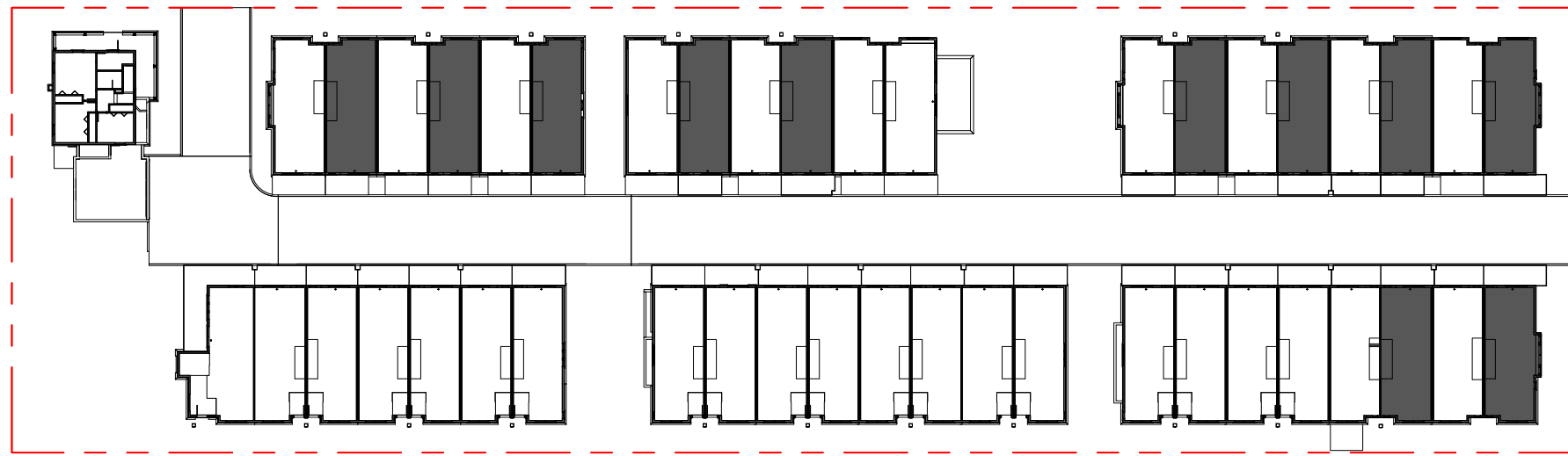
UNIT TYPE A2	
UNIT	A2
AREA	1308 sq.ft
L1	71 sq.ft
L2	611 sq.ft
L3	625 sq.ft
BEDS	3
2	/ 43

NOTE: UNIT AREAS ARE AVERAGED

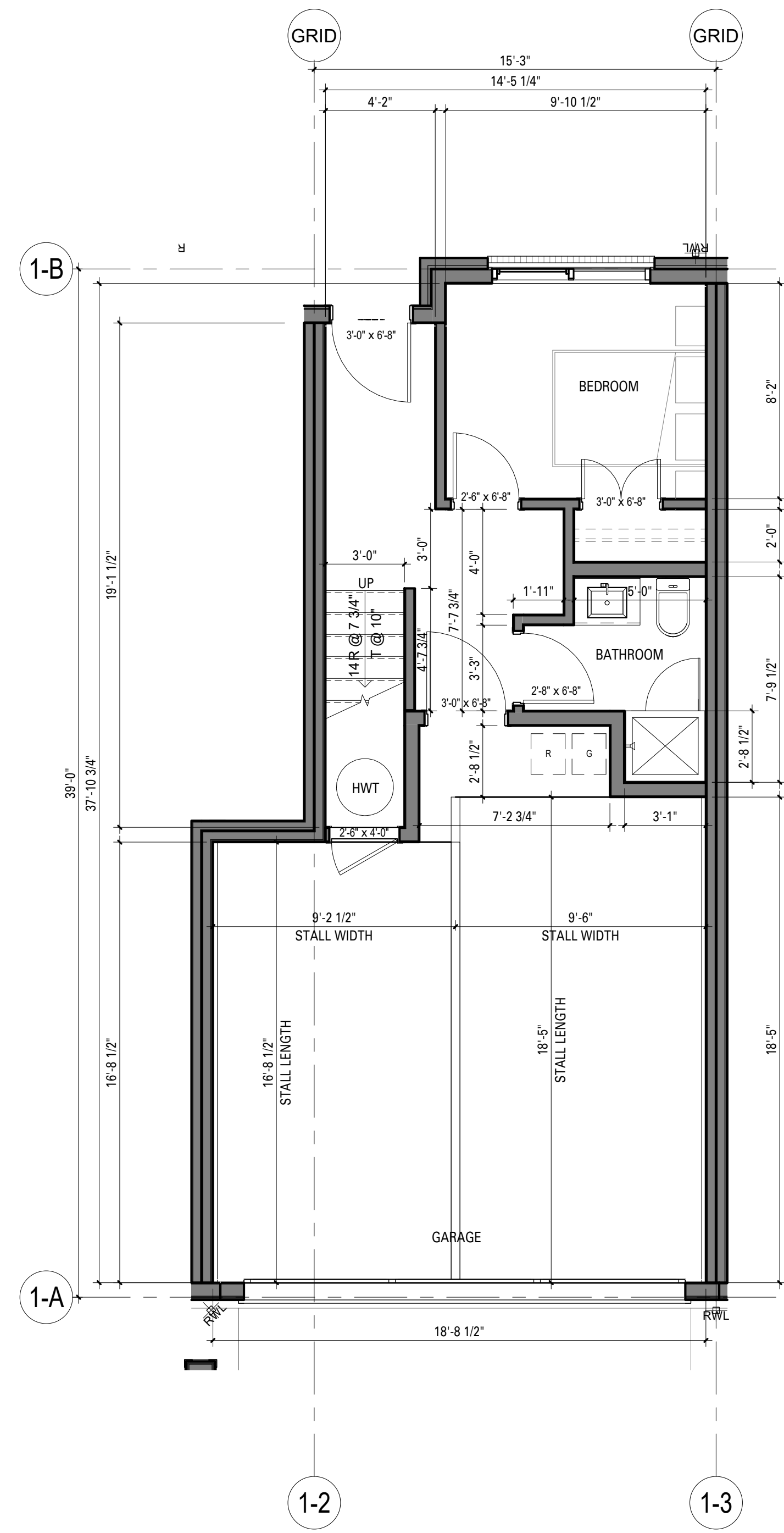


NOTE: ALL DIMENSIONS ARE CLEAR DIMENSIONS

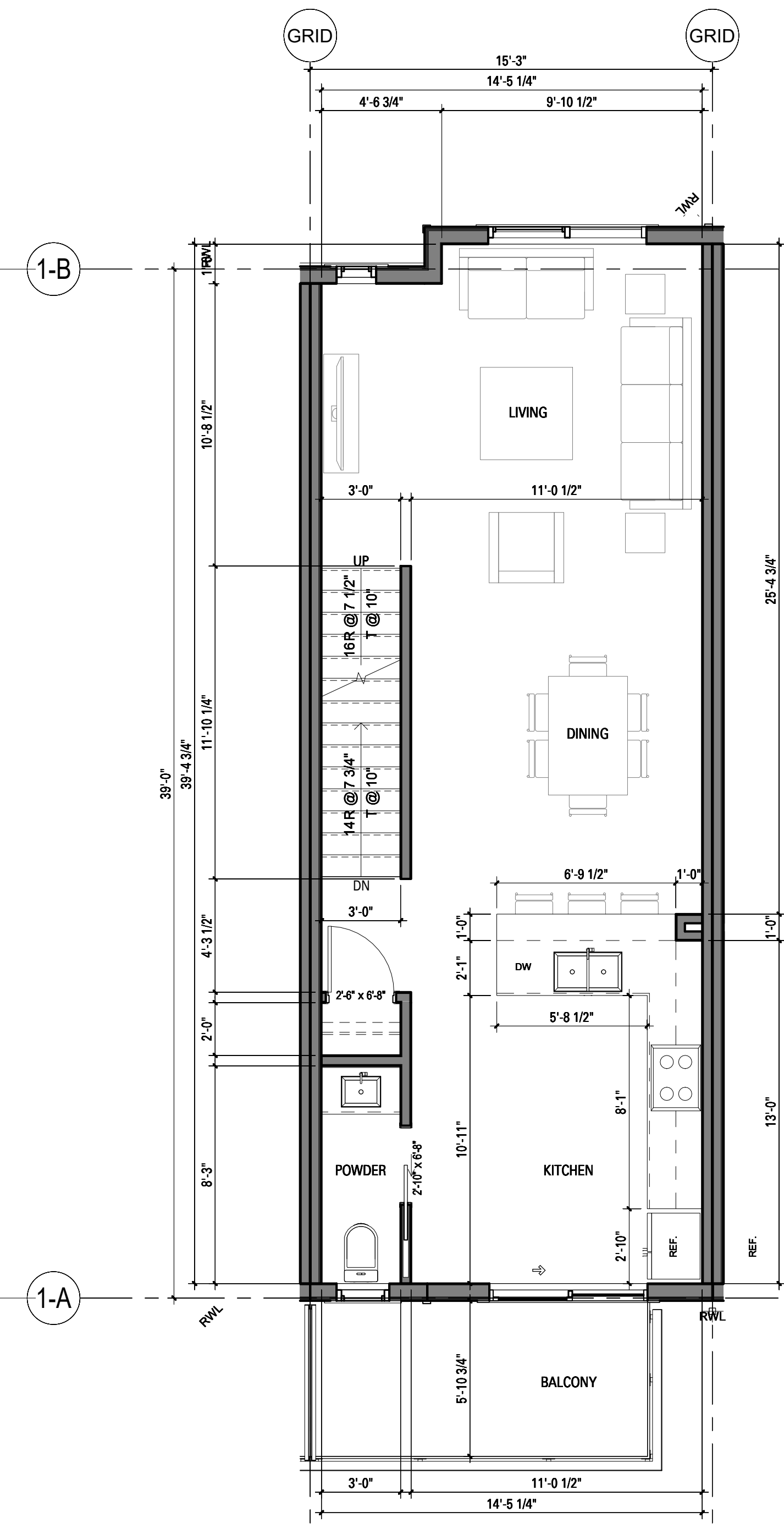




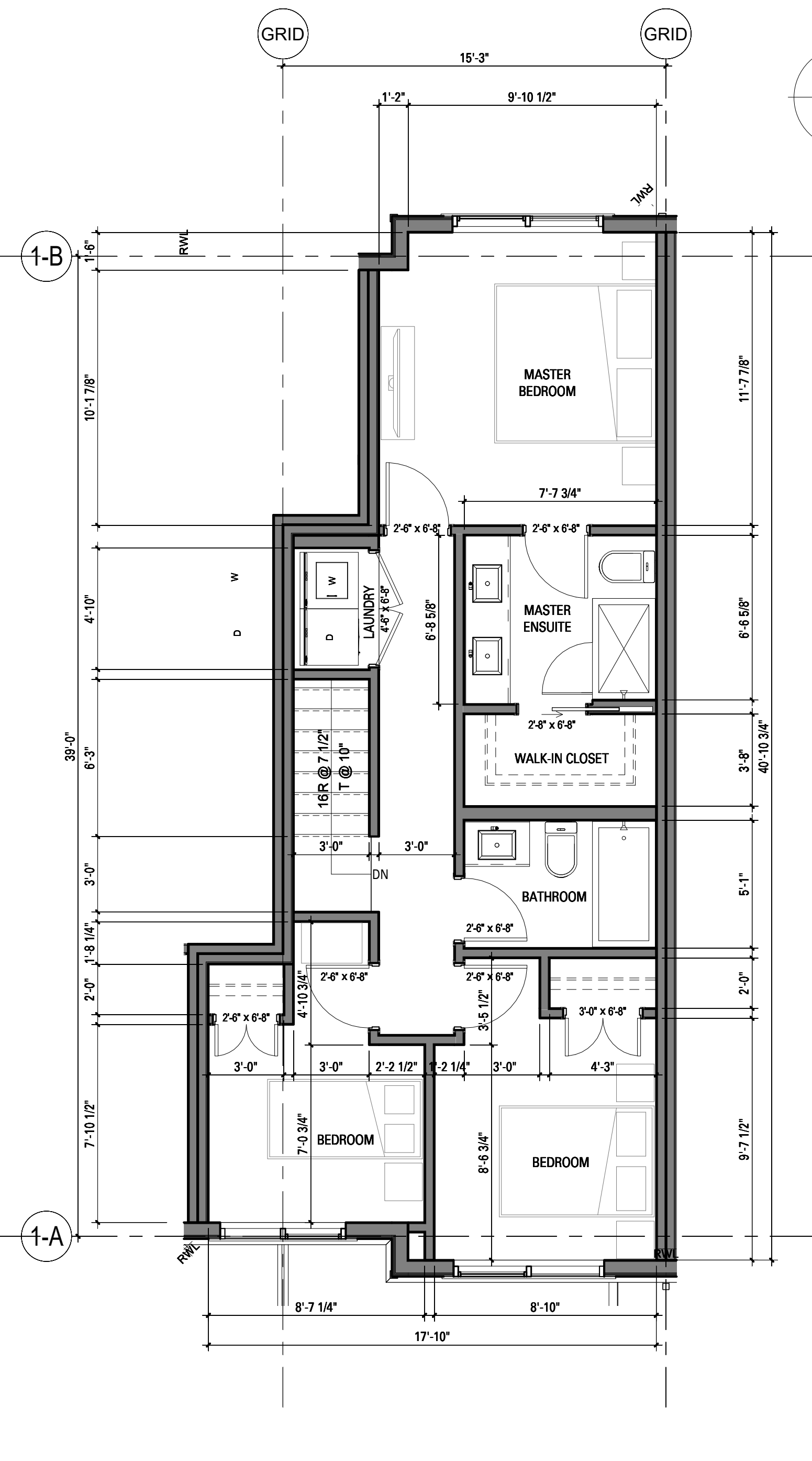
KEYPLAN 'B'



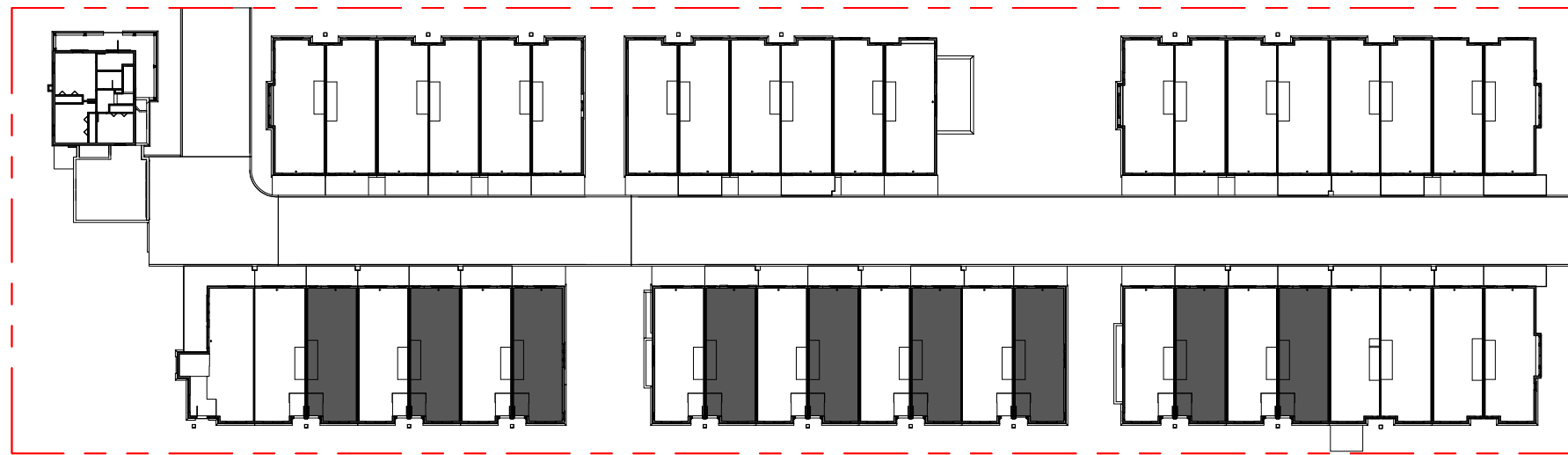
1 UNIT B - LEVEL 1
1/4" = 1'-0"



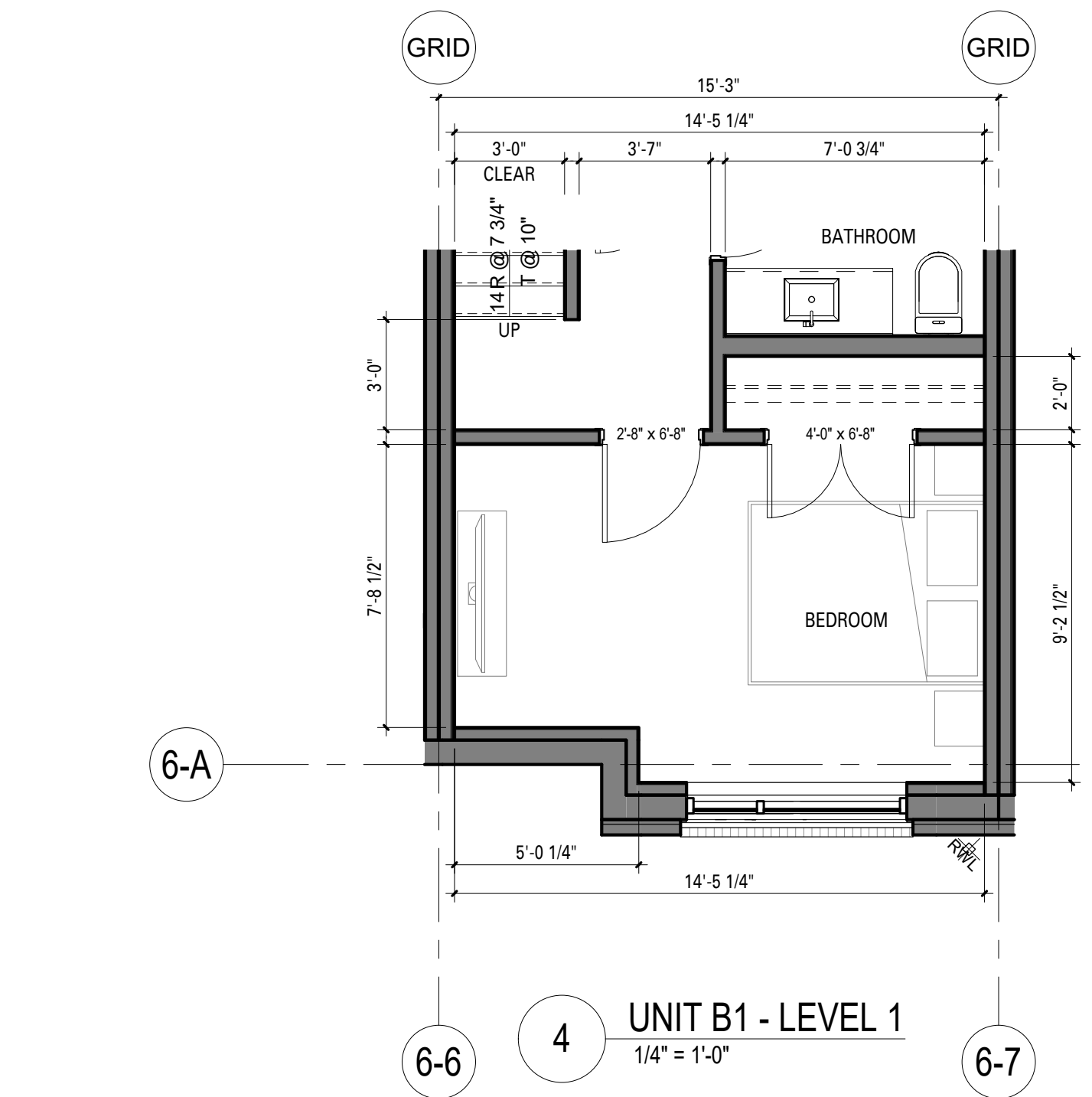
2 UNIT B - LEVEL 2
1/4" = 1'-0"



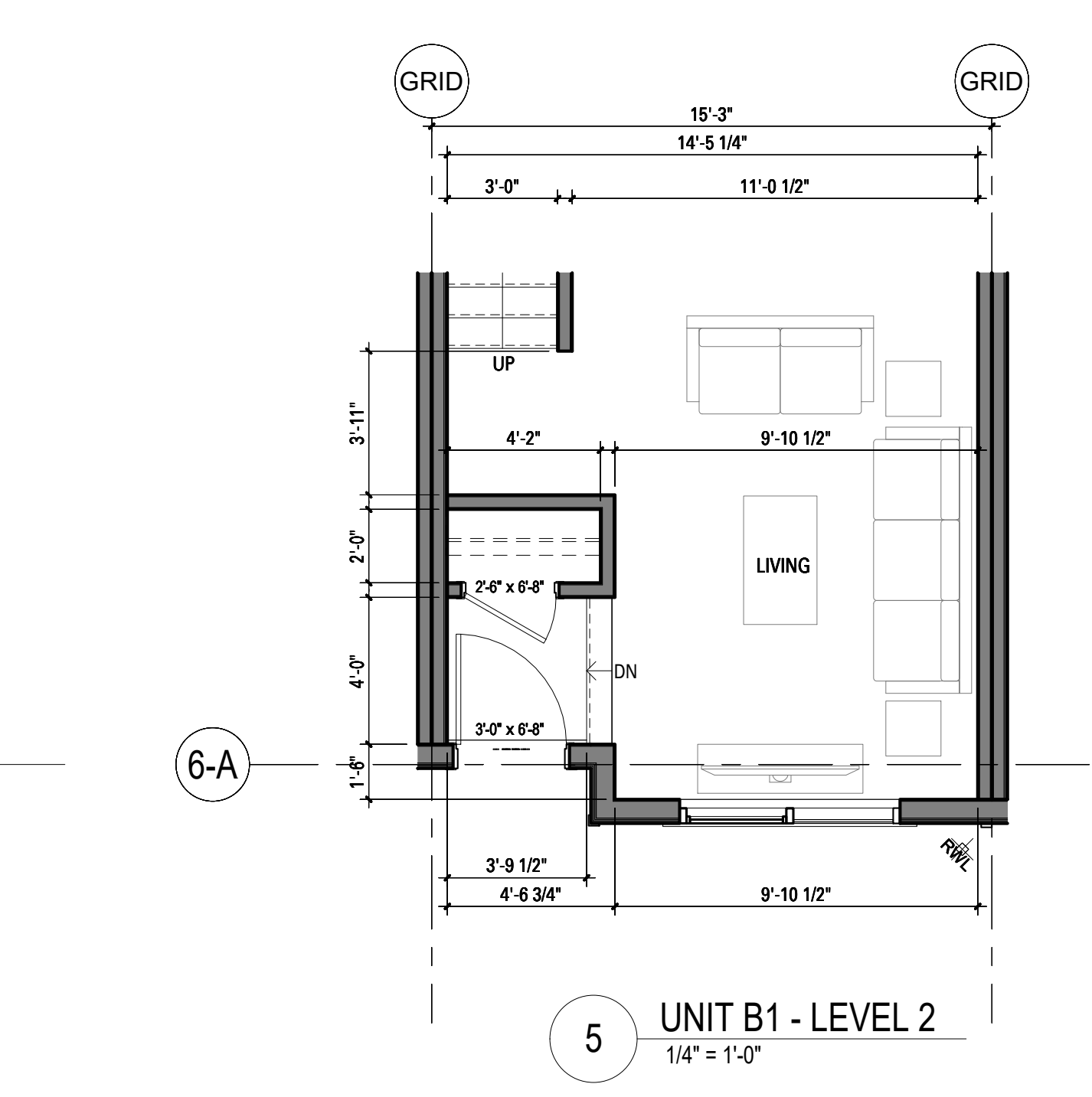
3 UNIT B - LEVEL 3
1/4" = 1'-0"



KEYPLAN 'B1'



4 UNIT B1 - LEVEL 1
1/4" = 1'-0"



5 UNIT B1 - LEVEL 2
1/4" = 1'-0"

NOTE: ALL DIMENSIONS ARE CLEAR DIMENSIONS

No.	Date	Revision Notes
D	19-05-07	Re-issued for HRA/DP
C	19-01-24	Re-issued for HRA/DP
B	18-07-20	Re-issued for HRA/DP
A	17-11-08	Issued for HRA/DP
No.	yy-mm-dd	Revision Notes

UNIT TYPE B	
UNIT	B
AREA	1514 sq. ft
L1	266 sq. ft
L2	616 sq. ft
L3	631 sq. ft
BEDS	4
11	/ 43

UNIT TYPE B1	
UNIT	B1
AREA	1532 sq. ft
L1	289 sq. ft
L2	612 sq. ft
L3	631 sq. ft
BEDS	4
9	/ 43

NOTE: UNIT AREAS ARE AVERAGED

Project Title
**2801 - 2831
JOHNSTON HOUSE**
Port Moody, BC

MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.

5645 - 199 Street, Langley, BC
V3A 1H9

Sheet Title
**TOWNHOME UNIT PLAN TYPES
B & B1**

Drawn By
Reviewed by

Author
Approver

Project Number
1705

Plot Date
19-04-16

Issue Date
19-05-07

Scale
As indicated

Issue/Revision
D

Sheet Number

A6.04



No.	Date	Revision Notes
D	19-05-07	Re-issued for HRA/DP
C	19-01-24	Re-issued for HRA/DP
No.	yy-mm-dd	Revision Notes

NOTE: UNIT AREAS ARE AVERAGED

REISSUED FOR HRA/DP - 2019 MAY 07

MARCON

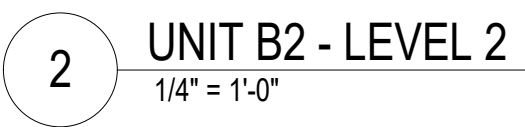
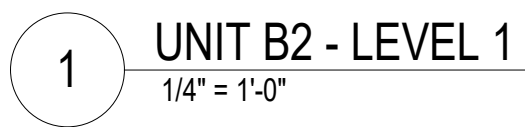
5645 - 199 Street, Langley, BC
V3A 1H9

Drawn By	Author
Reviewed by	Approver

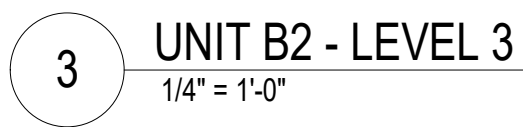
<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07

Sheet Number

A6.06



NOTE: ALL DIMENSIONS ARE CLEAR DIMENSIONS





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No.	Date	Revision Notes
D No.	19-05-07 yy-mm-dd	Re-issued for HRA/DP Revision Notes

UNIT TYPE B3	
UNIT	B3
AREA	1766 sq.ft
L1	512 sq.ft
L2	618 sq.ft
L3	636 sq.ft
BEDS	4
1	/ 43

NOTE: UNIT AREAS ARE AVERAGED

REISSUED FOR HRA/DP - 2019 MAY 07

Project Title
2801 - 2831
JOHNSTON HOUSE

Port Moody, BC

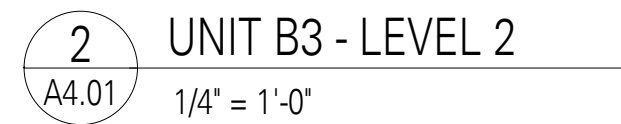
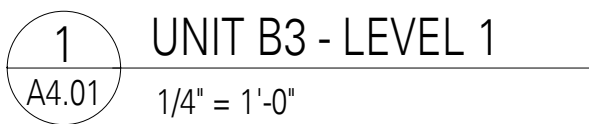
MARCON

Client/Owner
MARCON JOHNSTON (GP) LTD.
5645 - 199 Street, Langley, BC
V3A 1H9

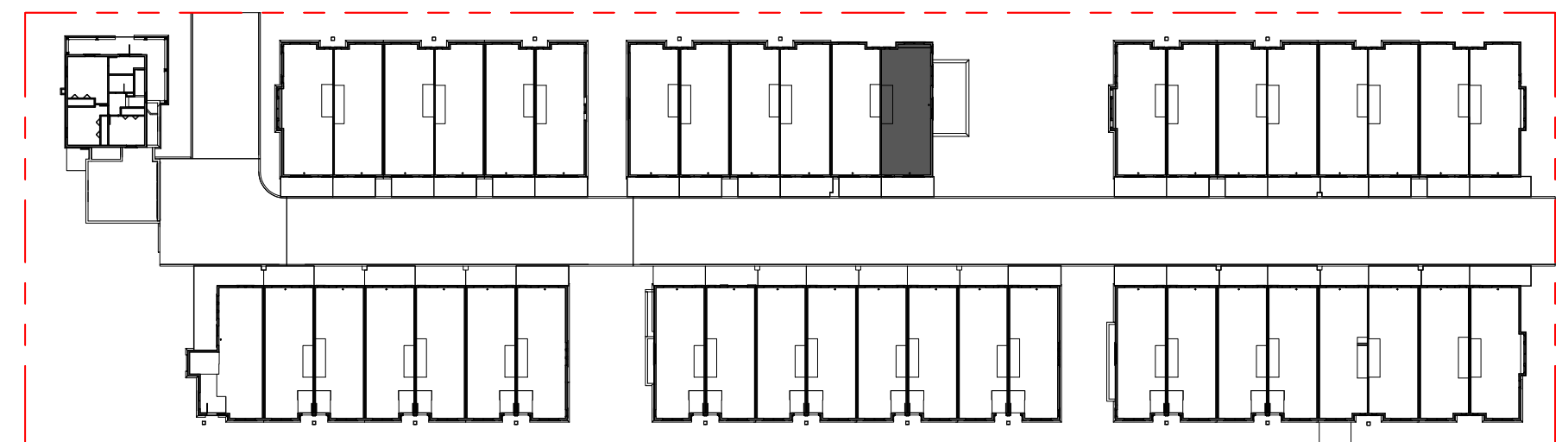
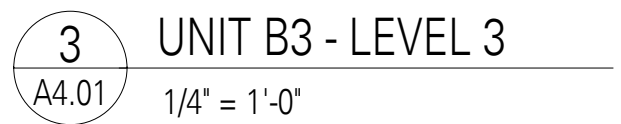
Sheet Title
**TOWNHOME UNIT PLAN TYPE
B3**

<i>Drawn By</i>	<i>Author</i>
<i>Reviewed by</i>	<i>Approver</i>
<hr/>	
<i>Project Number</i>	
1705	
<i>Plot Date</i>	<i>Issue Date</i>
19-04-16	19-05-07
<hr/>	
<i>Scale</i>	<i>Issue/Revision</i>
As indicated	D
<hr/>	
<i>Sheet Number</i>	

A6.07



NOTE: ALL DIMENSIONS ARE CLEAR DIMENSIONS



KEYPLAN 'B3'

JOHNSTON HOUSE RESIDENTIAL DEVELOPMENT

LANDSCAPE SET: RE-ISSUED FOR RHA/DP
MAY 6, 2019

L 0.0	COVER SHEET AND DRAWING LIST
L1.0	LANDSCAPE LAYOUT - WEST
L1.1	LANDSCAPE LAYOUT - EAST
L1.2	LANDSCAPE LAYOUT - AMENITY ENLARGEMENT
L1.3	FENCE & WALL PLAN - WEST
L1.4	FENCE & WALL PLAN - EAST
L2.0	LANDSCAPE GRADING - WEST
L2.1	LANDSCAPE GRADING - EAST
L3.0	PLANT MATERIALS
L3.1	PLANTING PLAN - WEST
L3.2	PLANTING PLAN - EAST
L4.0	LIGHTING PLAN - WEST
L4.1	LIGHTING PLAN - EAST
L5.0	DETAILS - SOFTSCAPE
L5.1	DETAILS - HARDSCAPE & WALLS
L5.2	DETAILS - FENCES
L5.3	DETAILS - FURNISHINGS & PLAY

MARCON DEVELOPMENTS
CONTACT NAME: TIM SCHMITT
5646-199TH STREET
LANGLEY, BRITISH COLUMBIA, V3A 1H9
EMAIL: TSCHMITT@MARCON.CA
PH: 604.530.5646

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EMAIL: ANDREW@SHIFTARCHITECTURE.CA
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CONNECT LANDSCAPE ARCHITECTURE
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EMAIL: DAVID@SHARPDAMOND.COM
PH: 604.681.3303

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4	RE-ISSUED FOR RHA/DP	19-05-06
3	RE-ISSUED FOR RHA/DP	19-01-24
2	RE-ISSUED FOR RHA/DP	18-07-20
1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:300
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE COVER SHEET

L0.0

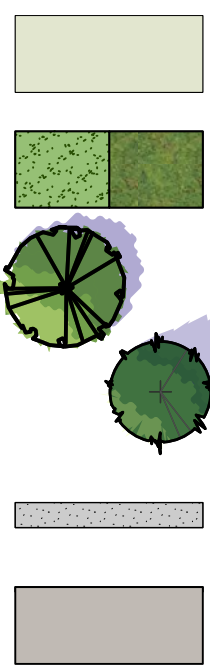


LAYOUT AND MATERIALS LEGEND

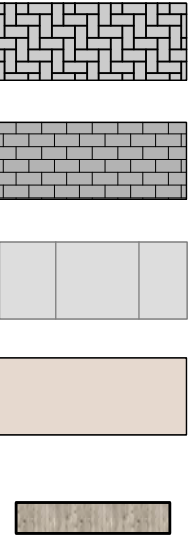
DESCRIPTION

- SOD LAWN
PER PLANS & DETAILS
- PROPOSED PLANTING
PER PLANS & DETAILS
- DECIDUOUS TREE
PER PLAN
- EVERGREEN TREE
PER PLAN
- GRAVEL EDGE AND SURFACING
PER PLANS & DETAILS
- ASPHALT SURFACING
PER CIVIL

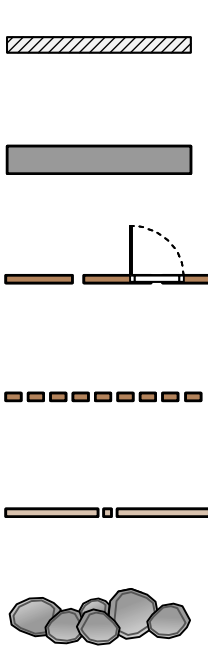
SYMBOL



- VEHICULAR PERMEABLE PAVERS
PER PLANS & DETAILS L5.1
- PEDESTRIAN UNIT PAVERS
PER PLANS & DETAILS L5.1
- SIDEWALK PAVING: CIP CONCRETE
PER PLANS & DETAILS L5.1
- PLAY SURFACING
PER PLANS & DETAILS L5.1
- CUSTOM WOOD BENCH
PER PLANS & DETAILS L5.3



- CIP CONCRETE RETAINING WALL
PER ARCHITECTURE
- UNIT BLOCK RETAINING WALL
HEIGHT PER GRADING PLAN
- WOOD YARD FENCE W/ GATE
3'-0" TALL PER DETAILS
- WOOD GUARDRAIL
4'-0" TALL PER DETAILS
- WOOD PRIVACY SCREENING
6'-0" TALL PER DETAILS
- BOULDER RETAINING
HEIGHT PER GRADING PLAN



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1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:125
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE
MATERIAL PLAN - WEST

L1.0

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1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE DEVELOPMENT

Port Moody, British Columbia

Scale: 1:125

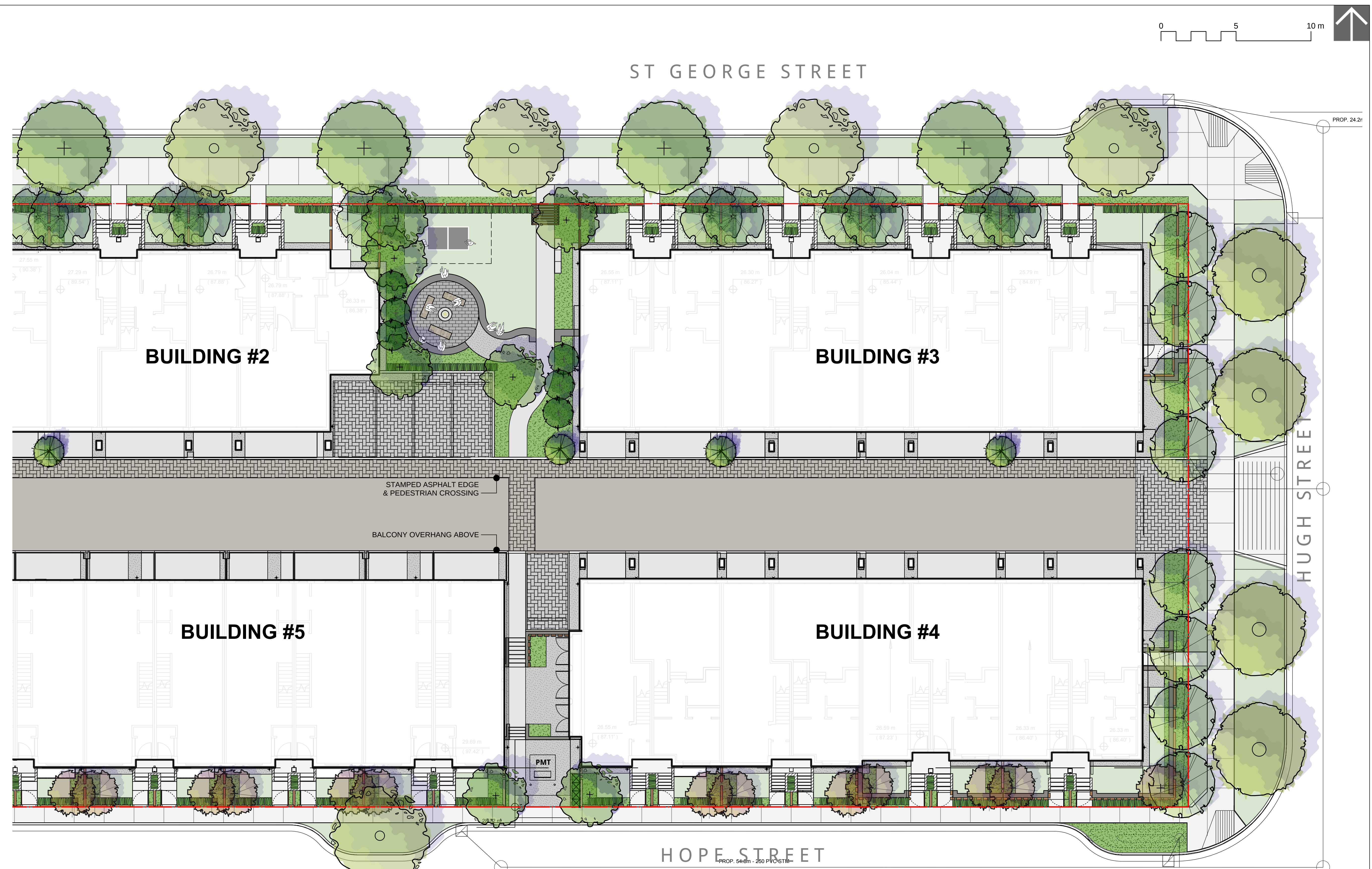
Drawn: KD

Reviewed: DS

Project No. 06-567

LANDSCAPE MATERIAL PLAN - EAST

L1.1



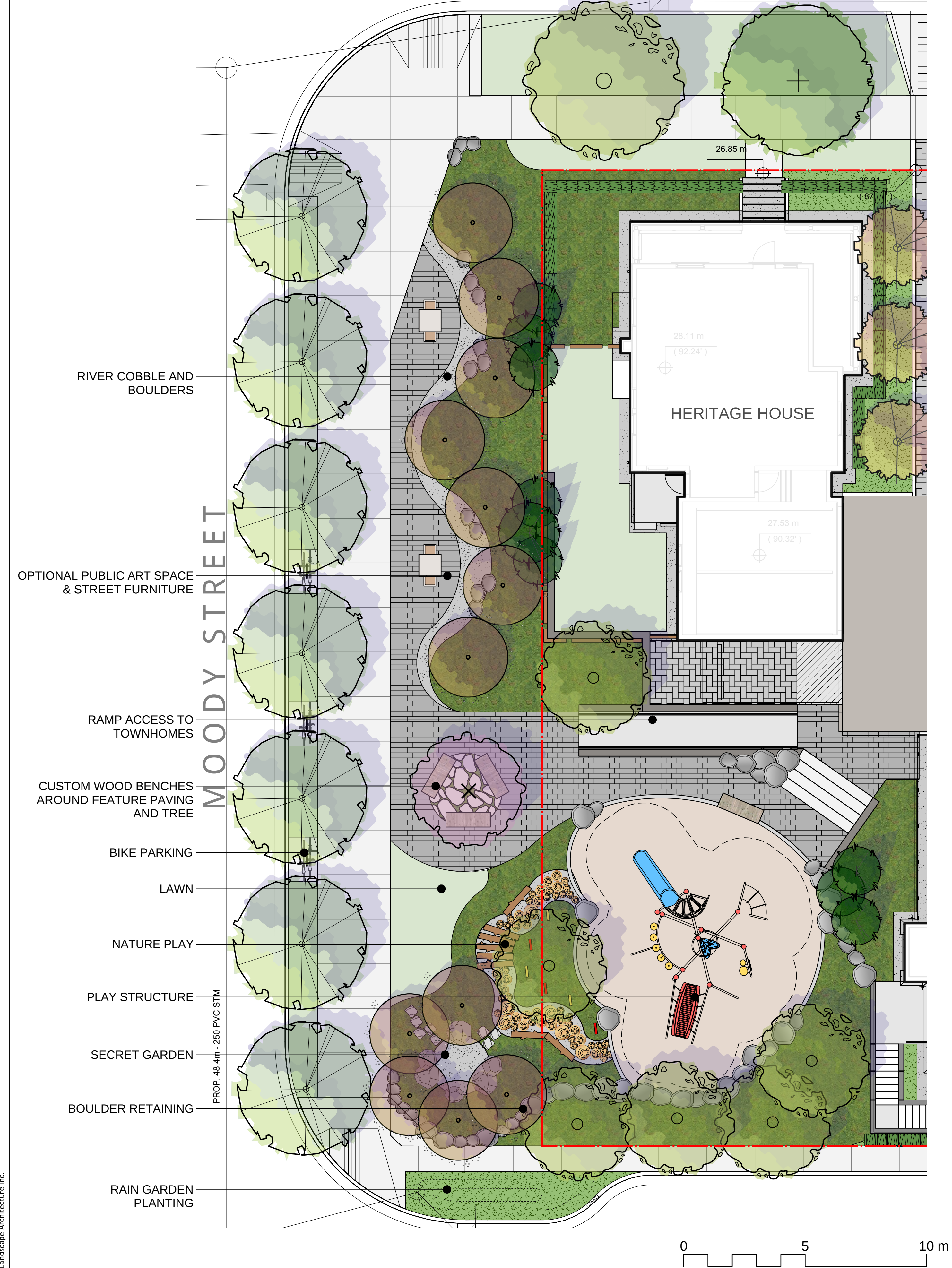
LAYOUT AND MATERIALS LEGEND

DESCRIPTION	SYMBOL		
SOD LAWN PER PLANS & DETAILS		VEHICULAR PERMEABLE PAVERS PER PLANS & DETAILS L5.1	
PROPOSED PLANTING PER PLANS & DETAILS		PEDESTRIAN UNIT PAVERS PER PLANS & DETAILS L5.1	
DECIDUOUS TREE PER PLAN		SIDEWALK PAVING: CIP CONCRETE PER PLANS & DETAILS L5.1	
EVERGREEN TREE PER PLAN		PLAY SURFACING PER PLANS & DETAILS L5.1	
GRAVEL EDGE AND SURFACING PER PLANS & DETAILS		CUSTOM WOOD BENCH PER PLANS & DETAILS L5.3	
ASPHALT SURFACING PER CIVIL			
		CIP CONCRETE RETAINING WALL PER ARCHITECTURE	
		UNIT BLOCK RETAINING WALL HEIGHT PER GRADING PLAN	
		WOOD YARD FENCE W/ GATE 3'-0" TALL PER DETAILS	
		WOOD GUARDRAIL 4'-0" TALL PER DETAILS	
		WOOD PRIVACY SCREENING 6'-0" TALL PER DETAILS	
		BOULDER RETAINING HEIGHT PER GRADING PLAN	

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Connect Landscape Architecture Inc.



COMMUNITY AMENITY SPACE



NEIGHBOURHOOD CONNECTION



PLAY ELEMENTS



PARK FURNISHINGS



FEATURE TREE



LAYERED PLANTING

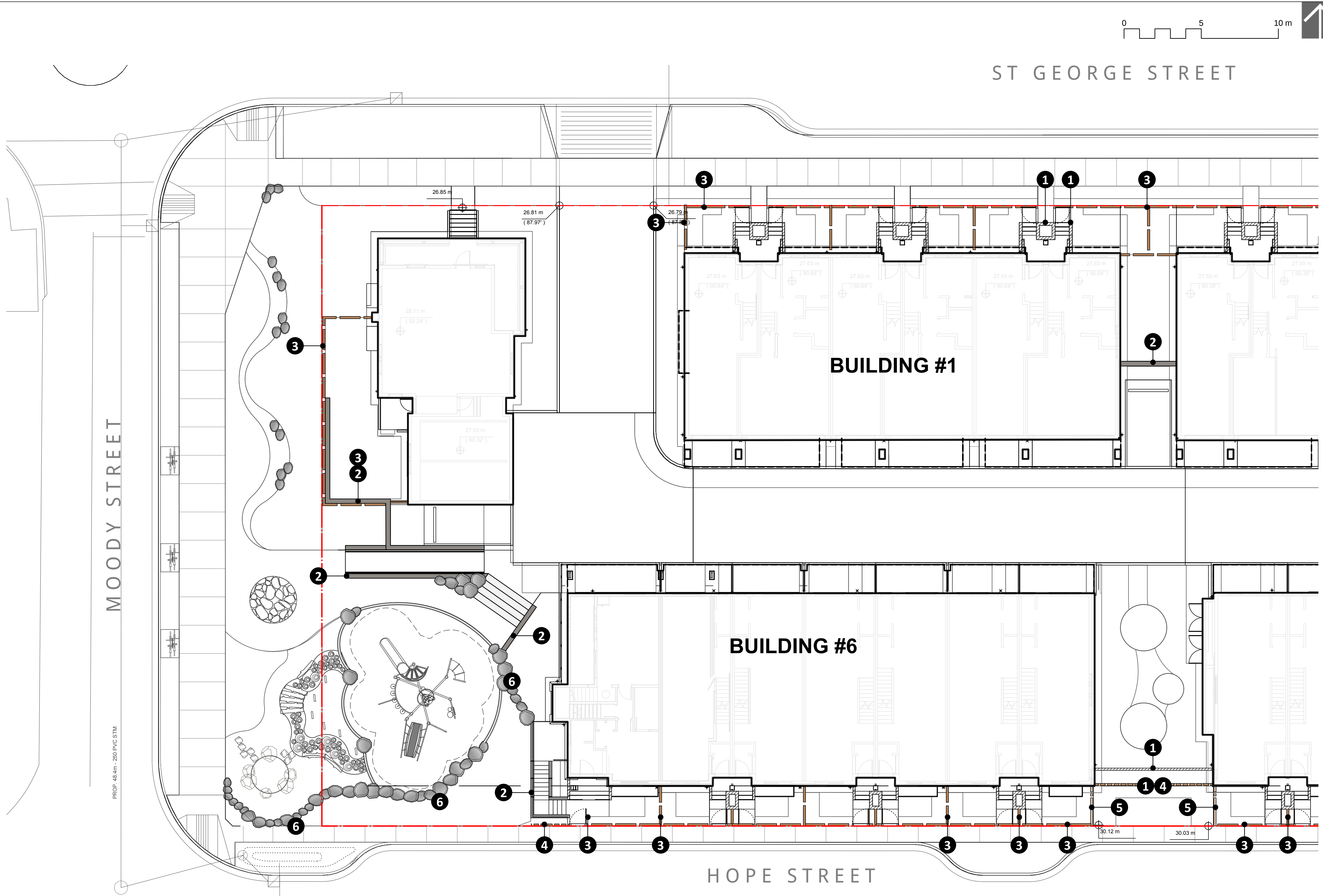
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2	RE-ISSUED FOR RHA/DP	18-07-20
1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE
AMENITY ENLARGEMENT



FENCE & WALL LEGEND

- 1 CIP CONCRETE RETAINING WALL
PER ARCHITECTURE
- 2 UNIT BLOCK RETAINING WALL
HEIGHT PER GRADING PLAN
- 3 WOOD YARD FENCE W/ GATE
3'-0" TALL PER DETAILS
- 4 WOOD GUARDRAIL
4'-0" TALL PER DETAILS
- 5 WOOD PRIVACY SCREENING
6'-0" TALL PER DETAILS
- 6 BOULDER RETAINING
HEIGHT PER GRADING PLAN

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REVISIONS		

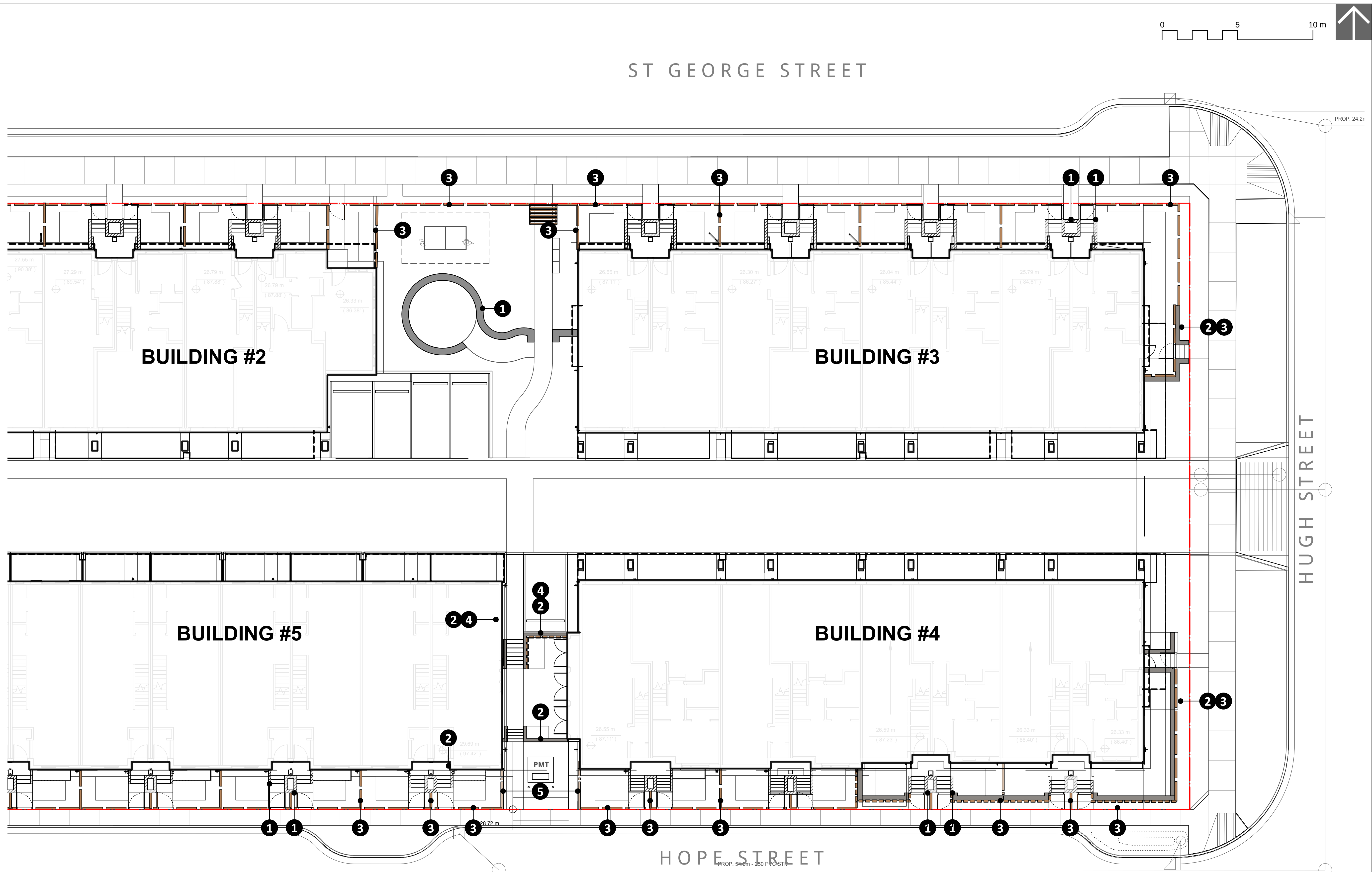
MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE
FENCE & WALL PLAN
- WEST

Connect Landscape Architecture Inc.



FENCE & WALL LEGEND

- 1 CIP CONCRETE RETAINING WALL
PER ARCHITECTURE
- 2 UNIT BLOCK RETAINING WALL
HEIGHT PER GRADING PLAN
- 3 WOOD YARD FENCE W/ GATE
3'-0" TALL PER DETAILS
- 4 WOOD GUARDRAIL
4'-0" TALL PER DETAILS
- 5 WOOD PRIVACY SCREENING
6'-0" TALL PER DETAILS
- 6 BOULDER RETAINING
HEIGHT PER GRADING PLAN

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1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE
FENCE & WALL PLAN
- EAST

L1.4

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1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

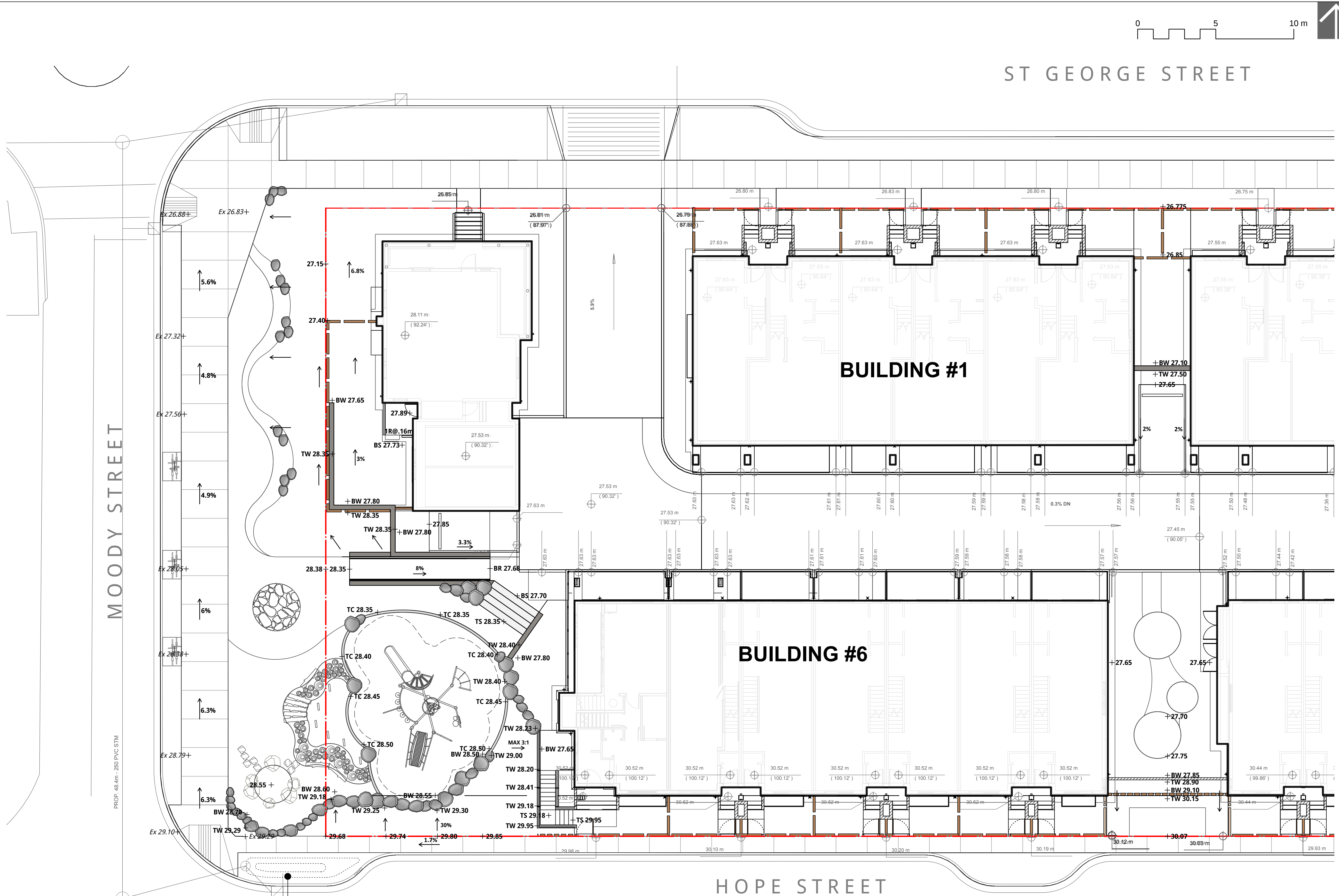
MARCON

JOHNSTON HOUSE DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE GRADING PLAN - WEST

L2.0



DESCRIPTION	SYMBOL
GRADE AT PROPERTY LINE	
GRADE - PER ARCH	FFE = 15.957M
FFE - PER ARCH	
PROPOSED GRADE	+10.00
TOP OF WALL/BOTTOM OF WALL	+TW 10.00 +BW 10.00
TOP OF STAIR/BOTTOM OF STAIR	+TS 10.00 +BS 10.00
TOP OF CURB/BOTTOM OF CURB	+TC 10.00 +BC 10.00
SLOPE	2%

RAIN GARDEN:
GRADING & DETAILS PER CIVIL

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE GRADING PLAN - EAST

L2.1



ST GEORGE STREET

HUGH STREET

HOPE STREET

GRADING LEGEND

DESCRIPTION

GRADE AT PROPERTY LINE

GRADE - PER ARCH

FFE - PER ARCH

PROPOSED GRADE

TOP OF WALL/BOTTOM OF WALL

TOP OF STAIR/BOTTOM OF STAIR

TOP OF CURB/BOTTOM OF CURB

SLOPE

SYMBOL

BQ 30.027m
98.51'

FFE = 15.957M

30.00 m

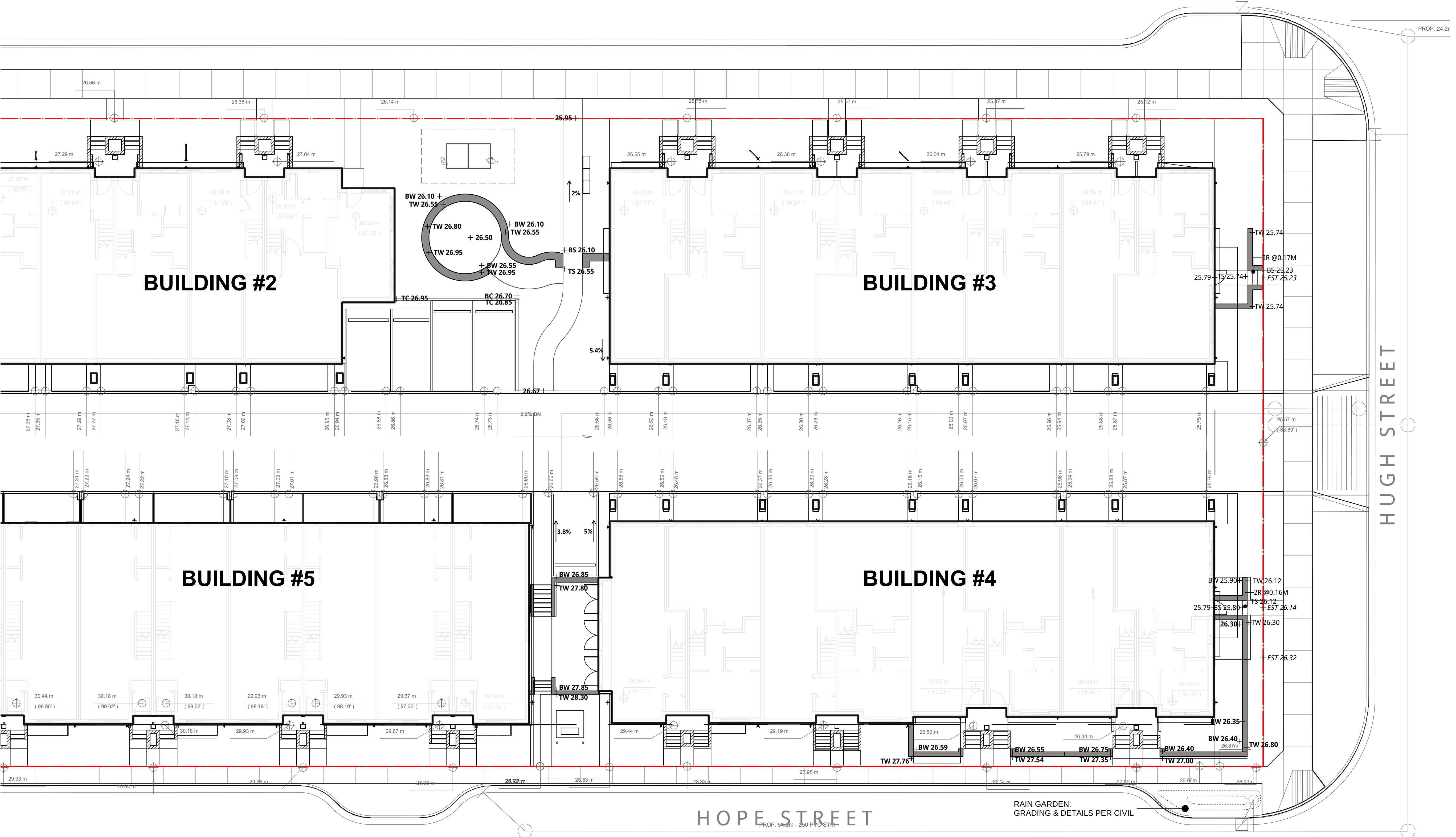
+10.00

+TW 10.00 +BW 10.00

+TS 10.00 +BS 10.00

+TC 10.00 +BC 10.00

2%



RAIN GARDEN:
GRADING & DETAILS PER CIVIL

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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4 RE-ISSUED FOR RHA/DP 19-05-06

3 RE-ISSUED FOR RHA/DP 19-01-24

2 RE-ISSUED FOR RHA/DP 18-07-20

1 ISSUED FOR RHA/DP 17-11-08

REVISIONS

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia

Scale: N/A

Drawn: KD

Reviewed: DS

Project No. 06-567

LANDSCAPE
PLANT MATERIALS

L3.0

PLANT LIST

QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

TREES

19	Acer circinatum	Vine Maple	6cm cal., B&B	as shown
3	Acer Palmatum Aka kawa hime	Dwarf Japanese Maple	5cm cal., B&B	as shown
4	Carpinus betulus	European Hornbeam	7cm cal., B&B	as shown
15	Cercidiphyllum japonicum	Katsura Tree	7cm cal., B&B	as shown
7	Fagus Sylvatica	European Beech	7cm cal., B&B	as shown
15	Liquidambar styraciflua	Sweetgum	7cm cal., B&B	as shown
12	Malus x zumi 'Calocarpa'	Zumi Flowering Apple	6cm cal., B&B	as shown
1	Magnolia soulangeana	Chinese Magnolia	6cm cal., B&B	as shown
23	Picea omorika	Serbian Spruce	3M height, B&B	as shown
8	Populus tremuloides 'Erecta'	Columnar Swedish Aspen	5cm cal., B&B	as shown
15	Stewartia pseudocamellia	Japanese Stewartia	6cm cal., B&B	as shown
15	Styrax japonicus	Japanese Snow Bell	6cm cal., B&B	as shown
6	Syringa reticulata	Japanese Tree Lilac	5cm cal., B&B	as shown

SHRUBS

430	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#5 pot	18" o.c
237	Ceanothus thyrsiflorus 'Victoria'	California Lilac	#5 pot	24" o.c
143	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot	18" o.c
95	Polystichum munitum	Western Sword Fern	#2 pot	24" o.c
106	Rhododendron 'Crete'	Pink Rhododendron	#5 pot	36" o.c
44	Rhododendron 'Hotei'	Yellow Rhododendron	#5 pot	36" o.c
36	Rosa meidiland	Meidiland Rose	#3 pot	36" o.c
101	Spiraea bumulda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c
98	Sarcococca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c
208	Skimmia japonica	Japanese Skimmia	#3 pot	30" o.c
29	Taxus x media 'Hicksii'	Hick's Yew	#2 pot	24" o.c

GROUND COVERS AND VINES

270	Ceanothus griseus horizontalis	Creeping California Lilac	4"(10cm) pot	15" o.c
746	Oxalis oreganum	Redwood Sorrel	4"(10cm) pot	15" o.c
114	Rubus calycnoides	Emerald Carpet	4"(10cm) pot	15" o.c

GRASSES, PERENNIALS, BULBS, AND ANNUALS

213	Achillea millefolium	Yarrow	#1 pot	18" o.c
69	Carex pensylvanica	Pennsylvania Sedge	4" (10cm) pot	18" o.c
34	Echinacea purpurea	Purple Cone Flower	4" (10cm) pot	18" o.c
119	Geranium 'Johnson Blue'	Cranesbill	4" (10cm) pot	18" o.c
25	Iris tenax	Oregon Iris	#1 pot	18" o.c
123	Stipa tenuissima	Mexican Feather Grass	#1 pot	18" o.c

855	Sod Lawn (m2)
-----	---------------

RAIN GARDEN

20	Cornus sericea 'Kelsey'	Dwarf Red Twig Dogwood	#1 pot	24" o.c
48	Carex pendula	Pendulous Sedge	4" (10cm) pot	18" o.c
114	Liatris spicata	Blazing Star	#1 pot	12" o.c
42	Mahonia repens	Creeping Oregon Grape	#1 pot	18" o.c



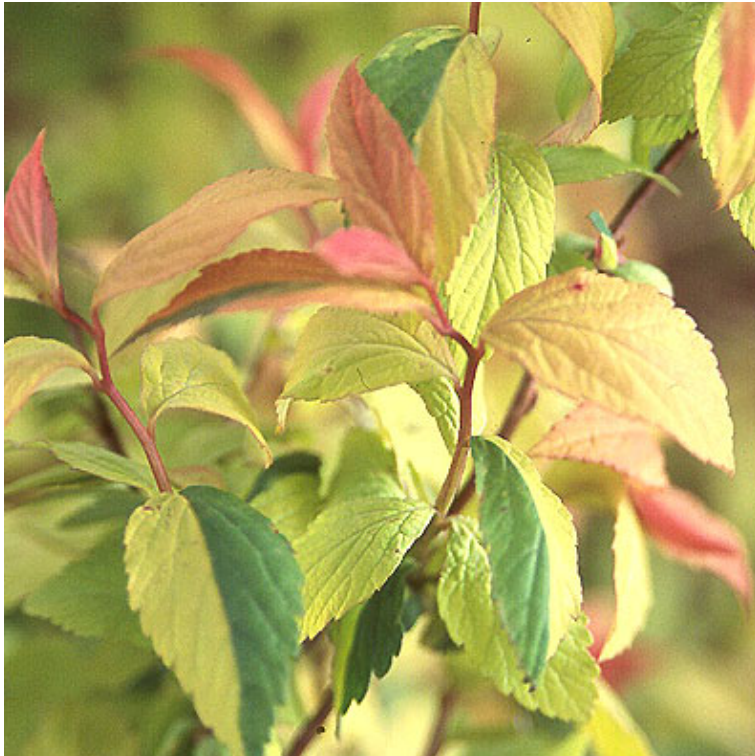
LAYERED YARDS



Echinacea purpurea
Purple Cone Flower



Prunus laurocerasus 'Otto Luyken'
Cherry Laurel



Spiraea bumulda 'Goldflame'
Goldflame Spiraea



Styrax japonicus
Japanese Snowbell



GARDEN ENVIRONMENT



Achillea millefolium
Yarrow



Lavandula angustifolia 'Hidcote'
English Lavender



Malus x zumi 'Calocarpa'
Zumi Flowering Apple



Rhododendron 'Crete'
Pink Rhododendron



PLANTING NOTES

1. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
4. ALL PLANTING BEDS TO BE MULCHED WITH 2" (50MM) OF ANSWER GARDEN PRODUCTS 'HUMUS BUILDER' OR APPROVED EQUAL.
5. FINAL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF BURNABY PRIOR TO COMMENCEMENT OF WORK.
7. CONTRACTOR RESPONSIBLE FOR MAINTENANCE INCLUDING IRRIGATION OF ALL PLANTED AREAS FOR 1 FULL YEAR AFTER SUBSTANTIAL COMPLETION.
8. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY PARK BOARD.

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1	ISSUED FOR RHA/DP	17-11-08
REVISIONS		

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE
PLANTING PLAN - WEST

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REVISIONS		

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

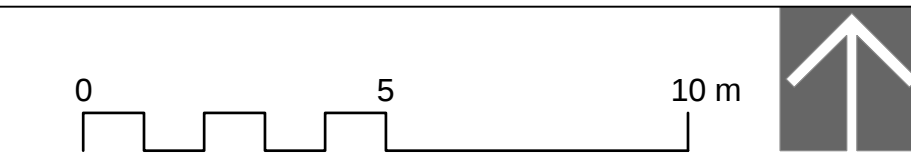
LANDSCAPE
PLANTING PLAN - EAST

L3.2



PLANTING NOTES

1. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
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COLOUR: BRONZE
BY: MP LIGHTING
VANCOUVER, BC
604-708-1184
WWW.MPLIGHTING.COM



UPLIGHT
L05,



WALL MOUNT
L740-L48,



COLOUR: BRONZE
BY: LUMINIS
POINTE-CLAIRE, QC
866.586.4647
WWW.LUMINIS.COM

BOLLARD
EC820



LIGHTING LEGEND
⊕ UPLIGHT
⚡ WALL/STEP
⊕ BOLLARD

JOHNSTON HOUSE DEVELOPMENT

Port Moody, British Columbia

Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE LIGHTING PLAN - WEST

L4.0

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REVISIONS		

MARCON

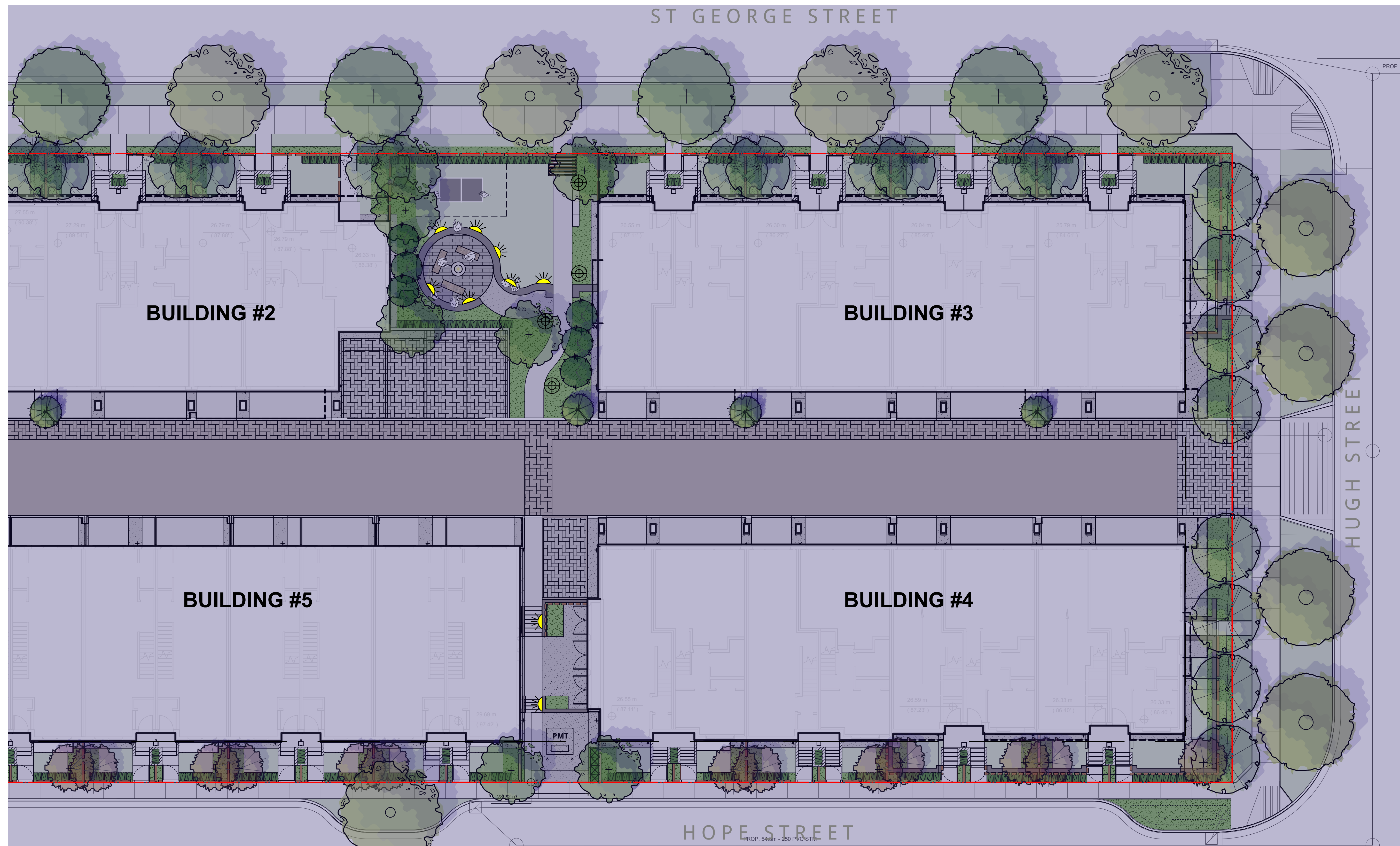
JOHNSTON HOUSE DEVELOPMENT

Port Moody, British Columbia

Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE LIGHTING PLAN - EAST

L4.1



COLOUR: BRONZE
BY: MP LIGHTING
VANCOUVER, BC
604-708-1184
WWW.MPLIGHTING.COM

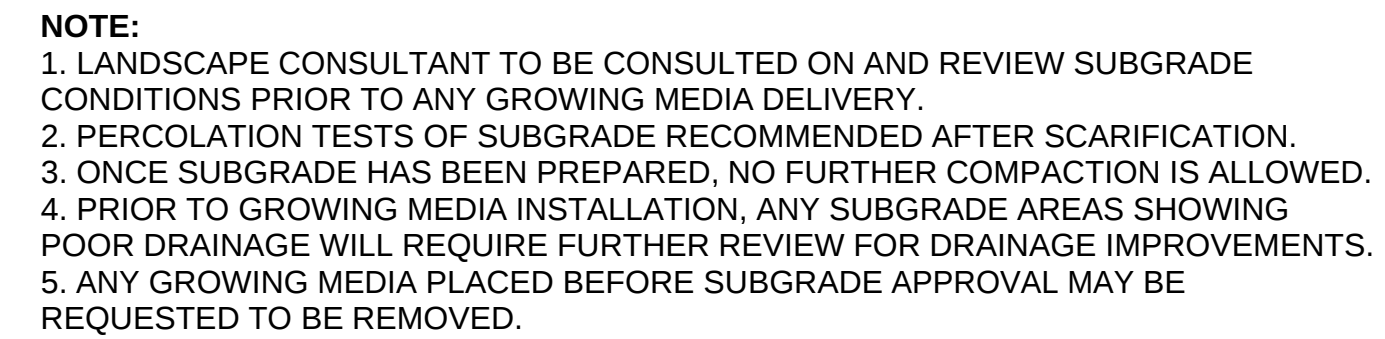


COLOUR: BRONZE
BY: LUMINIS
POINTE-CLAIRE, QC
866.586.4647
WWW.LUMINIS.COM

BOLLARD
EC820



LIGHTING LEGEND
☼ UPLIGHT
☼ WALL/STEP
⊕ BOLLARD



4 SOD LAWN (TYPICAL)
Scale: 1:10

REVISIONS

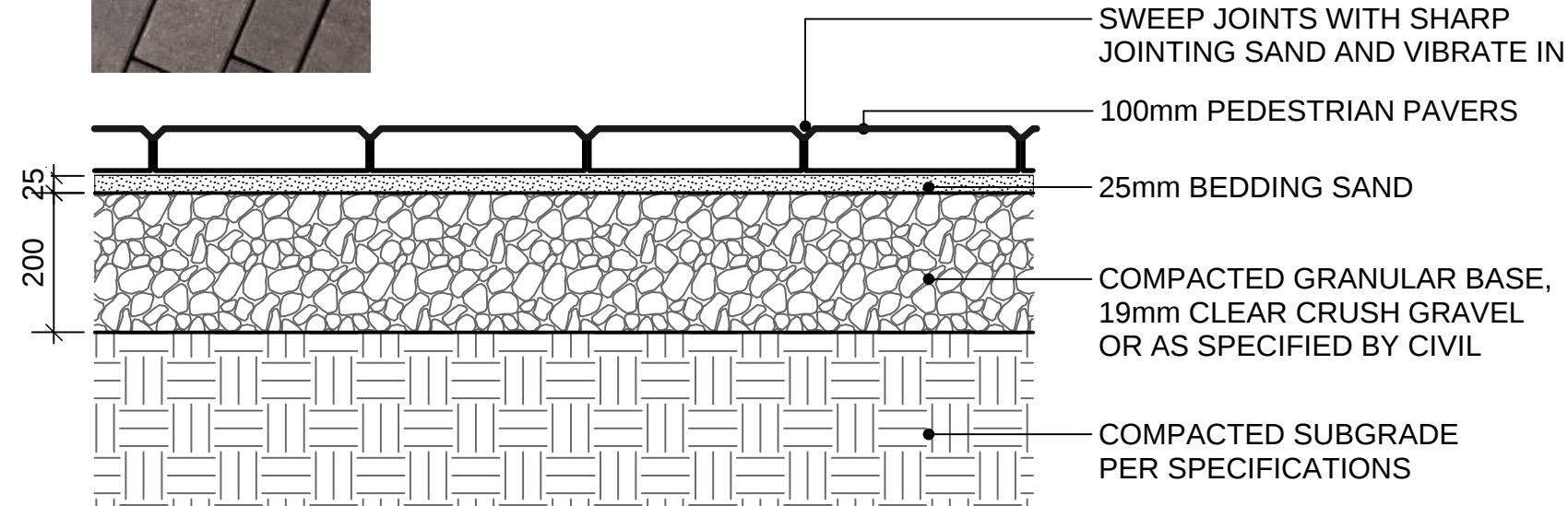
MARCON

Port Moody, British Columbia

Scale:	AS SHOWN
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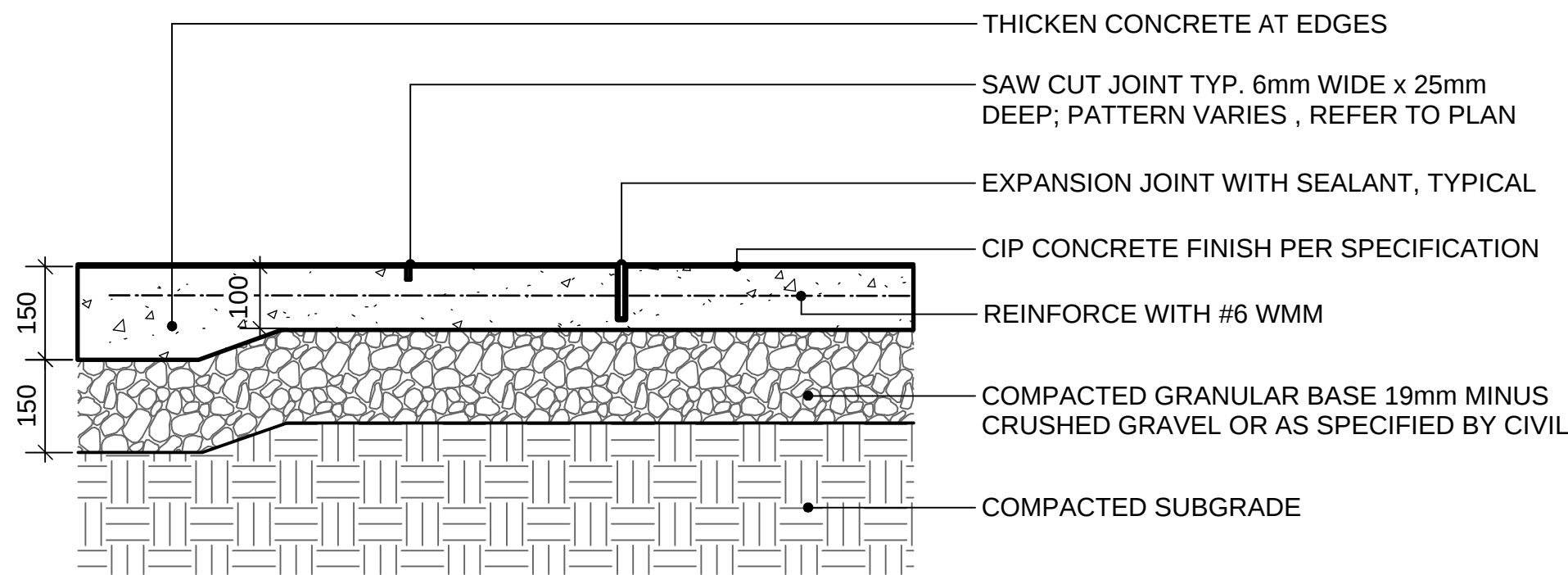
L5.0

BOARDWALK PAVERS
SIZE: TYPE 1 322mm x 119mm x 80mm
COLOUR : SHORELINE SLATE
PATTERN: RUNNING BOND
SUPPLIED BY BARKMAN CONCRETE
(1.778.689.7670)



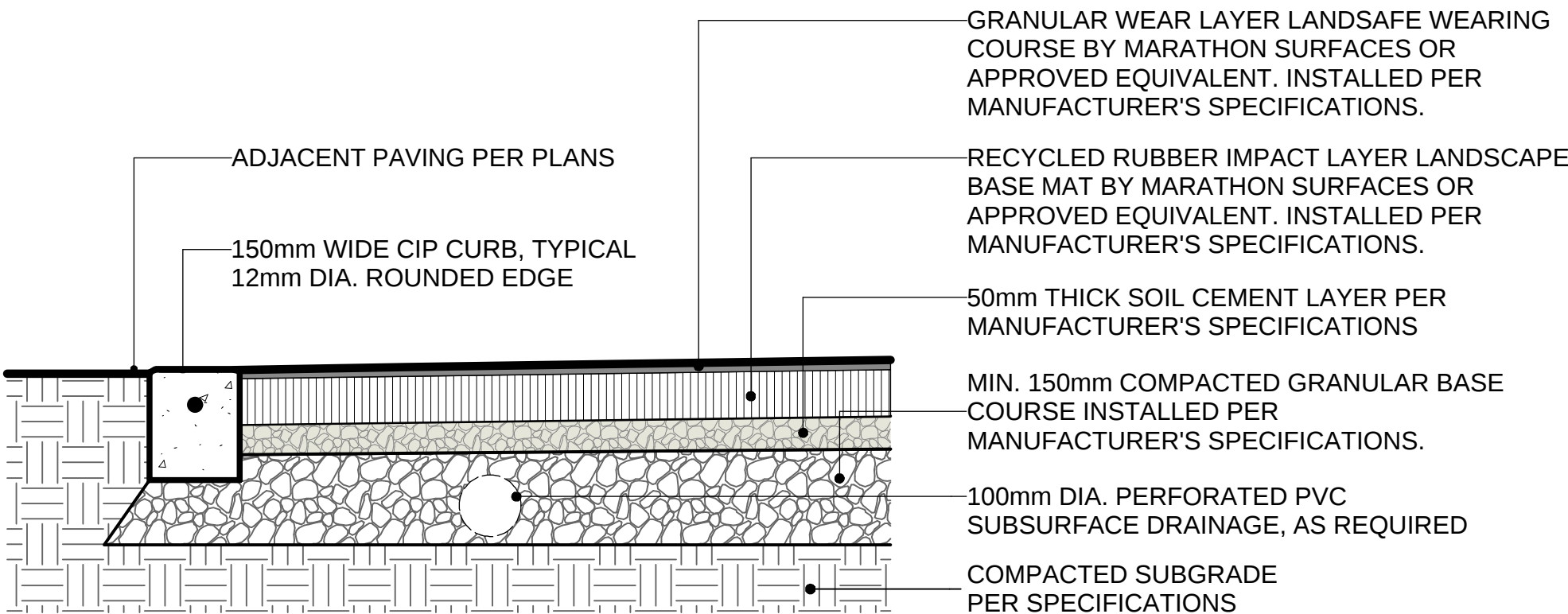
NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

1 PEDESTRIAN UNIT PAVERS ON GRADE (TYPICAL)
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

4 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

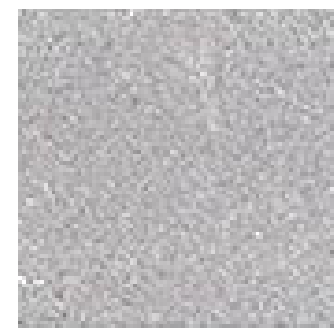


NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

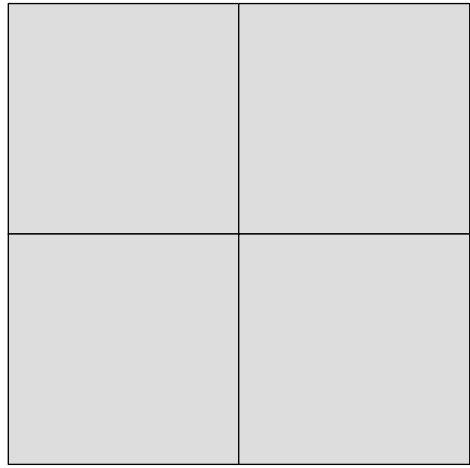
7 PLAYSURFACING AND EDGE DETAIL AT PLAYGROUND
Scale: 1:10

TEXADA HYDRAPRESSED SLAB PAVER
SIZE : STANDARD (610MM X 610MM X 50MM)
COLOUR : NATURAL
PATTERN : GRID (PER DETAIL 7B)
SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS
1.800.663.4091

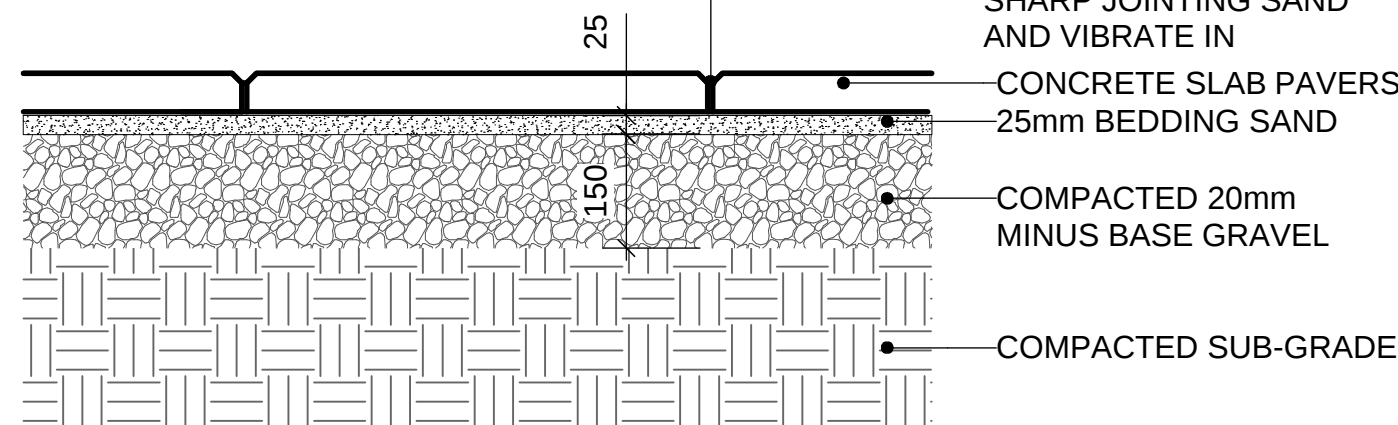
COLOR: NATURAL



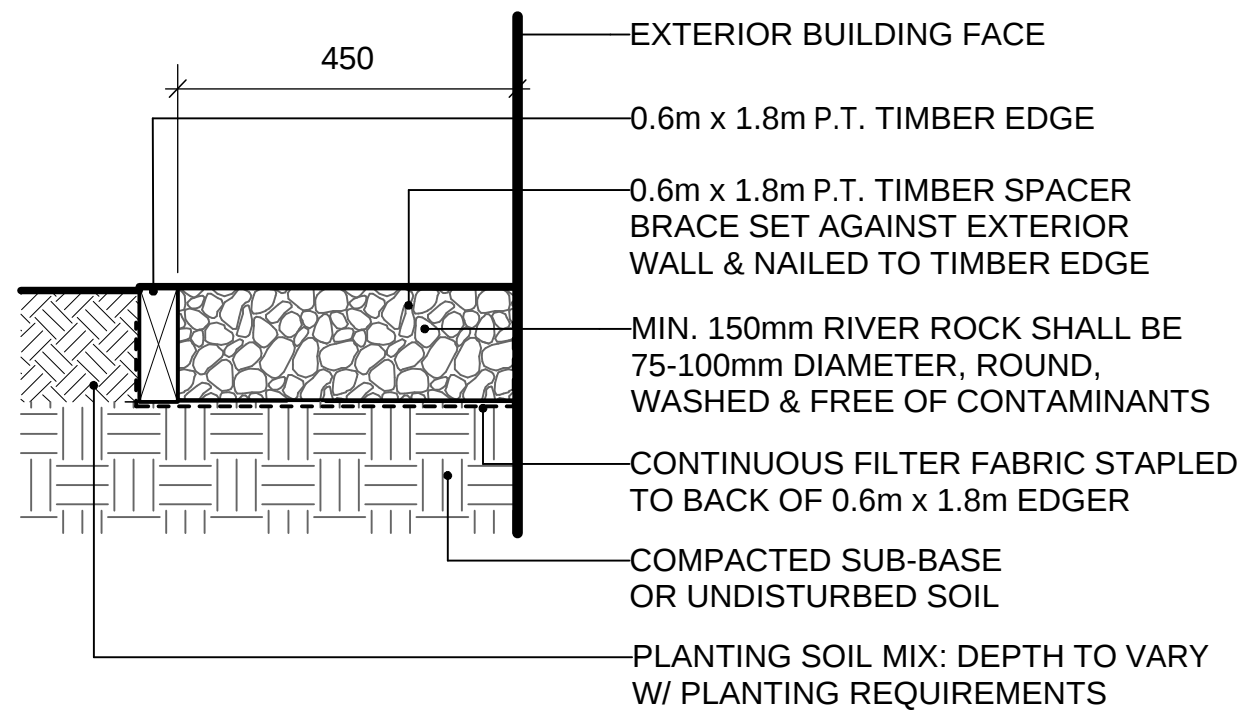
PATTERN: GRID



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

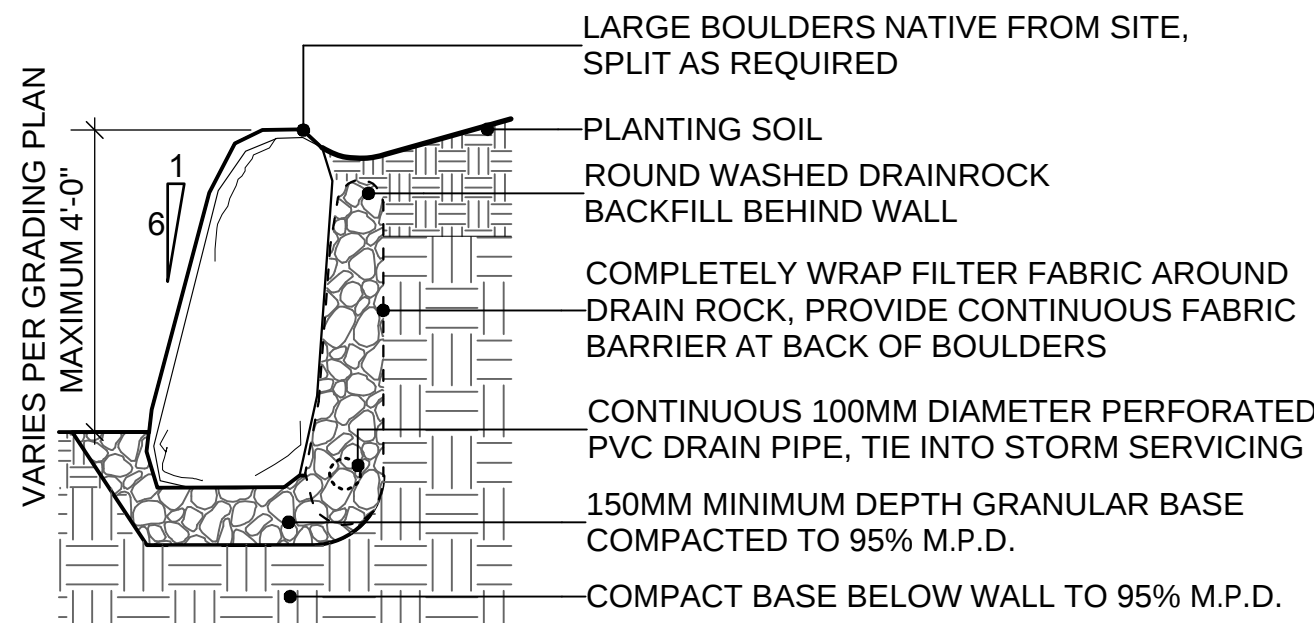


2 PATIO PAVERS
Scale: 1:10

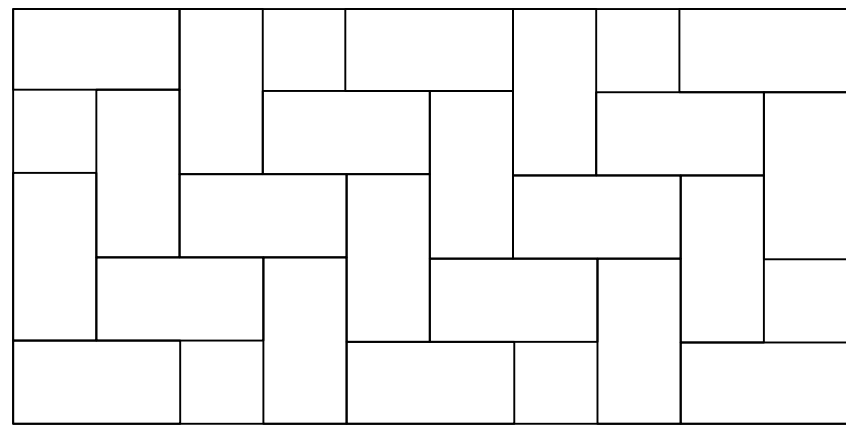


NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

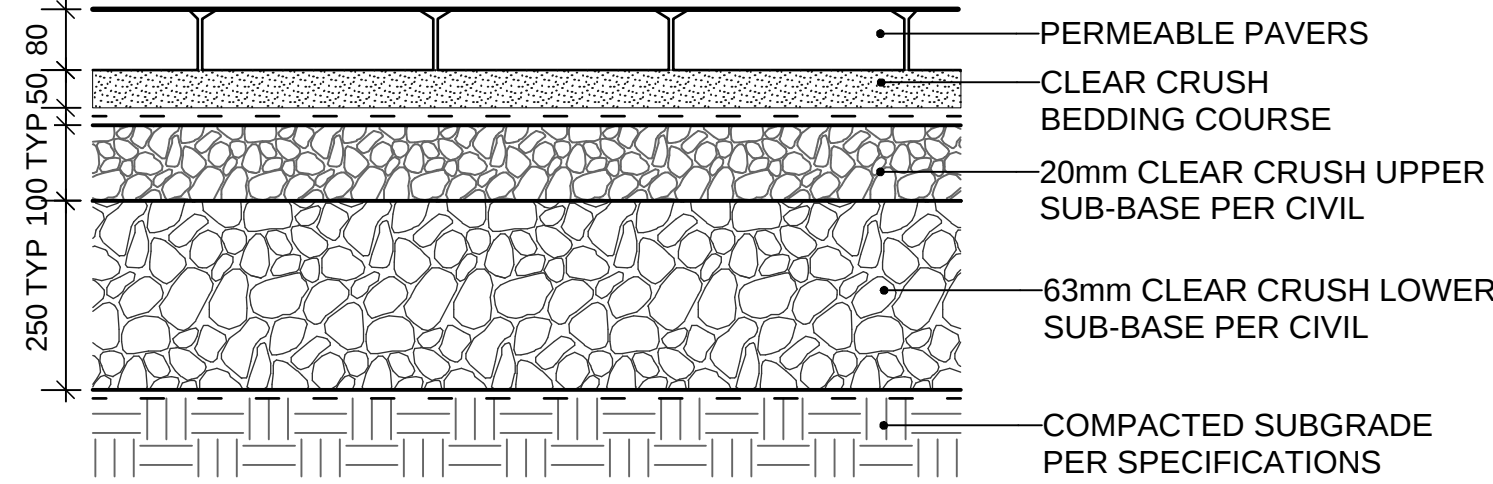
5 GRAVEL DRAIN STRIP - ON GRADE
Scale: 1:10



8 BOULDER RETAINING WALL
Scale: 1:25

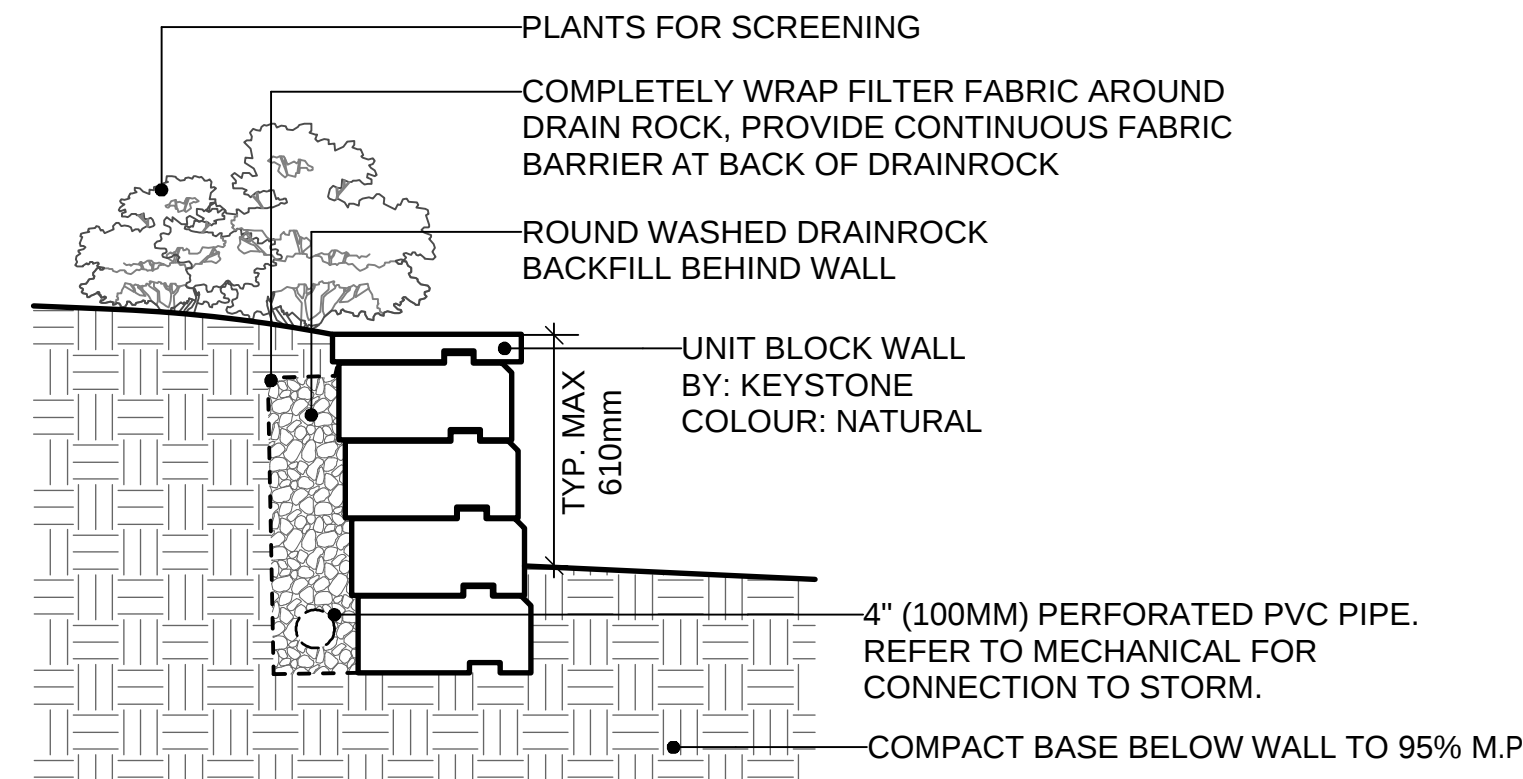


TYPE: AQUAPAVE STANDARD
PATTERN: HERRINGBONE
COLOUR: CHARCOAL
SIZE: STANDARD 221.5mm x 110mm x 80mm
SUPPLIER: ABBOTSFORD CONCRETE PRODUCTS
VANCOUVER, BC
1.800.663.4091



NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.
2. REFER TO CIVIL FOR PERMEABLE PAVING DETAILS.

3 VEHICULAR PERMEABLE PAVING
Scale: 1:10



NOTES:
1. INSTALL WALLS PER MANUFACTURER SPECIFICATIONS.
2. GLUE CAPS DOWN WITH ADHESIVE RECOMMENDED BY WALL MANUFACTURER.
3. ALL WALLS TYPICAL MAX 610mm.
4. ALL WALLS OVER 610mm MUST HAVE A GUARD RAIL TO PREVENT FALLS.

6 UNIT BLOCK RETAINING
Scale: 1:20

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REVISIONS		

MARCON

JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia	
Scale:	AS SHOWN
Drawn:	KD
Reviewed:	DS
Project No.	06-567

LANDSCAPE DETAILS
HARDSCAPE & WALLS

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REVISIONS

MARCON

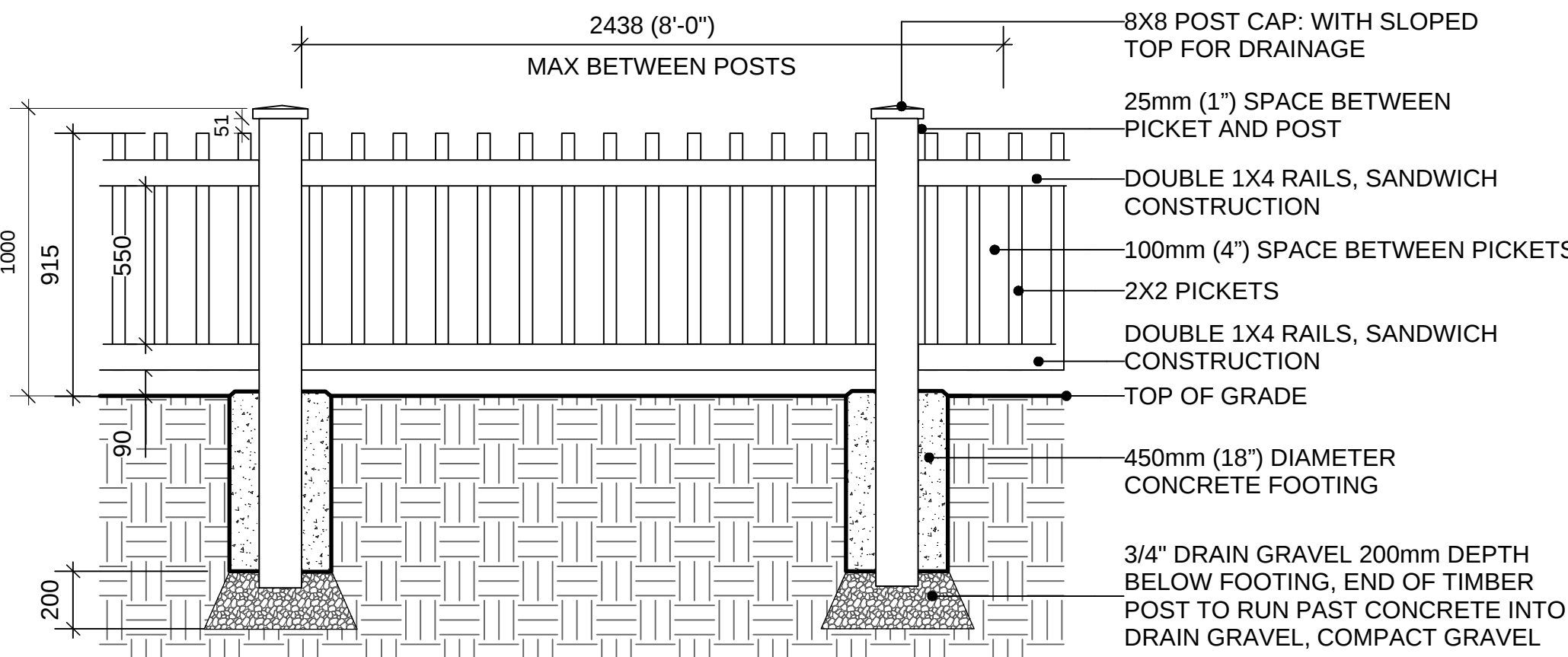
JOHNSTON HOUSE
DEVELOPMENT

Port Moody, British Columbia

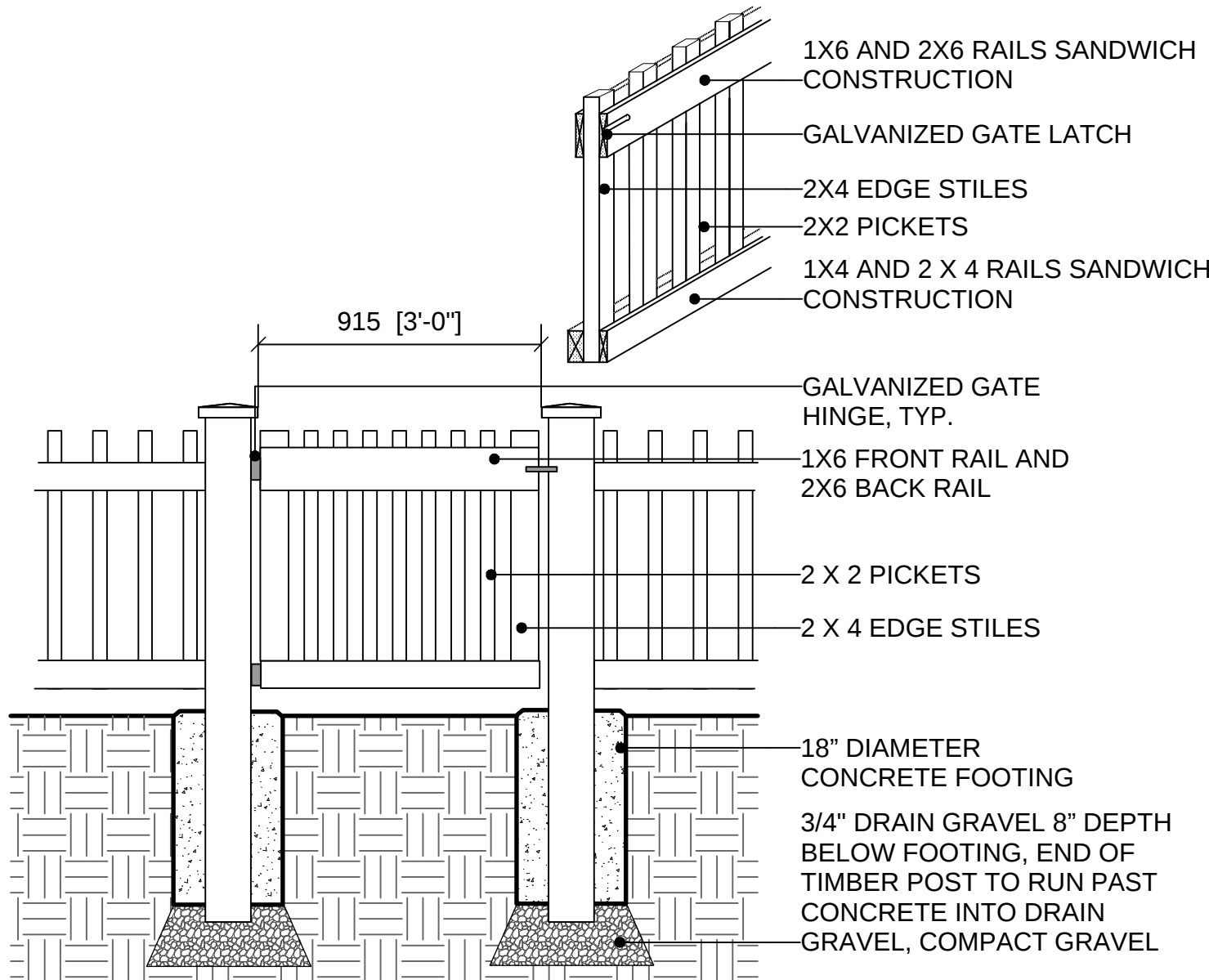
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LANDSCAPE DETAILS
FENCES

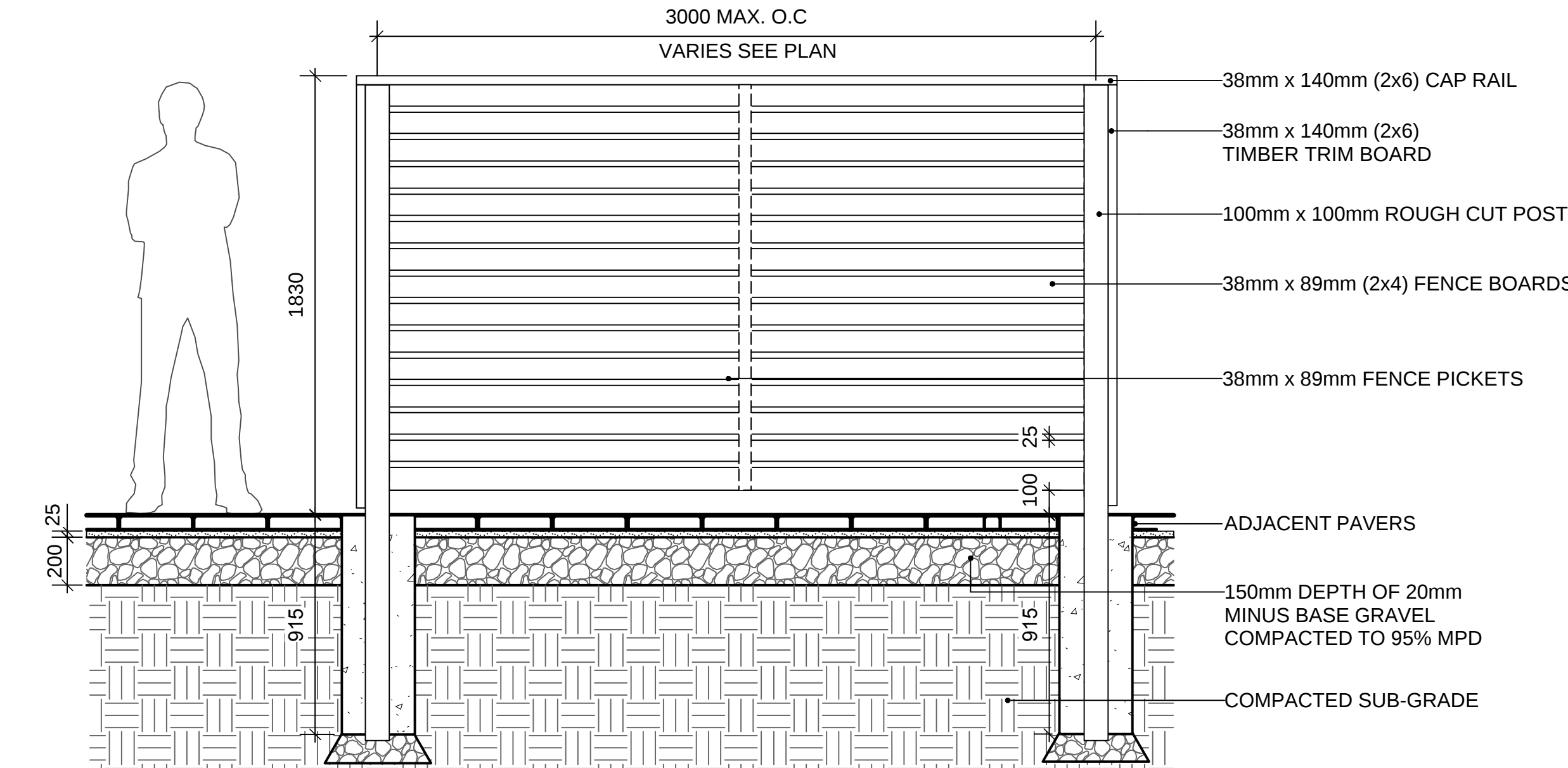
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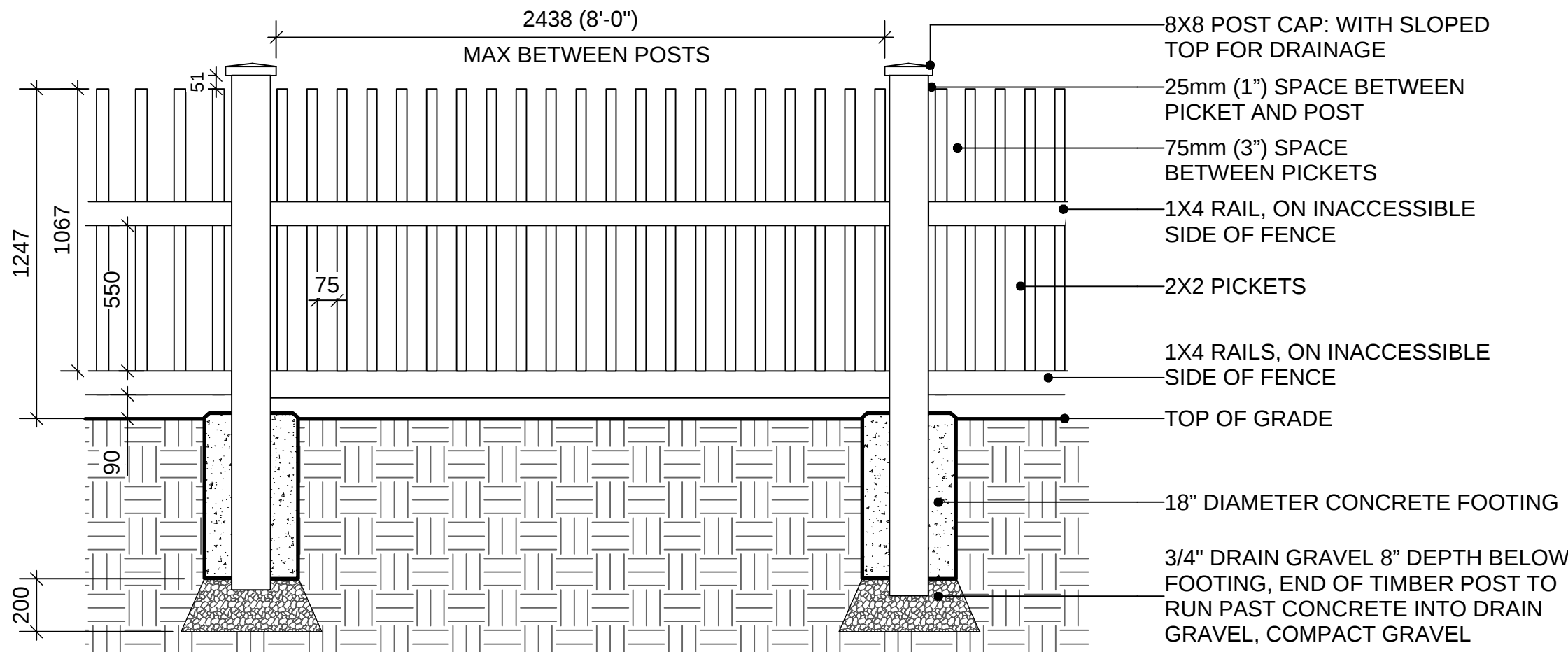
1 3' HIGH YARD FENCE
Scale: 1:20



2 YARD GATE DETAIL
Scale: 1:20



3 6' TIMBER SCREEN, ON GRADE
Scale: 1:20

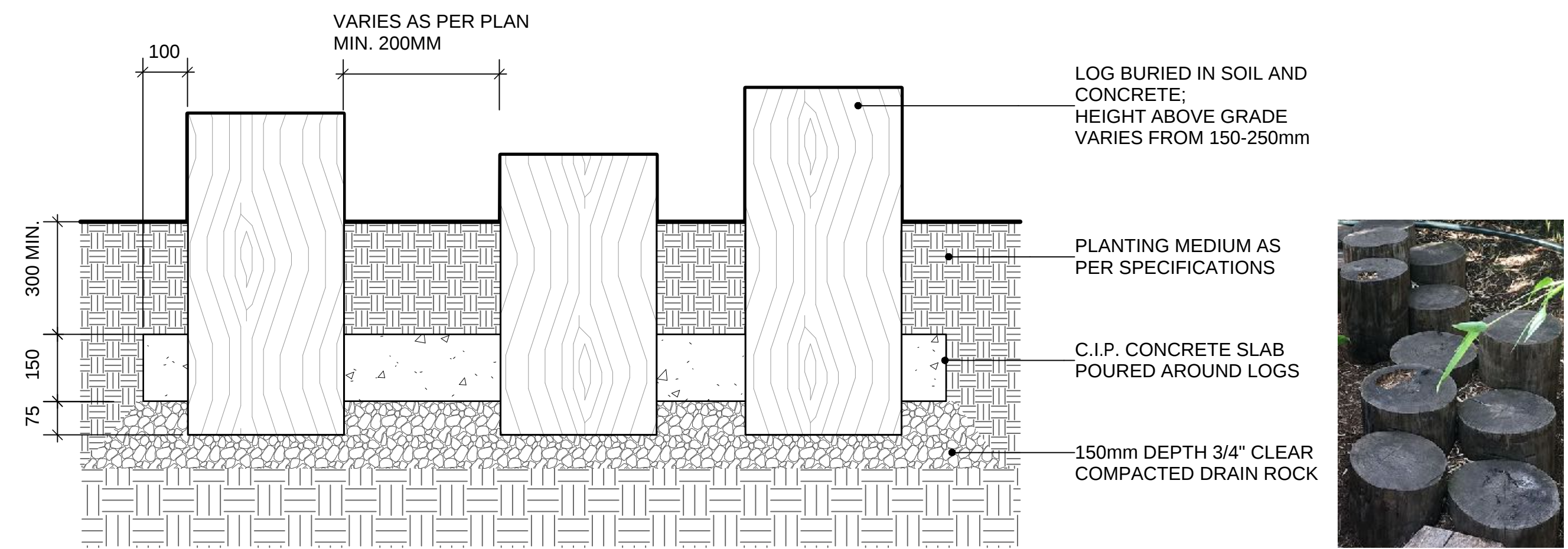
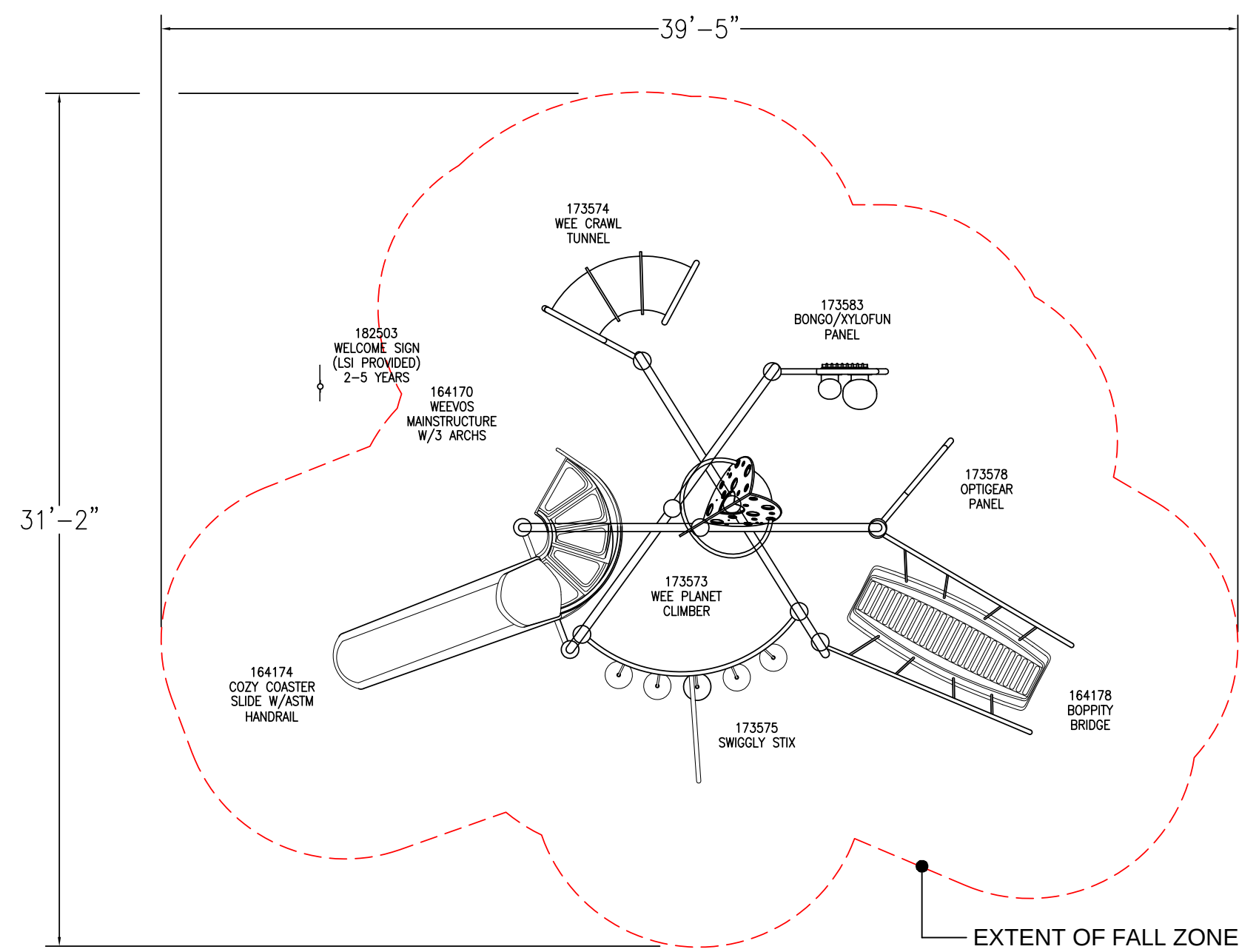


4 4' WOOD GUARDRAIL
Scale: 1:20

WOOD CARPENTRY NOTES:

1. ALL WOOD POSTS TO BE PRESSURE-TREATED HEMLOCK/FIR.
2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
4. ALL CUTS TO BE SQUARE AND CLEAN.
5. ALL EXPOSED WOOD TO BE STAINED (SOLID). COLOUR TO BE DETERMINED.
6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.

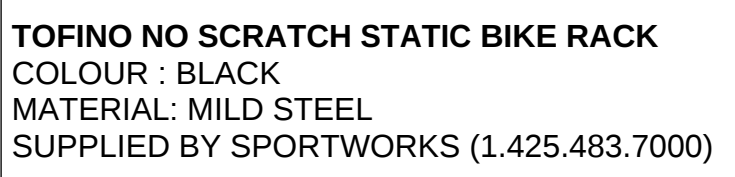
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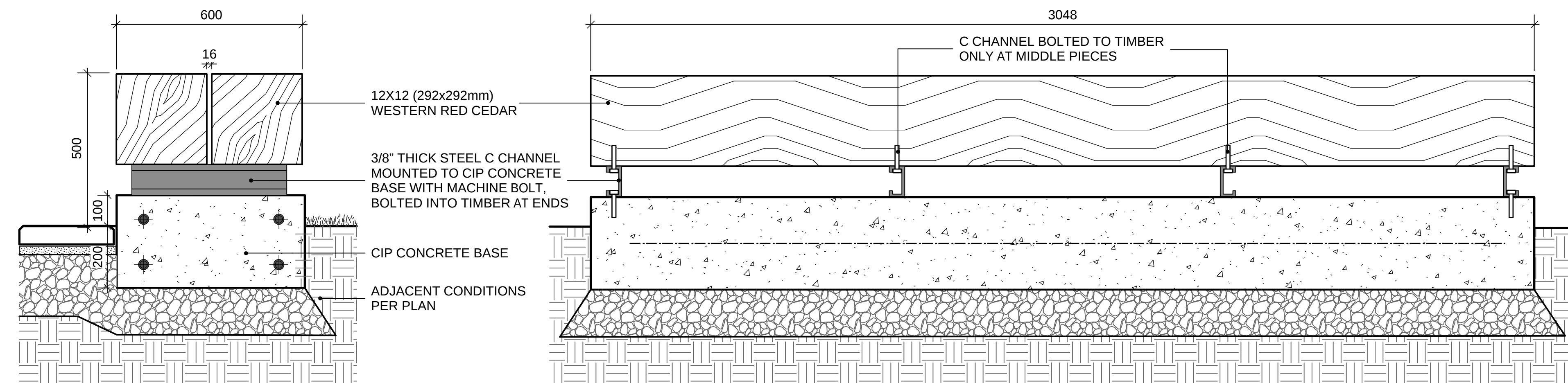
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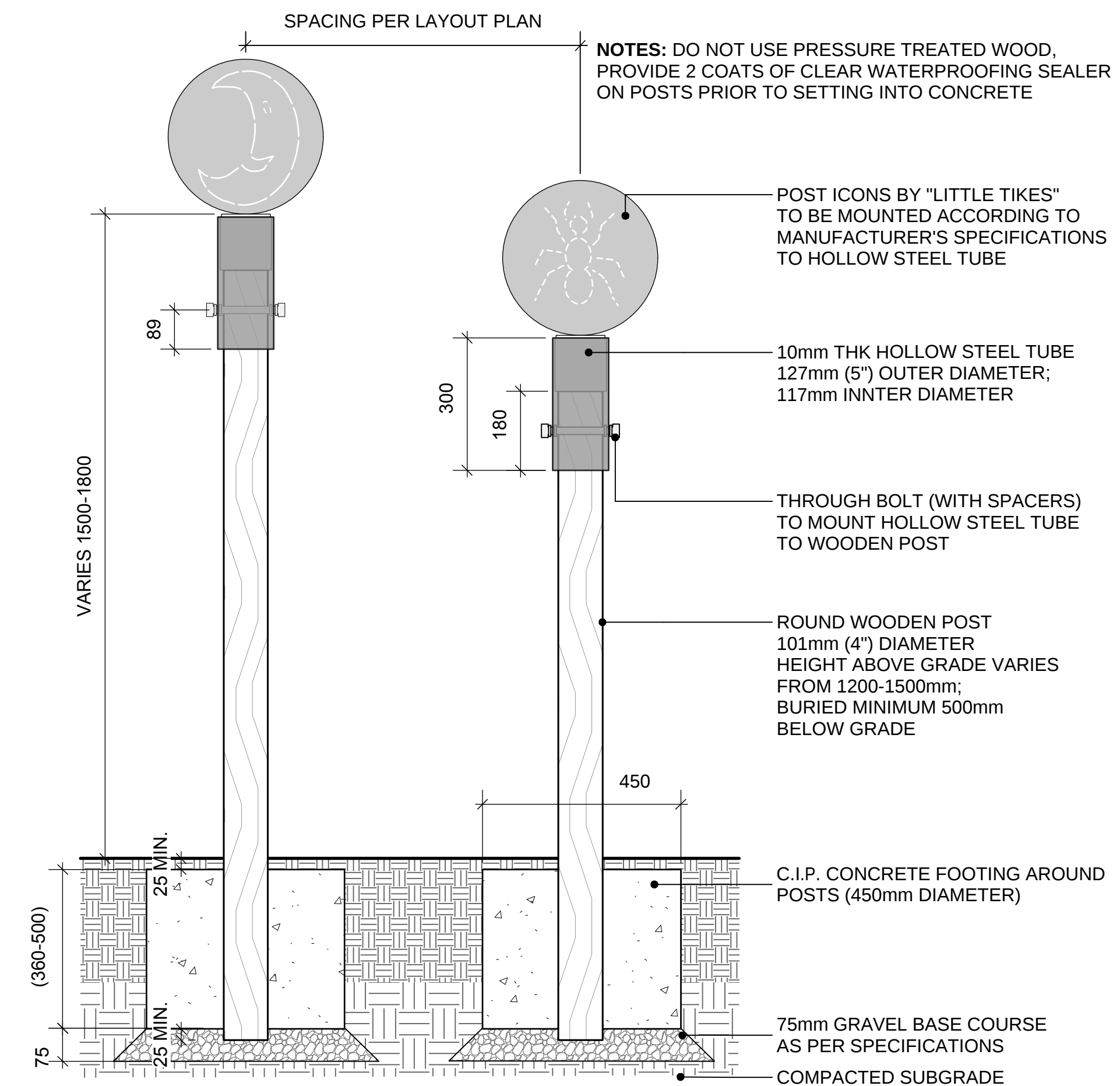
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5



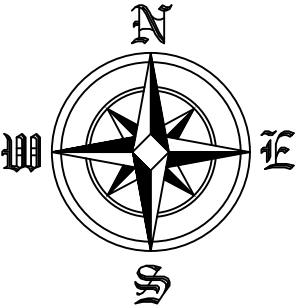
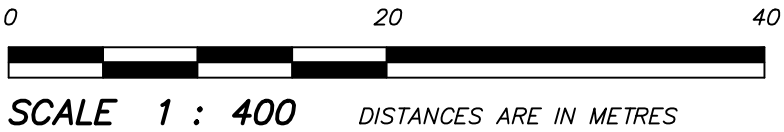
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(6)

L5.3

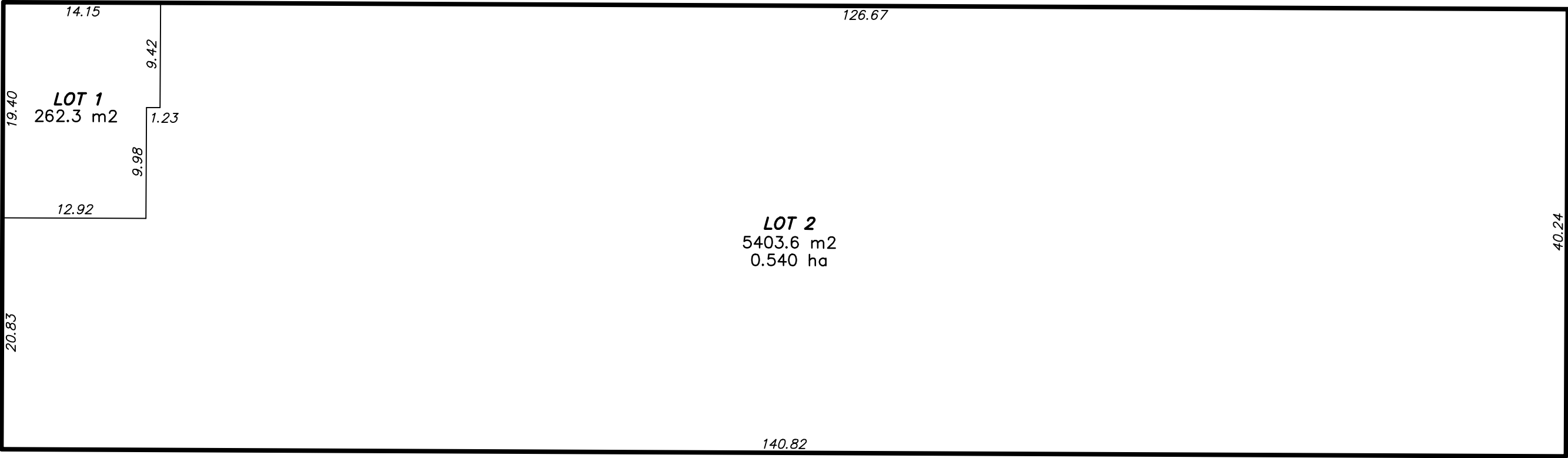
PROPOSED SUBDIVISION OF THE 2800 BLOCK ST. GEORGE STREET, PORT MOODY



ST. GEORGE STREET

MOODY STREET

HUGH STREET



HOPE STREET