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 p+a@p+a.ca

# Inlet District Phase A - Building A1, A2, & 2A

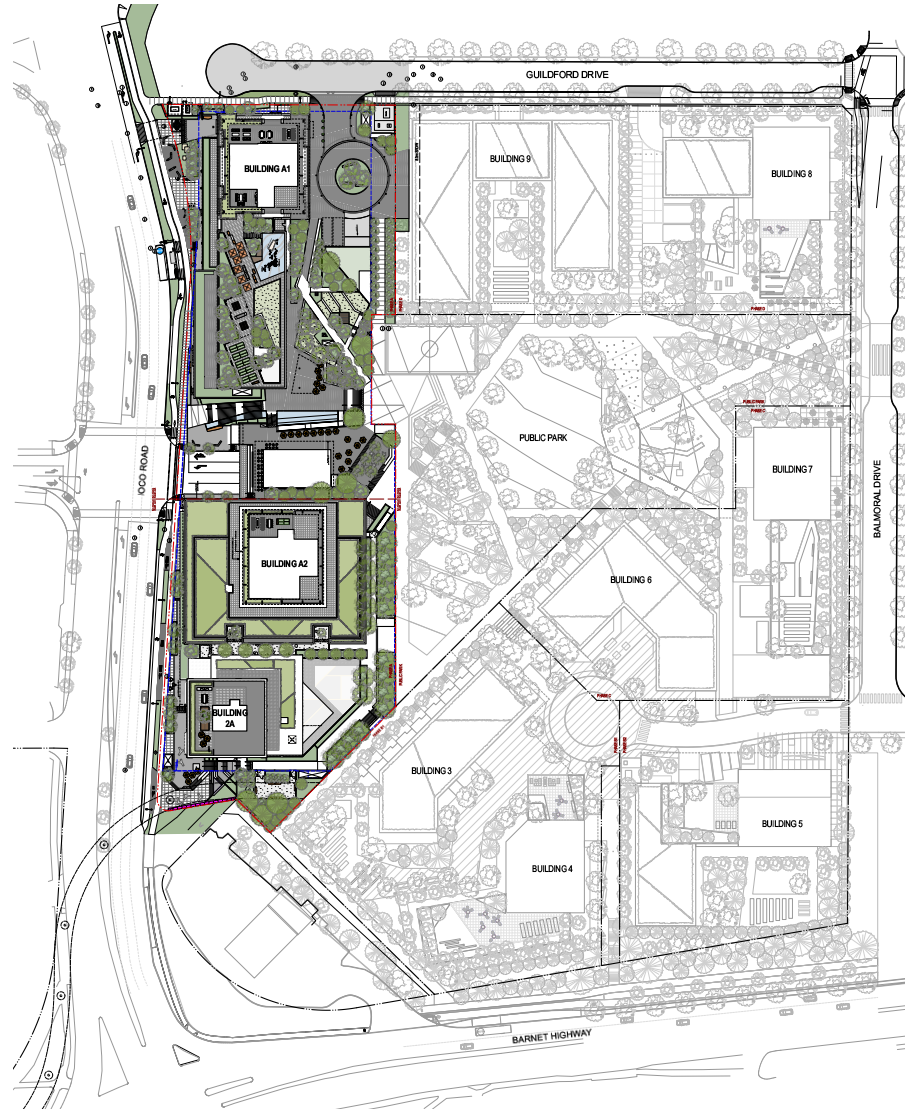
Landscape Drawings - Reissued for DP  
December 1, 2025

**Civic Address**

**Office:** 102 Buckingham Drive, Port Moody, BC V3H 2T3  
**A2 Tower:** 110 Buckingham Drive, Port Moody, BC V3H 2T3  
**A1 Tower:** 130 Buckingham Drive, Port Moody, BC V3H 2T3

**Landscape Drawing List**

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- L0.02 Design Rationale
- L0.03 Site Tree Management Plan
- L0.04 Phase A Tree Management Plan
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- L1.01 Building A1 - Level 3-4 Layout Plan
- L1.02 Building A1 - Level 8 Layout Plan
- L1.03 Building A1 - Level 28 Layout Plan
- L1.04 Building A1 - Fencing Plan
- L1.05 Building A1 - Level 1-2 Lighting Plan
- L1.06 Building A1 - Level 3-4 Lighting Plan
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- L2.01 Building A1 - Level 3-4 Grading Plan
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- L3.01 Building A1 - Level 1-2 Planting Plan
- L3.02 Building A1 - Level 3-4 Planting Plan
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- L3.04 Building A1 - Level 1-2 Soil Depth Plan
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- L4.00 Building A1 - Level 1-2 Irrigation Plan
- L4.01 Building A1 - Level 3-4 Irrigation Plan
- L4.02 Building A1 - Level 8 and 28 Irrigation Plan
- L5.00 Building A1 - Illustrative Sections
- Building A2**
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- L1.11 Building A2 - Level 3 Layout Plan
- L1.12 Building A2 - Level 5 and 2A Level 3-4 Layout Plan
- L1.13 Building A2 - Tower L29 and 2A Office Level 9 Layout Plans
- L1.14 Building A2 - Fencing Plan
- L1.15 Building A2 - Level 1 Lighting Plan
- L1.16 Building A2 - Level 3 Lighting Plan
- L1.17 Building A2 - Level 5 and 2A Level 3-4 Lighting Plan
- L1.18 Building A2 - Tower L29 and 2A Office Level 9 Lighting Plans
- L2.10 Building A2 - Level 1 Grading Plan
- L2.11 Building A2 - Level 3 Grading Plan
- L3.10 Building A2 - Plant Schedules
- L3.11 Building A2 - Level 1 Planting Plan
- L3.12 Building A2 - Level 3 Planting Plan
- L3.13 Building A2 - Level 5 and 2A Level 3-4 Planting Plan
- L3.14 Building A2 - Tower L29 and 2A Office L9 Planting Plans
- L3.15 Building A2 - Level 1 Soil Depth Plan
- L3.16 Building A2 - Level 3 Soil Depth Plan
- L3.17 Building A2 - Level 5 and 2A Level 3-4 Soil Depth Plan
- L3.18 Building A2 - Tower L29 and 2A Office L9 Soil Depth Plans
- L4.10 Building A2 - Level 1 Irrigation Plan
- L4.11 Building A2 - Level 3 Irrigation Plan
- L4.12 Building A2 - Level 5 and 2A Level 3-4 Irrigation Plan
- L4.13 Building A2 - Tower L29 and 2A Office L9 Irrigation Plans
- L5.10 Building A2 - Illustrative Sections
- L6.00 Landscape Details**
- L6.01 Landscape Details
- L6.02 Landscape Details
- L6.03 Landscape Details
- L8.00 Canopy Analysis**



Coronation Park Master Plan

No.	Description	Date
1	Issue for Information	2024-10-01
2	Issue for Approval	2024-10-01
3	Issue for Approval	2025-01-21
4	Issue for Approval	2025-08-27
5	Issue for Approval	2025-10-01

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**WESGROUP**

Project Site: Inlet District - Phase A  
 Building A1, A2, and 2A

Drawing Title: Cover Sheet

Project No.: 25000000000000000000  
 County: BC  
 Checked by: JM

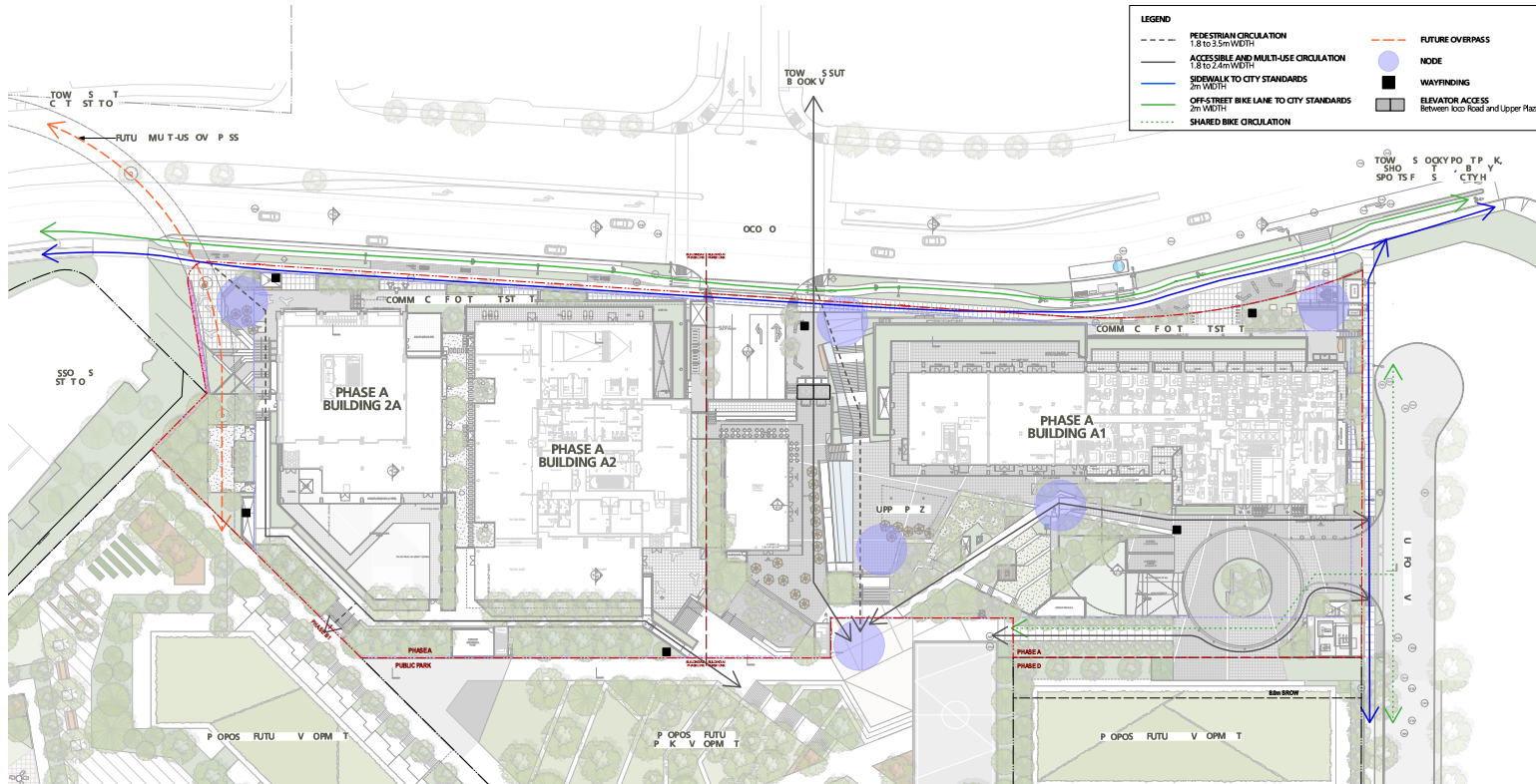
Scale: 1:500  
 Date: 2025-10-01

L0.00

No.	Description	Date
1	Issue for Review	2023-10-06
2	Issue for Approval	2023-09-12
3	Issue for Approval	2023-02-11
4	Issue for Approval	2023-08-27
5	Revised for Approval	2023-01-11

**DESIGN RATIONALE**

The landscape design and site circulation for Inlet District Phase A is designed to be complementary to the Coronation Park Master Plan and Design Guidelines. Generous pathways are provided to increase connectivity to the larger neighbourhood context and to support a livable and enjoyable landscape for residents and visitors' use. The main pedestrian and vehicular connections are located off Ioco Road, with Building A1, A2 and 2A residential lobbies facing the street. A centralized stair and elevator connection is carefully placed in the middle of the site to guide pedestrian and cyclist connection to the upper courtyard. This connection helps to facilitate a strong visual and physical connection to the upper plaza and also serves as the gateway to the future Public Park development. Pedestrian nodes are located throughout the site with the prominent plazas being north and south of proposed development along Ioco Road. Lastly, the exterior amenity and CRU spaces at the upper plaza will be animated with paving patterns, water feature, feature signage and weather protected canopy to further activate the courtyard as an entrance to Inlet District (Coronation Park).



**CONTRACT REVIEW**  
 We warrant that the information contained in this report was prepared by us or on our behalf by a qualified professional person who is a member of a professional association in good standing and is qualified to provide the services described in this report.

**WESGROUP**

Project Site: Inlet District - Phase A Building A1, A2, and 2A

Drawn By: Site Design and Circulation Plan

Project/Client: City of Vancouver  
 Checked By: JM

Scale: AS NOTED  
 Date: 2023-10-06

**LANDSCAPE DESIGN AND CHARACTER**

**CONNECTIVITY:**

Inlet District Phase A (formerly Coronation Park) is situated along the active loco Road and slightly north of the intersection of Barnet Highway. Located at a prominent location with central connection for the surrounding neighbourhood, connectivity is one of the key design factors for the landscape.

The loco Road streetscape is designed to be pedestrian and cyclist friendly with a general slope under 5% from south to north. Stairs will be provided intermittently at retail frontages to assist with the architecture and to minimize slopes at the building entry.

A major stair access, along with elevators, are provided in the middle of the site between Building A1 and Building A2 to guide pedestrians to the upper level courtyard. Secondary connections from loco Road are also provided at the south and north of the site. A small section of ramp at a 1:12 slope is integrated at the upper level plaza to link an accessible route to Building A1 plaza. The ramp is situated adjacent a water feature to allow for a calming entrance towards the active space. Lastly, circulation from Guildford Drive will flow through a proposed raised crosswalk along with feature paving pattern in the cul-de-sac and slowly integrate into the site of Inlet District.

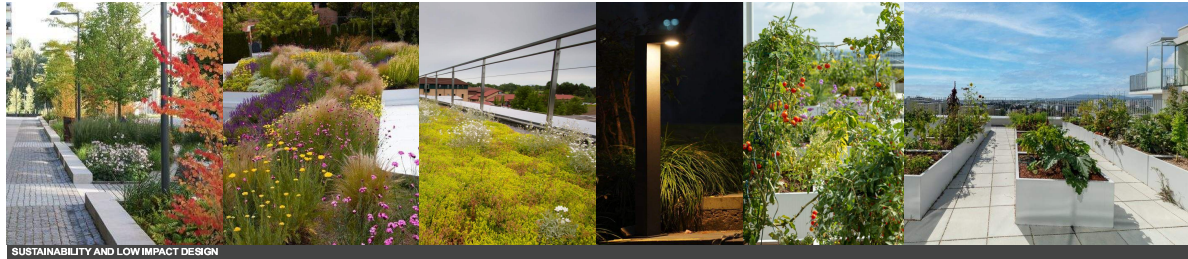


CENTRALIZED CONNECTION

**SUSTAINABILITY:**

The landscape seeks to provide a balance between usable outdoor landscape and permeable landscape areas. Soft landscape areas will provide up to 900mm of permeable topsoil for longevity of planting species and for passive storm water retention. The proposed landscape intends to utilize a combination of pervious and impervious surface treatments as well as directed flows in accordance to low impact design solutions for managing stormwater. Rainwater will be mitigated with the intent to slow down surface runoff and increase water retention on site.

Planting scheme is thoroughly selected with consideration of BC native and adaptive planting, the Urban Tree List for Metro Vancouver in a Changing Climate, Port Moody's NatureScapes Policy and Climate Resilient Landscaping Standards. Pollinator garden, urban forest, urban agriculture and green roofs are proposed in multiple locations to promote biodiversity along with adaptive approach to climate resiliency. Urban forest node will include native evergreen trees with a mix of males and native and adaptive understorey. Adequate soil volume is provided to all landscape areas. Lastly, high efficiency irrigation system will be provided for all landscape areas along with high quality lighting design to support DarkSky compliance and to support responsible lighting practices.



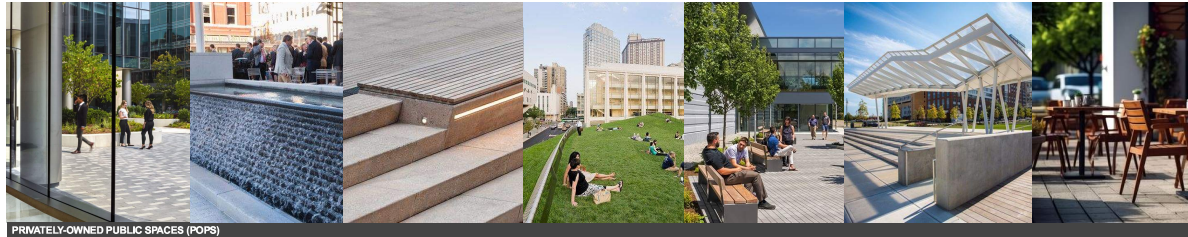
SUSTAINABILITY AND LOW IMPACT DESIGN

**CENTRAL AMENITIES:**

With the central connection from loco Road and southwest connection from Inlet Station, the project provides a variety of programmed areas as well as flexible open spaces for visitors' use. Opportunities for social interaction, spaces for pause, and multiple connections throughout the neighbourhood are integrated throughout the site.

Retail plazas along loco Road and upper plaza will be accompanied by water features, shared bike racks and linear seating. Planting are dispersed where appropriate to soften the hardscape and introduce visitors to the future parking amenities. Secondary pathways will include seating and picnic tables to engage with diversity of users. Site furnishing and weather protected canopy helps facilitate the upper level plaza to encourage year-round animation of the space.

Furthermore, in consideration of City's NatureScapes Policy and 'City of the Arts' designation, the project team aims to provide complementary landscape areas unique and suitable to the site, enabling visitors to play and enjoy.

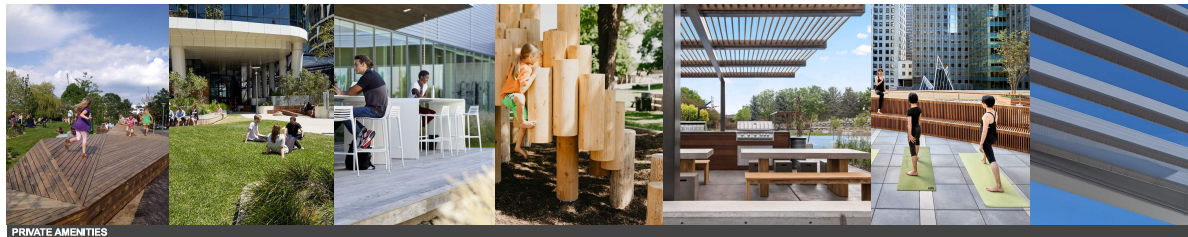


PRIVATELY-OWNED PUBLIC SPACES (POPS)

**PRIVATE OUTDOOR AMENITIES:**

Private outdoor amenities will be provided through out the site with the majority of these areas located on podium level and upper floors. One at grade amenity is a dog relief area located at the south of the site below the proposed pedestrian overpass. The dog relief area in this location will be equipped with small gravel trail along with complementary seating and resources to meet City requirements. Planting will be carefully selected to complement the adjacent uses.

Additional private amenities on Building A1 podium will include outdoor flexible countertop, weather protected canopy, movable seating, small dog relief area, urban agriculture as well as lounge and deck seating. The courtyard design circulates around a toddler's play area and flex-use lawn which accentuates the central open space and provides opportunities to overlook the future Public Park. Further private amenities provided at Office and Tower roofs will include outdoor kitchen, planting and lounge seating where appropriate in addition to other uses to complement interior amenity programs.

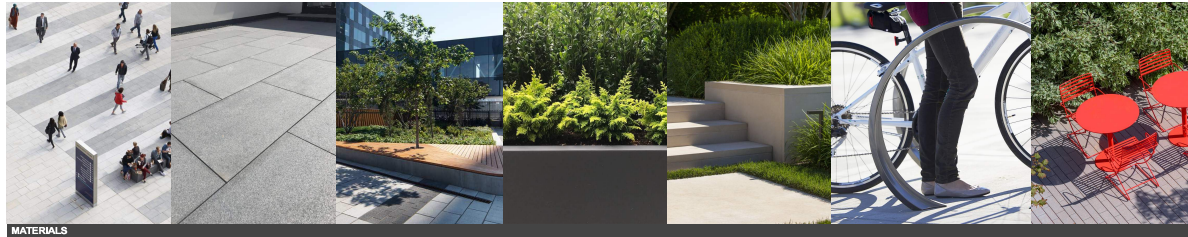


PRIVATE AMENITIES

**MATERIALS:**

High quality durable materials will be utilized throughout the landscape. High traffic areas, residential lobby entries and commercial retail unit frontages will include a mix of stamped concrete and concrete unit paving in conjunction with planting. Vehicular areas such as Building A1 parkade cul-de-sac will employ a raised crosswalk to encourage pedestrian safety along with cast-in-place concrete paving with linear pattern to soften the nature of a driveway. Private residential patios will consist of concrete slab paving, metal gate and railing. Secondary pathways will be cast-in-place concrete.

Retaining walls and planters will be a combination of cast concrete and powder coated metal. Site furnishings will include stepped concrete seat walls, powder coated metal as well as thermally modified wood accents and seat tops in larger open spaces. Lastly, lighting design will aim to meet Dark Sky requirements and be designed closely with Electrical Engineer to ensure sufficient illumination is provided for all outdoor areas.



MATERIALS



Project: Inlet District - Phases A1, A2, and A2A  
 Location: 115 East Broadway, Vancouver, BC V6E 1V9  
 Phone: 604.278.4118  
 Email: info@pandaplanning.com

Rev.	Description	Date
1	Issue for Review	2024.01.19
2	Issue for Review	2024.02.21
3	Issue for Review	2024.02.21
4	Revised for Approval	2024.03.01

Scale

CONTRACT NOTES:  
 1. All drawings are the property of P+A. Plans, Sections, and Elevation drawings are the property of P+A. All drawings are the property of P+A. All drawings are the property of P+A. All drawings are the property of P+A.

Client

**WESGROUP**

Project Title: Inlet District - Phases A1, A2, and A2A

Drawing Title: Design Rationale

Project Manager: [Signature]  
 Checkered: JM

Scale: 1:1  
 Job No.: JM

Sheet No.: L0.02

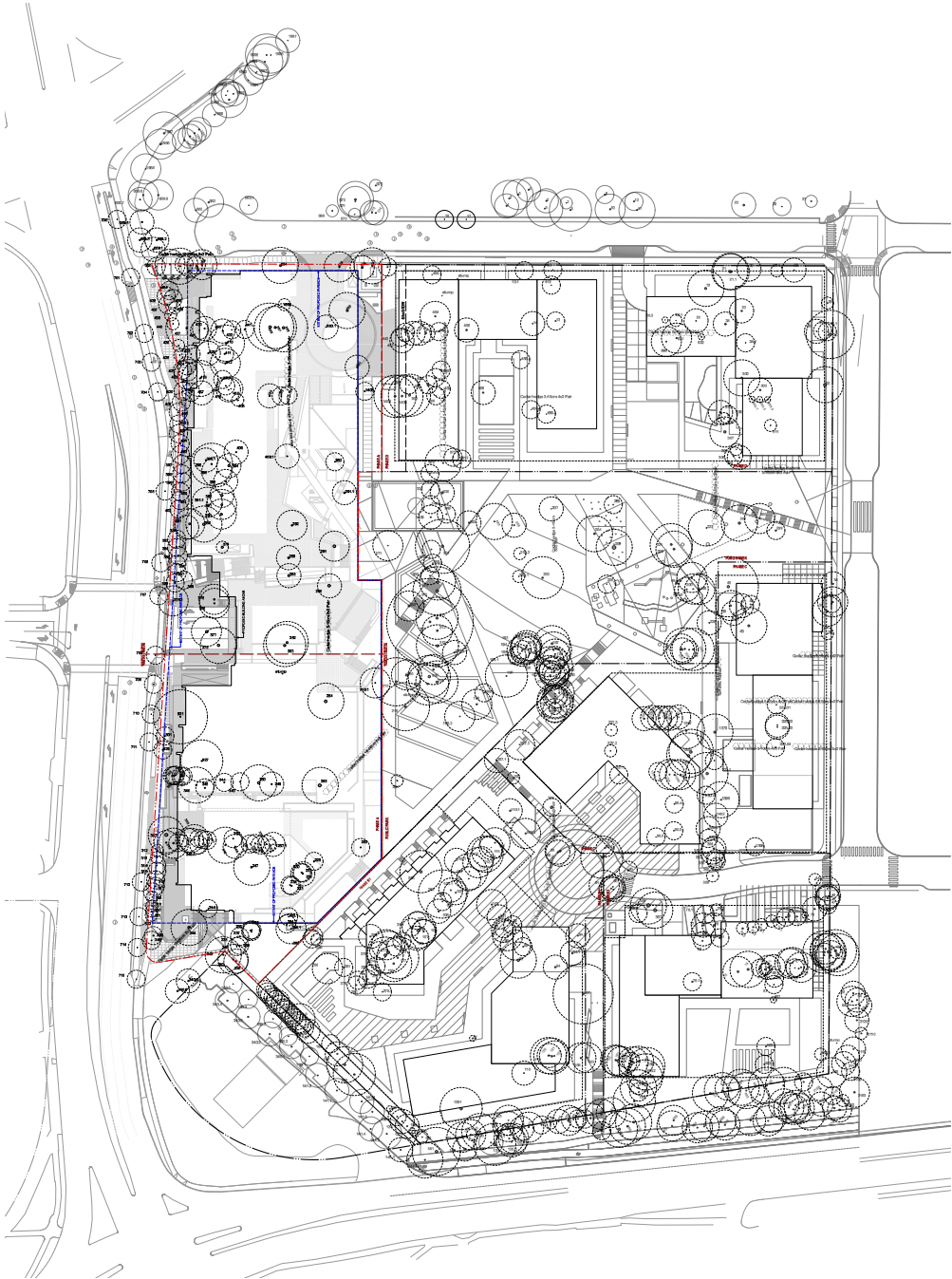
L0.02



Part of 2025020  
 245,000 sq. ft. building  
 132 East Englewood  
 Chicago, IL 60618  
 P. 604.726.4118  
 p.a@p+a.com

Rev.	Description	Date
1	Issue for Review/Revise	2024-10-08
2	Issue for Approval	2024-09-19
3	Issue for Approval	2024-02-12
4	Issue for Approval	2023-08-27
5	Revised for Approval	2023-02-01

Tree Tag No.	Tree Species	Tree Size (DBH)	Tree Status	Tree Location
101	Red Maple	12"	Remove	101
102	Red Maple	12"	Remove	102
103	Red Maple	12"	Remove	103
104	Red Maple	12"	Remove	104
105	Red Maple	12"	Remove	105
106	Red Maple	12"	Remove	106
107	Red Maple	12"	Remove	107
108	Red Maple	12"	Remove	108
109	Red Maple	12"	Remove	109
110	Red Maple	12"	Remove	110
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112	Red Maple	12"	Remove	112
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194	Red Maple	12"	Remove	194
195	Red Maple	12"	Remove	195
196	Red Maple	12"	Remove	196
197	Red Maple	12"	Remove	197
198	Red Maple	12"	Remove	198
199	Red Maple	12"	Remove	199
200	Red Maple	12"	Remove	200



**EXISTING TREES LEGEND**

To Be Removed  
 To Be Retained

Tree Tag No. \_\_\_\_\_  
 Canopy \_\_\_\_\_  
 Refer to Arborist Report for Tree Protection Zone and Protection Zone (TPZ) as indicated.

**GENERAL NOTES:**  
 1) Tree protection fencing to be installed on-site and retained until Arborist prior to construction commencement.  
 2) This plan is to be read in conjunction with Arborist Report for protection fence and minimum protection zone (MPZ) as indicated.  
 3) Any work to be performed within the tree protection zone shall be done under supervision of Project Manager.

**TREE MANAGEMENT SUMMARY**  
 Summary based on Arborist Report dated September 18, 2024

Ornamental Street Trees	542 trees
Ornamental Trees	43 trees
Neighboring Trees	38 trees
<b>Total Ornamental Trees to be Retained:</b>	<b>542 trees</b>
<b>Total Required Replacement Trees:</b>	<b>577 trees</b>
<b>Total Proposed Replacement Trees:</b>	<b>413 trees</b>
<b>Total Ornamental Trees to be Retained:</b>	<b>103 trees</b>
<b>Total Required Ornamental Replacement Trees:</b>	<b>209 trees</b>
<b>Total Proposed Ornamental Trees:</b>	<b>102 trees</b>

Phase A Trees to be Retained: 177 trees  
 Phase A Required Replacement Trees: 155 trees  
 Phase A Proposed Replacement Trees: 102 trees  
 Phase A Ornamental Trees to be Retained: 21 trees  
 Phase A Proposed Ornamental Replacement Trees: 21 trees

\* Tree Replacement requirement is calculated at 2:1 ratio per City of Chicago. The minimum tree size is 20" DBH. The minimum replacement ratio is 2:1. The replacement ratio will be developed in conjunction with City of Chicago staff.

Refer to Landscape Planting Plans in this package for proposed tree species and to Phase A Development Requirements for proposed and retained minimum sizes to be confirmed at a later stage.

CORONATION PARK  
 132 East Englewood  
 Chicago, IL 60618  
 P. 604.726.4118  
 p.a@p+a.com

**WESGROUP**

Report Title: Inlet District - Phase A  
 Building A1, A2, and A3

Drawing Title: Coronation Park  
 Site Tree Management Plan

Report/Drawn By: JS  
 Checked By: JM  
 Scale: AS NOTED  
 Date:



Port of Maryland  
200 South Washington Avenue  
Baltimore, MD 21202  
P: 410.778.4118  
port@p+a.com

Rev.	Description	Date
1	Issue for Review	2013.08
2	Issue for Approval	2013.09.17
3	Issue for Approval	2013.09.17
4	Issue for Approval	2013.09.17
5	Issue for Approval	2013.09.17
6	Issue for Approval	2013.09.17

Tree Tag No.	Tree Species	Tree Diameter (DBH)	Tree Height	Tree Condition	Tree Location	Tree Status
101	Red Maple	12.0	15.0	Good	701	Retain
102	Red Maple	10.0	12.0	Good	702	Retain
103	Red Maple	8.0	10.0	Good	703	Retain
104	Red Maple	6.0	8.0	Good	704	Retain
105	Red Maple	4.0	6.0	Good	705	Retain
106	Red Maple	3.0	4.0	Good	706	Retain
107	Red Maple	2.0	3.0	Good	707	Retain
108	Red Maple	1.0	2.0	Good	708	Retain
109	Red Maple	1.0	2.0	Good	709	Retain
110	Red Maple	1.0	2.0	Good	710	Retain
111	Red Maple	1.0	2.0	Good	711	Retain
112	Red Maple	1.0	2.0	Good	712	Retain
113	Red Maple	1.0	2.0	Good	713	Retain
114	Red Maple	1.0	2.0	Good	714	Retain
115	Red Maple	1.0	2.0	Good	715	Retain
116	Red Maple	1.0	2.0	Good	716	Retain
117	Red Maple	1.0	2.0	Good	717	Retain
118	Red Maple	1.0	2.0	Good	718	Retain
119	Red Maple	1.0	2.0	Good	719	Retain
120	Red Maple	1.0	2.0	Good	720	Retain
121	Red Maple	1.0	2.0	Good	721	Retain
122	Red Maple	1.0	2.0	Good	722	Retain
123	Red Maple	1.0	2.0	Good	723	Retain
124	Red Maple	1.0	2.0	Good	724	Retain
125	Red Maple	1.0	2.0	Good	725	Retain
126	Red Maple	1.0	2.0	Good	726	Retain
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130	Red Maple	1.0	2.0	Good	730	Retain
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132	Red Maple	1.0	2.0	Good	732	Retain
133	Red Maple	1.0	2.0	Good	733	Retain
134	Red Maple	1.0	2.0	Good	734	Retain
135	Red Maple	1.0	2.0	Good	735	Retain
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137	Red Maple	1.0	2.0	Good	737	Retain
138	Red Maple	1.0	2.0	Good	738	Retain
139	Red Maple	1.0	2.0	Good	739	Retain
140	Red Maple	1.0	2.0	Good	740	Retain
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148	Red Maple	1.0	2.0	Good	748	Retain
149	Red Maple	1.0	2.0	Good	749	Retain
150	Red Maple	1.0	2.0	Good	750	Retain
151	Red Maple	1.0	2.0	Good	751	Retain
152	Red Maple	1.0	2.0	Good	752	Retain
153	Red Maple	1.0	2.0	Good	753	Retain
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155	Red Maple	1.0	2.0	Good	755	Retain
156	Red Maple	1.0	2.0	Good	756	Retain
157	Red Maple	1.0	2.0	Good	757	Retain
158	Red Maple	1.0	2.0	Good	758	Retain
159	Red Maple	1.0	2.0	Good	759	Retain
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161	Red Maple	1.0	2.0	Good	761	Retain
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164	Red Maple	1.0	2.0	Good	764	Retain
165	Red Maple	1.0	2.0	Good	765	Retain
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169	Red Maple	1.0	2.0	Good	769	Retain
170	Red Maple	1.0	2.0	Good	770	Retain
171	Red Maple	1.0	2.0	Good	771	Retain
172	Red Maple	1.0	2.0	Good	772	Retain
173	Red Maple	1.0	2.0	Good	773	Retain
174	Red Maple	1.0	2.0	Good	774	Retain
175	Red Maple	1.0	2.0	Good	775	Retain
176	Red Maple	1.0	2.0	Good	776	Retain
177	Red Maple	1.0	2.0	Good	777	Retain
178	Red Maple	1.0	2.0	Good	778	Retain
179	Red Maple	1.0	2.0	Good	779	Retain
180	Red Maple	1.0	2.0	Good	780	Retain
181	Red Maple	1.0	2.0	Good	781	Retain
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183	Red Maple	1.0	2.0	Good	783	Retain
184	Red Maple	1.0	2.0	Good	784	Retain
185	Red Maple	1.0	2.0	Good	785	Retain
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192	Red Maple	1.0	2.0	Good	792	Retain
193	Red Maple	1.0	2.0	Good	793	Retain
194	Red Maple	1.0	2.0	Good	794	Retain
195	Red Maple	1.0	2.0	Good	795	Retain
196	Red Maple	1.0	2.0	Good	796	Retain
197	Red Maple	1.0	2.0	Good	797	Retain
198	Red Maple	1.0	2.0	Good	798	Retain
199	Red Maple	1.0	2.0	Good	799	Retain
200	Red Maple	1.0	2.0	Good	800	Retain

**EXISTING TREES LEGEND**

To be Removed: To be Retained:

Tree Tag No. \_\_\_\_\_  
Canopy \_\_\_\_\_

Refer to Arborist Report for Tree Protection Zones and Protection Zones (TPZ).

**GENERAL NOTES**

1) Tree protection fencing to be installed on-site and retained in place prior to construction commencement.

2) This plan is to be used in conjunction with Arborist Report. Refer to Arborist Report for details, tree species, tree location, tree and maximum protection zone (MPZ) as indicated.

3) Any work to be performed within the tree protection zone must be done under supervision by Project Arborist.

**TREE REPLACEMENT NOTES**

Landscape Architect Report dated September 18, 2014

On-site Protected Seed Trees: 542 trees  
On-site City Trees: 130 trees  
Hedge: 18 hedges

Total On-site Trees to be Replaced: 542 trees  
Total Proposed Replacement Trees: 1084 trees  
Total Proposed Replacement Trees: 743 trees

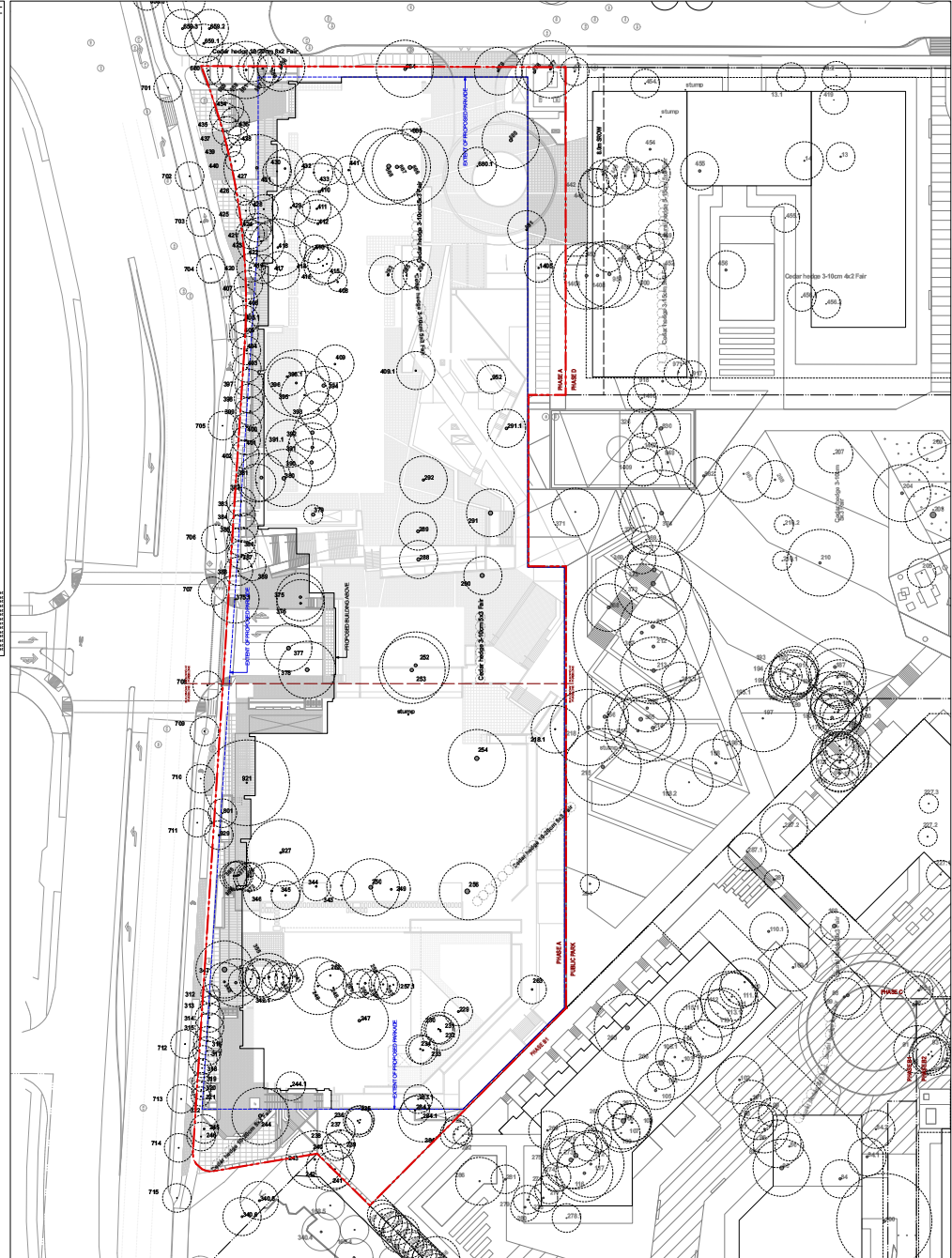
Total On-site Trees to be Replaced: 130 trees  
Total Required On-site Replacement Trees: 260 trees  
Total Proposed On-site Replacement Trees: 130 trees

Phase A Trees to be Replaced: 177 trees  
Phase A Proposed Replacement Trees: 354 trees  
Phase A Proposed On-site Replacement Trees: 177 trees

Phase A On-site Trees to be Replaced: 21 trees  
Phase A Required On-site Replacement Trees: 42 trees  
Phase A Proposed On-site Replacement Trees: 21 trees

Refer to the Arborist Report for details on the location of trees to be replaced and the location of trees to be retained in conjunction with City of Port Moody staff.

Refer to the Arborist Report for details on the location of trees to be replaced and the location of trees to be retained in conjunction with City of Port Moody staff.



**CONSENT REQUIRED**  
This drawing is not to be used for any project of a different nature than that for which it was prepared. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is also responsible for obtaining all necessary approvals from the appropriate authorities. The user of this drawing is also responsible for obtaining all necessary approvals from the appropriate authorities.

**WESGROUP**

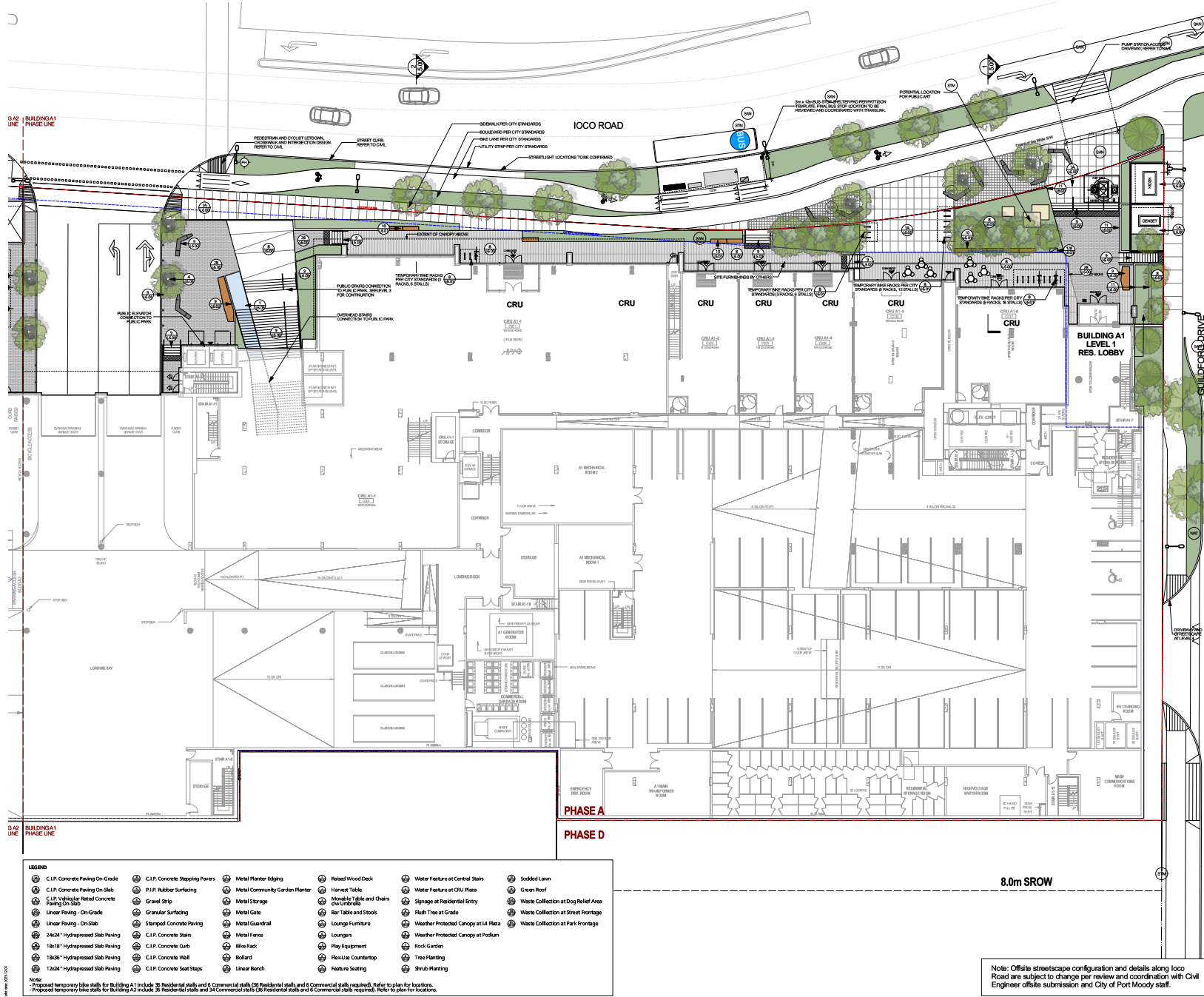
Report Title: Inlet District - Phase A Building A1, A2, and A3

Drawing Title: Phase A Tree Management Plan

Scale: AS NOTED

L0.04

Rev.	Description	Date
1	Issue for Review	2023-10-06
2	Issue for Review	2024-03-19
3	Issue for Review	2025-02-11
4	Issue for Review	2025-03-21
5	Issue for Review	2025-05-01
6	Issue for Review	2025-05-01



**LEGEND**

<ul style="list-style-type: none"> <li>⊙ C.I.P. Concrete Paving On-Grade</li> <li>⊙ C.I.P. Concrete Paving On-Slab</li> <li>⊙ C.I.P. Vehicular-Related Concrete Paving On-Slab</li> <li>⊙ Linear Paving - On-Grade</li> <li>⊙ Linear Paving - On-Slab</li> <li>⊙ 24x24" Hydrated Slab Paving</li> <li>⊙ 18x18" Hydrated Slab Paving</li> <li>⊙ 18x36" Hydrated Slab Paving</li> <li>⊙ 12x24" Hydrated Slab Paving</li> </ul>	<ul style="list-style-type: none"> <li>⊙ C.I.P. Concrete Stepping Pavers</li> <li>⊙ P.I.P. Rubber Surfacing</li> <li>⊙ Gravel Strip</li> <li>⊙ Granular Surfacing</li> <li>⊙ Stamped Concrete Paving</li> <li>⊙ C.I.P. Concrete Stair</li> <li>⊙ C.I.P. Concrete Curb</li> <li>⊙ C.I.P. Concrete Wall</li> <li>⊙ C.I.P. Concrete Seat Steps</li> </ul>	<ul style="list-style-type: none"> <li>⊙ Metal Planter Edging</li> <li>⊙ Metal Community Garden Planter</li> <li>⊙ Metal Storage</li> <li>⊙ Metal Gate</li> <li>⊙ Metal Guardrail</li> <li>⊙ C.I.P. Concrete Stair</li> <li>⊙ Metal Fence</li> <li>⊙ Metal Rack</li> <li>⊙ Bullard</li> <li>⊙ Linear Bench</li> </ul>	<ul style="list-style-type: none"> <li>⊙ Paved Wood Deck</li> <li>⊙ Harvest Table</li> <li>⊙ Roundabout Table and Chairs</li> <li>⊙ Bar Table and Stools</li> <li>⊙ Lounge Furniture</li> <li>⊙ Loungers</li> <li>⊙ Play Equipment</li> <li>⊙ Flex Use Counter/Top</li> <li>⊙ Feature Seating</li> </ul>	<ul style="list-style-type: none"> <li>⊙ Water Feature at Central Stairs</li> <li>⊙ Water Feature at CRU Plaza</li> <li>⊙ Signage at Residential Entry</li> <li>⊙ Flush Tree at Grade</li> <li>⊙ Weather Protected Canopy at L4 Plaza</li> <li>⊙ Weather Protected Canopy at Podium</li> <li>⊙ Rock Garden</li> <li>⊙ Tree Planting</li> <li>⊙ Shrub Planting</li> </ul>	<ul style="list-style-type: none"> <li>⊙ Sodded Lawn</li> <li>⊙ Green Roof</li> <li>⊙ Waste Collection at Dog Relief Area</li> <li>⊙ Waste Collection at Street Frontage</li> <li>⊙ Waste Collection at Park Frontage</li> </ul>
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**Note:**  
 - Proposed temporary bike stalls for Building A1 include: 36 Residential stalls and 6 Commercial stalls required. Refer to plan for locations.  
 - Proposed temporary bike stalls for Building A2 include: 36 Residential stalls and 34 Commercial stalls. 16 Residential stalls and 6 Commercial stalls required. Refer to plan for locations.

**CONTRACT REVIEW**  
 The drawings and all other documents forming part of this contract are the property of P+A and shall remain the property of P+A. No part of these drawings or documents shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of P+A.

**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

Drawn By: Building A1 Level 1-2 Layout Plan

Project Manager: [Signature]

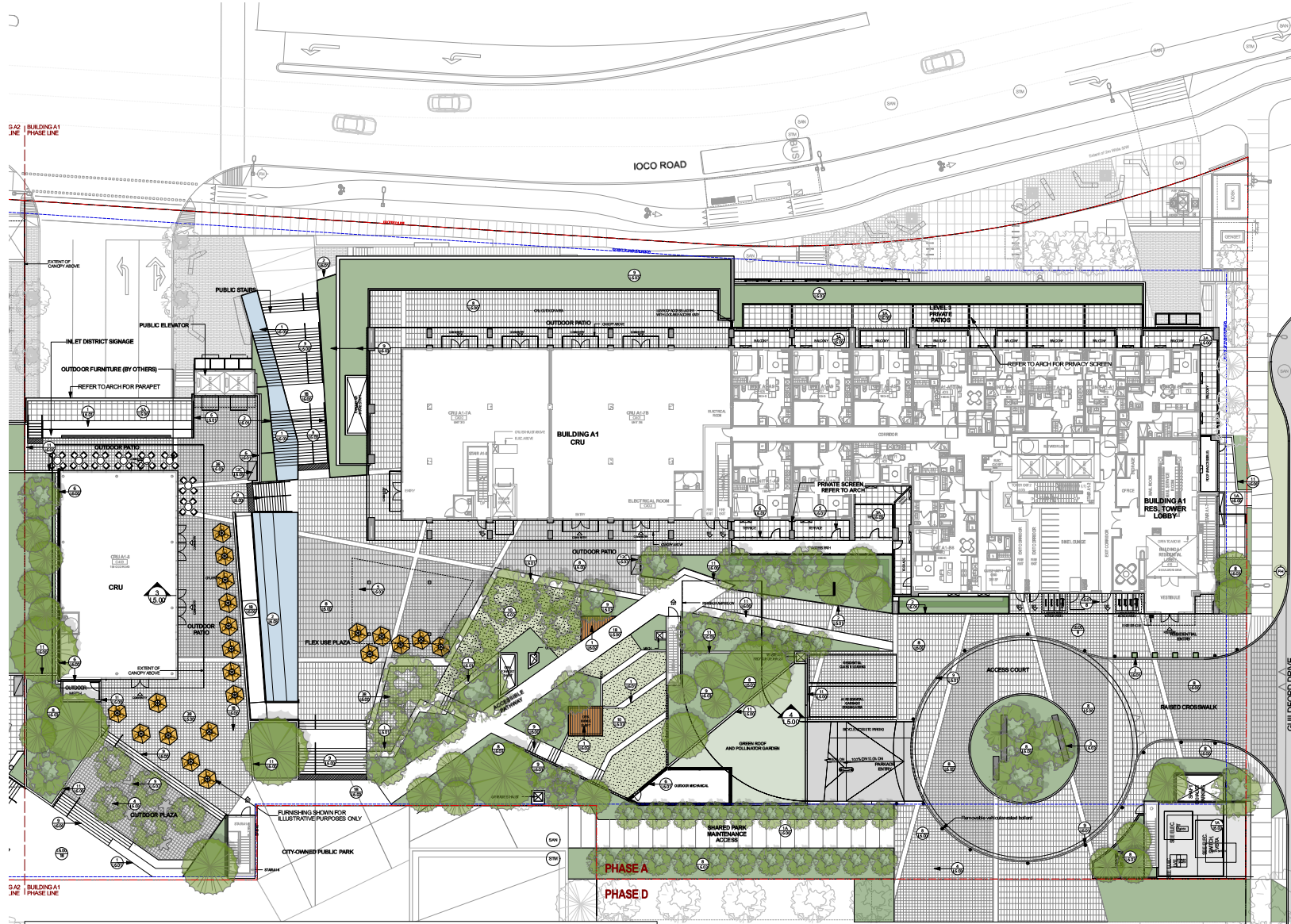
City: [Signature]

Scale: AS NOTED

Sheet No. [Signature]

Note: Offsite streetscape configuration and details along Iodo Road are subject to change per review and coordination with Civil Engineer offsite submission and City of Port Moody staff.

Rev.	Description	Date
1	Issue for Review	2023-01-01
2	Issue for Review	2023-01-01
3	Issue for Review	2023-01-01
4	Issue for Review	2023-01-01
5	Issue for Review	2023-01-01
6	Issue for Review	2023-01-01



**LEGEND**

<ul style="list-style-type: none"> <li>CLIP Concrete Paving On-Grade</li> <li>CLIP Concrete Paving On-Slab</li> <li>CLIP Vehicular-Related Concrete Paving On-Slab</li> <li>Linear Paving - On-Grade</li> <li>Linear Paving - On-Slab</li> <li>24x24" Hydrated Slab Paving</li> <li>18x18" Hydrated Slab Paving</li> <li>18x36" Hydrated Slab Paving</li> <li>12x24" Hydrated Slab Paving</li> </ul>	<ul style="list-style-type: none"> <li>C.I.P. Concrete Stepping Pavers</li> <li>P.I.P. Rubber Surfacing</li> <li>Gravel Strip</li> <li>Granular Surfacing</li> <li>Stamped Concrete Paving</li> <li>C.I.P. Concrete Stairs</li> <li>C.I.P. Concrete Curb</li> <li>C.I.P. Concrete Wall</li> <li>C.I.P. Concrete Seat Steps</li> </ul>	<ul style="list-style-type: none"> <li>Metal Planter Edging</li> <li>Metal Community Garden Planter</li> <li>Metal Storage</li> <li>Metal Gate</li> <li>Metal Guardrail</li> <li>Metal Fence</li> <li>Bullard</li> <li>Linear Bench</li> </ul>	<ul style="list-style-type: none"> <li>Paired Wood Deck</li> <li>Harvest Table</li> <li>Roundabout Table and Chairs</li> <li>Bar Table and Stools</li> <li>Lounge Furniture</li> <li>Loungers</li> <li>Play Equipment</li> <li>Bike Rack</li> <li>Play Counter/Top</li> <li>Nature Seating</li> </ul>	<ul style="list-style-type: none"> <li>Water Feature at Central Stairs</li> <li>Water Feature at CRU Plaza</li> <li>Signage at Residential Entry</li> <li>Flush Tree at Grade</li> <li>Weather Protected Canopy at LA Plaza</li> <li>Weather Protected Canopy at Podium</li> <li>Rock Garden</li> <li>Tree Planting</li> <li>Shrub Planting</li> </ul>	<ul style="list-style-type: none"> <li>Sodded Lawn</li> <li>Green Roof</li> <li>Waste Collection at Dog Relief Area</li> <li>Waste Collection at Street Frontage</li> <li>Waste Collection at Park Frontage</li> </ul>
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**Note:**  
 - Proposed temporary bike stalls for Building A1 include: 36 Residential stalls and 6 Commercial stalls (36 Residential stalls and 6 Commercial stalls required, refer to plan for locations).  
 - Proposed temporary bike stalls for Building A2 include: 36 Residential stalls and 34 Commercial stalls (36 Residential stalls and 34 Commercial stalls required, refer to plan for locations).

**CONTRACT NOTES**  
 1. All drawings are to be read in conjunction with the project's RFP, Part 2, Appendix A, and the City of Vancouver's Standard Specifications for Construction, 2022 Edition, Part 2, Division 31, "Structures and Related Work".  
 2. The contractor shall be responsible for obtaining all necessary permits and approvals for this project.

**WESGROUP**

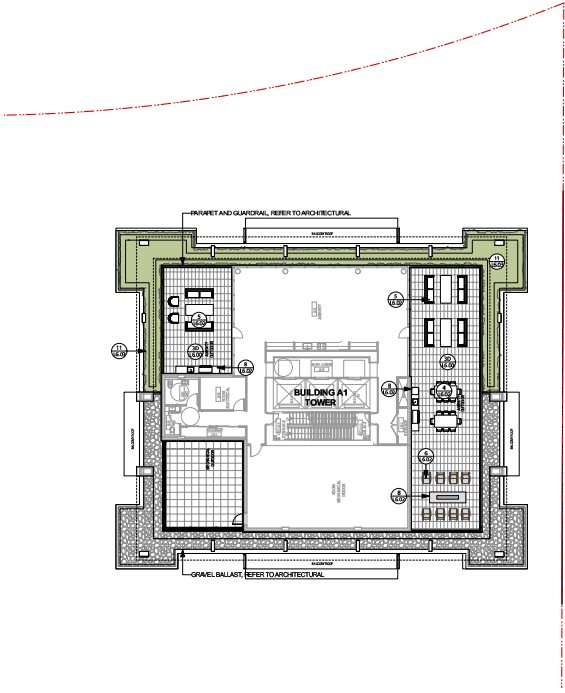
Project Title: Inlet District - Phase A Building A1, A2, and A2A

Drawing Title: Building A1 Level 3 and 4 Layout Plan

Project No.	City	RS
Sheet No.	Checked by	JM
Scale:	As Noted	
Drawn by:		



Rev.	Description	Date
1	Issue for Review	2023-10-04
2	Issue for Review	2023-09-19
3	Issue for Review	2023-09-21
4	Issue for Review	2023-09-21
5	Issue for Review	2023-09-21
6	Issue for Review	2023-09-21



1/28 Building A1 - Level 28  
Scale: 3/32" = 1'-0"

See

CONTRACT REVIEW  
This drawing is not to be used for construction of any part of the project without the written consent of Perkins + Eastman. It is the responsibility of the contractor to verify all dimensions and conditions of the site prior to construction.

Client

**WESGROUP**

Project Site  
Inlet District - Phase A  
Building A1, A2, and 2A

Drawing Title  
Building A1  
Level 28 Layout Plan

Project No. 1000000000  
City/State NY, NY  
Scale: AS NOTED  
Date: 10/04/23  
Author: JLM  
Checker: JLM

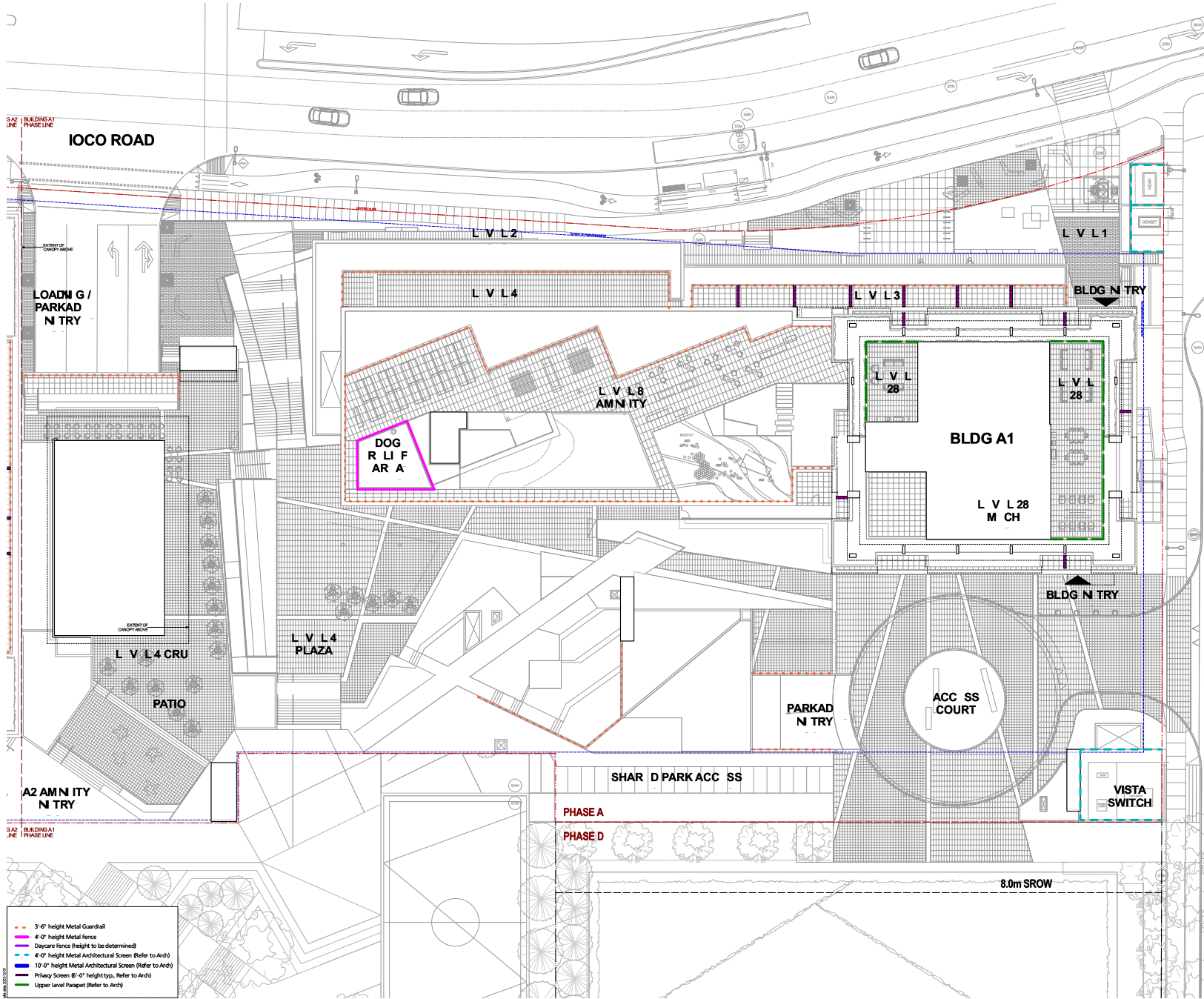
L1.03

LEGEND					
1. C.I.P. Concrete Paving On-Grade	17. C.I.P. Concrete Stepping Pavers	33. Metal Planter Edging	49. Raised Wood Deck	65. Water Feature at Central Stairs	81. Sodded Lawn
2. C.I.P. Concrete Paving On-Slab	18. P.I.P. Rubber Surfacing	34. Metal Community Garden Planter	50. Harvest Table	66. Water Feature at CRU Plaza	82. Green Roof
3. C.I.P. Vehicular-Related Concrete Paving On-Slab	19. Gravel Strip	35. Metal Storage	51. Roundtable Table and Chairs	67. Signage at Residential Entry	83. Waste Collection at Dog Relief Area
4. Linear Paving - On-Grade	20. Granular Surfacing	36. Metal Gate	52. Bar Table and Stools	68. Flush Tree at Grade	84. Waste Collection at Street Frontage
5. Linear Paving - On-Slab	21. Stamped Concrete Paving	37. Metal Guardrail	53. Lounge Furniture	69. Weather Protected Canopy at L4 Plaza	85. Waste Collection at Park Frontage
6. 24x24" Hydrated Slab Paving	22. C.I.P. Concrete Stairs	38. Metal Fence	54. Loungers	70. Weather Protected Canopy at Podium	
7. 18x18" Hydrated Slab Paving	23. C.I.P. Concrete Curb	39. Metal Rack	55. Play Equipment	71. Rock Garden	
8. 18x36" Hydrated Slab Paving	24. C.I.P. Concrete Wall	40. Bollard	56. Picnic Counter/Top	72. Tree Planting	
9. 12x24" Hydrated Slab Paving	25. C.I.P. Concrete Seat Steps	41. Linear Bench	57. Nature Seating	73. Shrub Planting	

Note:  
- Proposed temporary bike stalls for Building A1 include 36 Residential stalls and 6 Commercial stalls (26 Residential stalls and 6 Commercial stalls required, refer to plan for locations).  
- Proposed temporary bike stalls for Building A2 include 36 Residential stalls and 34 Commercial stalls (26 Residential stalls and 6 Commercial stalls required, refer to plan for locations).

DATE: 10/04/23

Rev.	Description	Date
1	Issue for Review	2023-01-01
2	Issue for Review	2023-01-01
3	Issue for Review	2023-01-01
4	Issue for Review	2023-01-01
5	Approved for Construction	2023-01-01



CONTRACT REVIEW  
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**WESGROUP**

Project Site: Inlet District - Phase A  
 Building A1, A2, and 2A

Drawing Title: Building A1  
 Fencing Plan

Project/Client: City of Vancouver  
 Checked by: JM

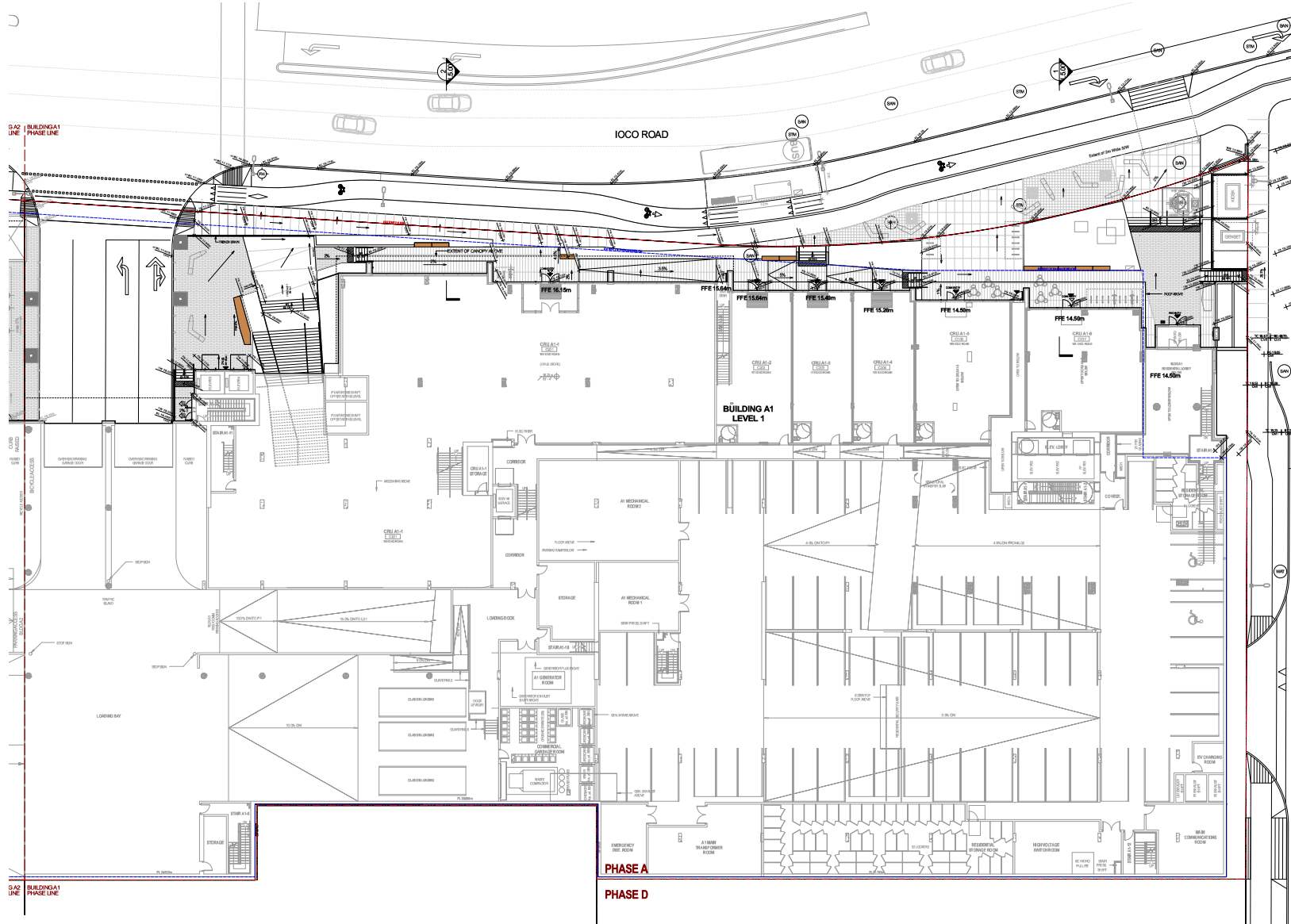
Scale: AS NOTED  
 Date: 2023-01-01







Rev.	Description	Date
1	Issue for Review with Client	2023-10-06
2	Issue for Review	2023-09-12
3	Issue for Review	2023-02-17
4	Issue for Review	2023-01-17
5	Issue for Review	2023-02-02
6	Issue for Review	2023-01-01



GRADING LEGEND	
	EXISTING SURVEY GRADES
	PROPOSED CIVIL GRADES
	INTERPOLATED CIVIL GRADES
	PROPOSED FINISH GRADES
	PROPOSED TOP OF WALL
	PROPOSED BOTTOM OF WALL
	PROPOSED TOP OF RAMP
	PROPOSED BOTTOM OF RAMP
	PROPOSED TOP OF STAIRS
	PROPOSED BOTTOM OF STAIRS
	PROPOSED TOP OF DECK
	PROPOSED TOP OF BENCH
	PROPOSED ARCH ELEVATION
	RM ELEVATION (DRAIN, BASIN)
	TOP AND BOTTOM OF CURB ELEVATION

GRADING NOTES	
1.	SLOPE ALL PAVEMENT AREAS TO AREA DRAINS.
2.	ALL PLANTING BEDS OVER SLAB ARE TO BE LIGHTLY COMPACTED PRIOR TO INSTALLATION OF PLANTING. MAINTAIN PLANTERS SLIGHTLY (50MM) IN CENTER. MAXIMUM SLOPE IS 5:1.
3.	REFER TO STRUCTURAL FOR MAXIMUM ALLOWABLE BUILDING / LOADING COVER SLAB.
4.	WALLS FINISHING WITH FLASHING PAINTED TO MATCH MATERIAL AND METAL WORK.
5.	CONTRACTOR IS RESPONSIBLE TO REVIEW ALL CONSULTANT DRAWINGS.
6.	CONTRACTOR TO ADVISE CONSULTANT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ON-SITE CONDITIONS.
7.	ALL EXISTING UTILITY COVERS ARE TO BE ADJUSTED TO THE FINISH GRADE.
8.	ALL UTILITIES TO BE ADJUSTED TO FINAL GRADE. REFER TO CIVIL.

CONTRACTOR NOTES:  
 The drawings and all other documents are the property of P+A. They are to be used only for the project for which they are prepared. No part of these drawings or documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of P+A.

**WESGROUP**

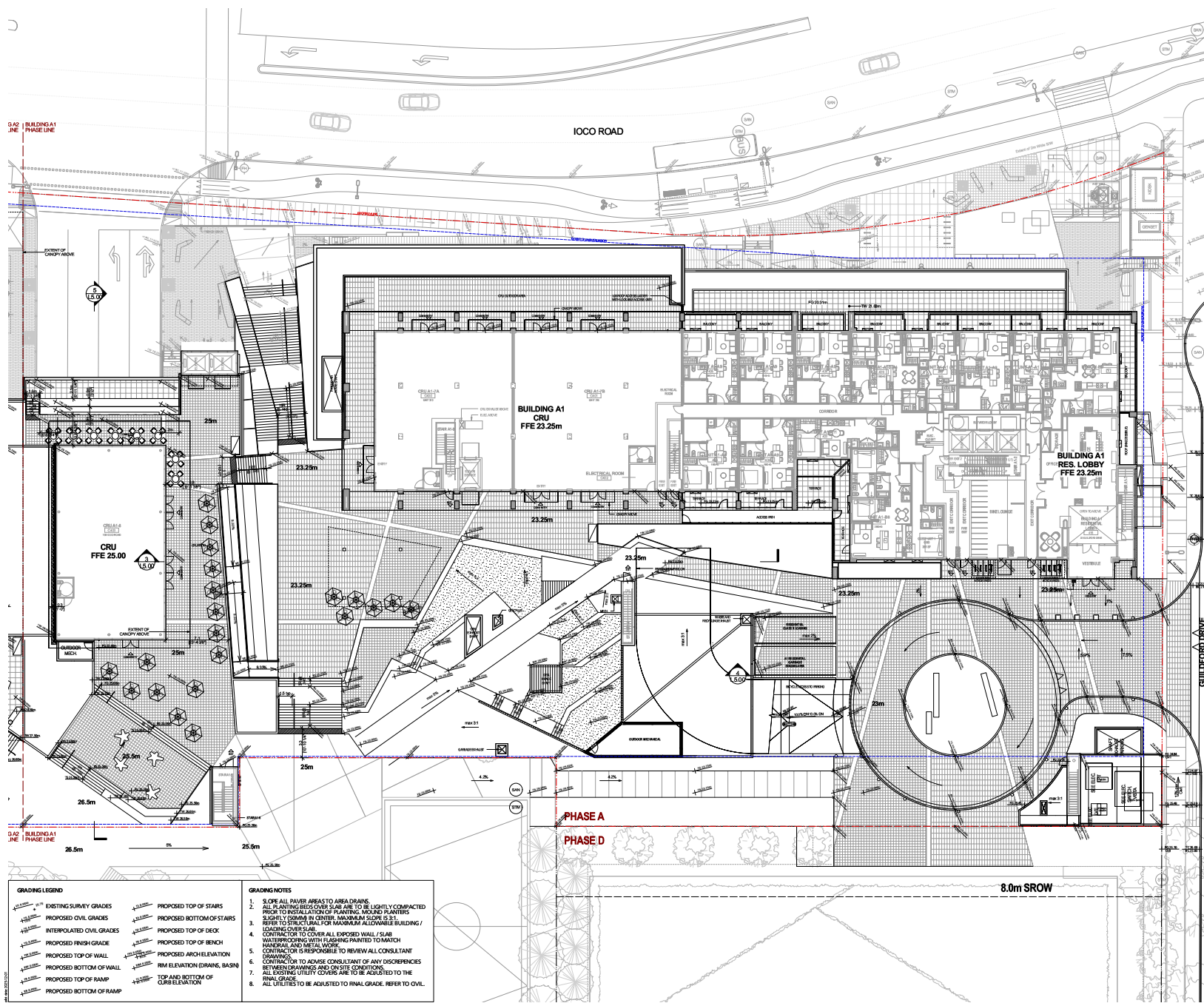
Project Title: Inlet District - Phase A Building A1, A2, and A3

Drawing Title: Building A1 Level 1-2 Grading Plan

Scale: AS NOTED

L2.00

Rev.	Description	Date
1	Issue for Construction Permit	2023-10-04
2	Issue for CP Revisions	2024-09-10
3	Issue for CP Revisions	2025-02-11
4	Issue for CP Revisions	2025-03-11
5	Issue for CP Revisions	2025-05-02
6	Revised for CP Revisions	2025-07-01



GRADING LEGEND	
	EXISTING SURVEY GRADES
	PROPOSED CIVIL GRADES
	INTERPOLATED CIVIL GRADES
	PROPOSED FINISH GRADES
	PROPOSED TOP OF WALL
	PROPOSED BOTTOM OF WALL
	PROPOSED TOP OF RAMP
	PROPOSED BOTTOM OF RAMP
	PROPOSED TOP OF STAIRS
	PROPOSED BOTTOM OF STAIRS
	PROPOSED TOP OF DECK
	PROPOSED TOP OF BENCH
	PROPOSED ARCH ELEVATION
	RM ELEVATION (DRAIN, BASIN)
	TOP AND BOTTOM OF CURB ELEVATION

GRADING NOTES	
1.	SLOPE ALL PAVEMENT AREAS TO AREA DRAINS.
2.	ALL PLANTING BEDS OVER SLAB ARE TO BE LIGHTLY COMPACTED PRIOR TO INSTALLATION OF PLANTING. MAINTAIN PLANTERS SLIGHTLY LOWER IN CENTER. MAXIMUM SLOPE IS 5%.
3.	REFER TO STRUCTURAL FOR MAXIMUM ALLOWABLE BUILDING/LOADING COVER SLAB.
4.	WALLS ARE TO BE COVERED WITH FINISHING PAINTED TO MATCH MATERIAL AND METAL WORK.
5.	CONTRACTOR IS RESPONSIBLE TO REVIEW ALL CONSULTANT DRAWINGS TO AVOID ANY DISCREPANCIES.
6.	CONTRACTOR TO ADVISE CONSULTANT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ON-SITE CONDITIONS.
7.	ALL EXISTING UTILITY COVERS ARE TO BE ADJUSTED TO THE FINISH GRADE.
8.	ALL UTILITIES TO BE ADJUSTED TO FINAL GRADE. REFER TO CIVIL.

CONTRACTOR REQUIRED TO VERIFY ALL FINISH GRADES AT THE PROJECT OF 1:10 SCALE. IF ANY DISCREPANCY IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

Drawn By: Building A1 Level 3 and 4 Grading Plan

Project No: 2023-000000  
 City: Vancouver  
 Date: 2025-07-01

Scale: AS NOTED  
 Job No.: 112  
 Date: 2025-07-01

L2.01

Rev.	Description	Date
1	Issue for Review	2024-01-15
2	Issue for Review	2024-01-21
3	Issue for Review	2024-01-21
4	Issue for Review	2024-01-21
5	Approved for Construction	2024-01-21

PLANTING DESIGN AND CHARACTER



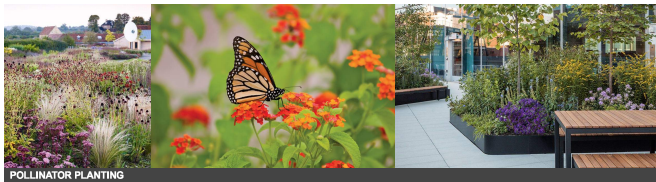
FEATURE PLANTING AT CENTRAL STAIRS



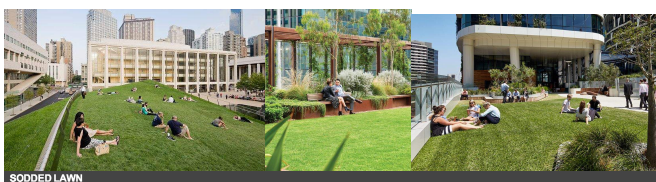
FEATURE PLANTING IN PLAZAS AND PUBLIC SPACES



LANDSCAPE PLANTING AT PATHWAYS AND SECONDARY AREAS



POLLINATOR PLANTING



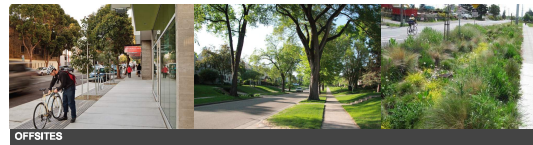
SODDED LAWN



XGREEN ROOF



PROPOSED TREES



OFFSITES

Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Benefits/Flowering	PIG*	CHL*	GLP*	Bat-friendly Gardening
ADP	1	Abies fraseri	Fraser Fir	2.5m H, 80mm DBH, 2024/25	Evergreen, 100% shade	Y	Y		
ADP	1	Acer circinatum	Swamp White Birch	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Acer griseum	Grassypine	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Pinus palmarum	Parrot Pine	2.5m H, 80mm DBH, 2024/25	Evergreen, 100% shade	Y	Y		
ADP	1	Amelanchier canadensis	Allegheny Spice	2.5m H, 80mm DBH, 2024/25	Spring flowers, 100% shade	Y	Y		
ADP	1	Cercis canadensis	Redbud	2.5m H, 80mm DBH, 2024/25	Spring flowers, 100% shade	Y	Y		
ADP	1	Cornus 'Eddie's'	Eddie's Dogwood	2.5m H, 80mm DBH, 2024/25	Spring flowers, 100% shade	Y	Y		
ADP	1	Cornus kousa 'Satomi'	Satomi Dogwood	2.5m H, 80mm DBH, 2024/25	Spring flowers, 100% shade	Y	Y		
ADP	1	Fagus sylvatica 'Dawyd Gold'	Dawyd Gold Beech	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Liquidambar	Sweetgum	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Nysa sylvatica	Winged Alocasia	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Picea omorika	Black Spruce	2.5m H, 80mm DBH, 2024/25	Evergreen, 100% shade	Y	Y		
ADP	1	Populus tremuloides	Quaking Aspen	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Pseudotsuga menziesii	Western Hemlock	2.5m H, 80mm DBH, 2024/25	Evergreen, 100% shade	Y	Y		
ADP	1	Quercus bicolor	White Oak	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		
ADP	1	Stewartia pseudocamellia	Stewartia	2.5m H, 80mm DBH, 2024/25	Spring flowers, 100% shade	Y	Y		
ADP	1	Styax japonica	Japanese Sycamore	2.5m H, 80mm DBH, 2024/25	Autumn color, 100% shade	Y	Y		

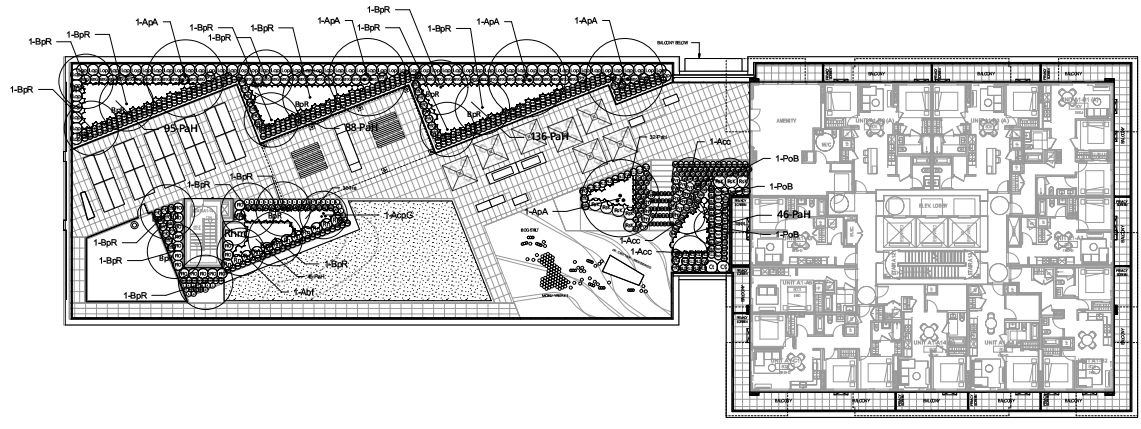
200 of Sodded Lawn  
 150 of Xgreen Roof System (system and substructure)  
 Note: Provide rock barrier for installation within 1mm of finished floor. Rock barrier to be Deeproot Geomembrane, 0.75mm thick x 600mm deep, length equal to length of tree pit.  
 \*PIG: Pigmented Plant List for Garden by the City of Vancouver, <https://www.vancouver.ca/city-services/plant-list-for-garden.aspx>  
 \*CHL: Climate Resilient Landscaping, Climate Resilient City and Water & Environmental Services, <https://www.vancouver.ca/city-services/climate-resilient-landscaping.aspx>  
 \*GLP: Green Leafy Plants, Appendix 2 of the Best Practice Green Guide (BPGG) <https://www.vancouver.ca/city-services/best-practice-green-guide.aspx>  
 \*Bat-friendly Gardening: Appendix 2 of the Best Practice Green Guide (BPGG) <https://www.vancouver.ca/city-services/best-practice-green-guide.aspx>

Scale  
 NORTH ARROW  
 WESGROUP  
 Project Title: Inlet District - Phase A Building A1, A2, and A2A  
 Drawing Title: Building A1 Plant Schedules  
 Project MGR: [Signature]  
 Designer: [Signature]  
 Scale: AS NOTED  
 Date: 2024-01-21

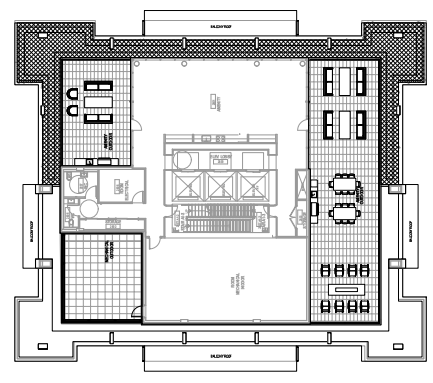




Rev.	Description	Date
1	Issue for Review	2023-01-11
2	Issue for Review	2023-01-11
3	Issue for Review	2023-01-11
4	Issue for Review	2023-01-11
5	Issue for Review	2023-01-11



1 Building A1 - Level 8  
 Scale: 3/32" = 1'-0"



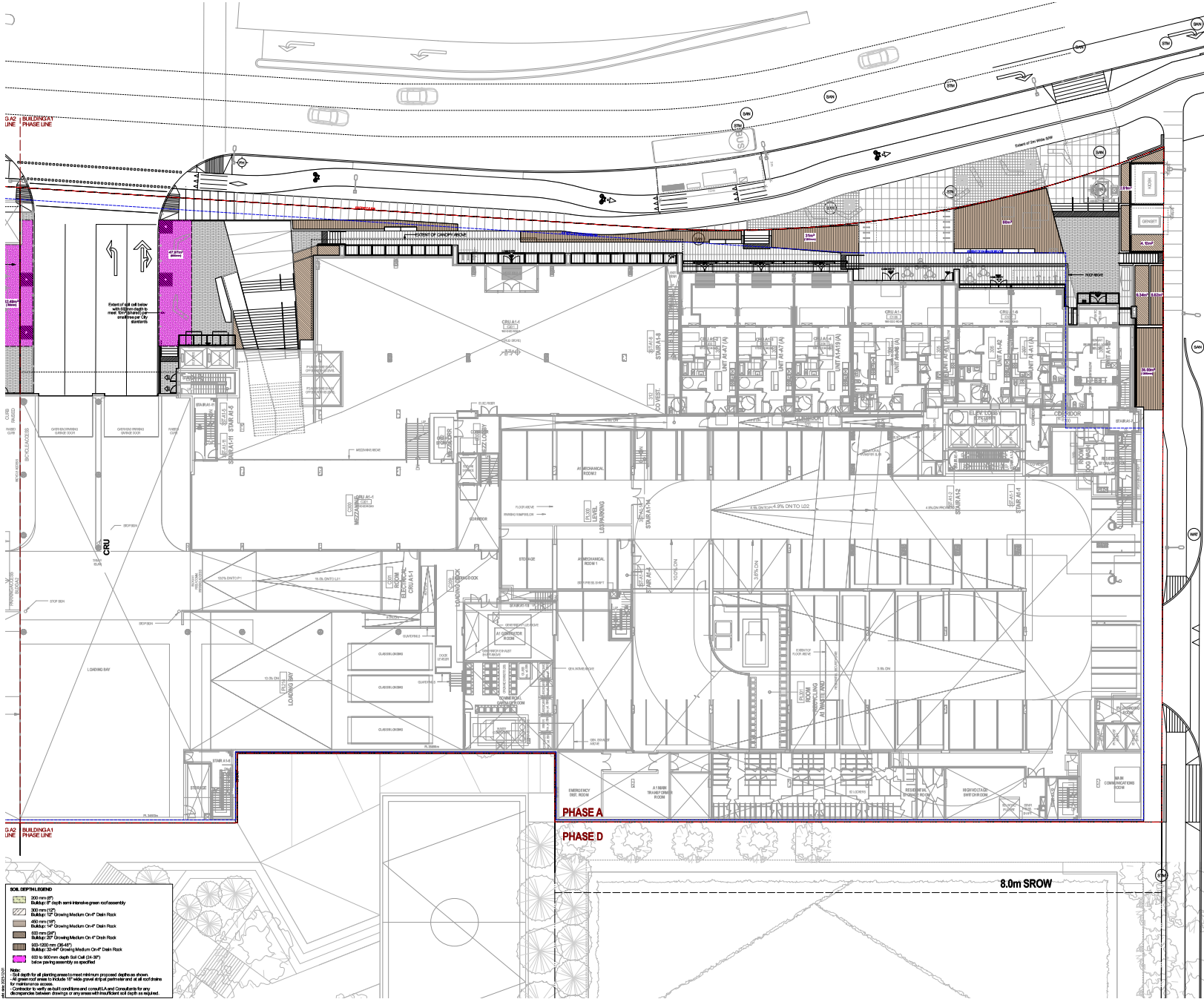
2 Building A1 - Level 28  
 Scale: 3/32" = 1'-0"

- General Planting Notes**
- Contractor is responsible to obtain and be familiar with the relevant project specifications.
  - The contractor shall supply all plant materials shown on all drawings.
  - All trees to be planted with a minimum 1"m clearance to existing water main and water valves and other underground utilities. Refer to Office notes for Office trees.
  - All plant materials shall be approved at the nursery by the project landscape architect.
  - All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
  - The landscape contractor shall refer to the contract specifications for additional requirements.
  - Planting to conform to all BCTMA Standards.
  - Refer to Landscape Office Plans for Office tree locations, tree protection fencing and root barrier. Office trees to be installed in conjunction with autoist report.
  - Provide the 2m length of root barrier at all off-site or on-site areas where trees will be installed in close proximity to handicaps. Root barrier to be DeepRoot to meet City standards. Provide cut sheet for approval.
  - Contractor to ensure that planting beds be compacted to ensure no settlement in planting areas. Contractor will be responsible to top up law planters as needed.
  - All tree substitutions to native species to suit planting palette. Any proposed substitution will require a minimum 6-weeks notice for review and approval.

**Green Roof Plant List - Building A1 | 28**

Botanical Name	Common Name	Type
<i>Coreopsis grandiflora</i>	Coreopsis	Annual
<i>Helianthus annuus</i>	Sunflower	Annual
<i>Tagetes erecta</i>	Marigold	Annual
<i>Verbena officinalis</i>	Verbena	Perennial
<i>Salvia nemorosa</i>	Sage	Perennial
<i>Origanum vulgare</i>	Oregano	Perennial
<i>Thymus serpyllifolius</i>	Thyme	Perennial
<i>Phlox paniculata</i>	Phlox	Perennial
<i>Geranium macranthum</i>	Geranium	Perennial
<i>Penstemon sp.</i>	Penstemon	Perennial
<i>Dracopis sp.</i>	Dracopis	Perennial
<i>Asperula sp.</i>	Asperula	Perennial
<i>Thalictrum sp.</i>	Thalictrum	Perennial
<i>Delphinium sp.</i>	Delphinium	Perennial
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Rev.	Description	Date
1	Issue for Review	2018-01-18
2	Issue for Review	2018-01-21
3	Issue for Review	2018-02-01
4	Issue for Review	2018-02-07
5	Approved for Construction	2018-02-07



**SOIL DEPTH LEGEND**

- 300mm (12")
- 600mm (24")
- 900mm (36")
- 1200mm (48")
- 1500mm (60")
- 1800mm (72")
- 2100mm (84")
- 2400mm (96")
- 2700mm (108")
- 3000mm (120")
- 3300mm (132")
- 3600mm (144")
- 3900mm (156")
- 4200mm (168")
- 4500mm (180")
- 4800mm (192")
- 5100mm (204")
- 5400mm (216")
- 5700mm (228")
- 6000mm (240")
- 6300mm (252")
- 6600mm (264")
- 6900mm (276")
- 7200mm (288")
- 7500mm (300")
- 7800mm (312")
- 8100mm (324")
- 8400mm (336")
- 8700mm (348")
- 9000mm (360")
- 9300mm (372")
- 9600mm (384")
- 9900mm (396")
- 10200mm (408")
- 10500mm (420")
- 10800mm (432")
- 11100mm (444")
- 11400mm (456")
- 11700mm (468")
- 12000mm (480")
- 12300mm (492")
- 12600mm (504")
- 12900mm (516")
- 13200mm (528")
- 13500mm (540")
- 13800mm (552")
- 14100mm (564")
- 14400mm (576")
- 14700mm (588")
- 15000mm (600")
- 15300mm (612")
- 15600mm (624")
- 15900mm (636")
- 16200mm (648")
- 16500mm (660")
- 16800mm (672")
- 17100mm (684")
- 17400mm (696")
- 17700mm (708")
- 18000mm (720")
- 18300mm (732")
- 18600mm (744")
- 18900mm (756")
- 19200mm (768")
- 19500mm (780")
- 19800mm (792")
- 20100mm (804")
- 20400mm (816")
- 20700mm (828")
- 21000mm (840")
- 21300mm (852")
- 21600mm (864")
- 21900mm (876")
- 22200mm (888")
- 22500mm (900")
- 22800mm (912")
- 23100mm (924")
- 23400mm (936")
- 23700mm (948")
- 24000mm (960")
- 24300mm (972")
- 24600mm (984")
- 24900mm (996")
- 25200mm (1008")
- 25500mm (1020")
- 25800mm (1032")
- 26100mm (1044")
- 26400mm (1056")
- 26700mm (1068")
- 27000mm (1080")
- 27300mm (1092")
- 27600mm (1104")
- 27900mm (1116")
- 28200mm (1128")
- 28500mm (1140")
- 28800mm (1152")
- 29100mm (1164")
- 29400mm (1176")
- 29700mm (1188")
- 30000mm (1200")

Notes:  
 1. All depths for all existing and proposed construction shall be measured from the top of the finished floor level.  
 2. All depths shall be measured from the top of the finished floor level.  
 3. All depths shall be measured from the top of the finished floor level.  
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CONTRACT REVIEWED  
 The drawings and specifications are the property of P+A. They are not to be used for any other project without the written consent of P+A. The drawings and specifications are the property of P+A. They are not to be used for any other project without the written consent of P+A.

**WESGROUP**

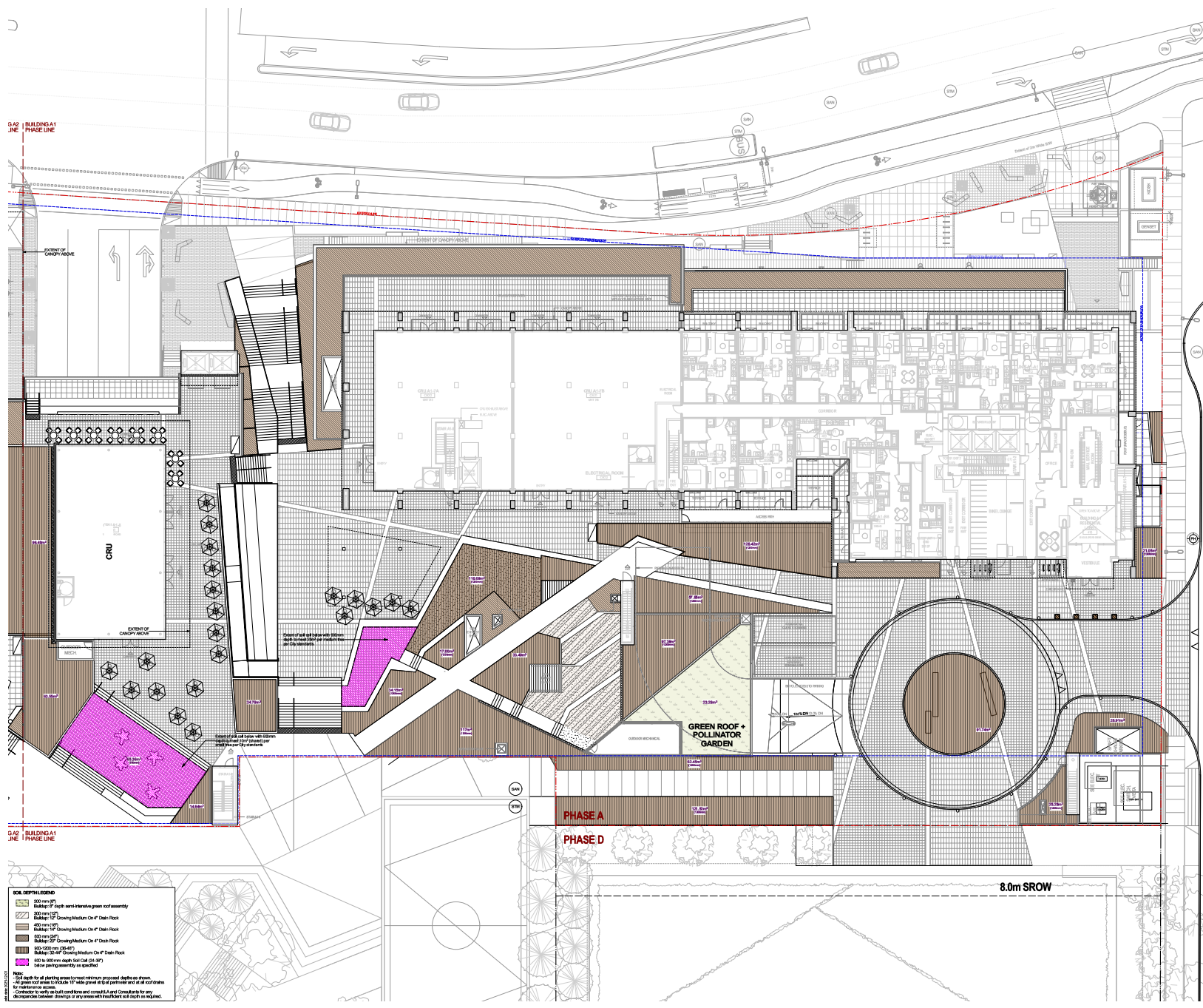
Project Title: Inlet District - Phase A Building A1, A2, and 2A

Drawing Title: Building A1 Level 1 and 2 Soil Depth Plan

Project/Sheet: 15  
 Checked by: JM

Scale: AS NOTED  
 Date: 2018-02-07

Rev.	Description	Date
1	Issue for Review	2023-01-10
2	Issue for Review	2023-01-17
3	Issue for Review	2023-01-24
4	Issue for Review	2023-02-07
5	Approved for Construction	2023-02-07



**SOIL DEPTH LEGEND**

	300mm depth	Backfill of fresh earth retaining wall
	300mm depth	Backfill of fresh earth retaining wall
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**Notes:**  
 1. Soil depth for all parking areas to meet minimum proposed depth as shown.  
 2. All ground levels to be based on 100% grade elevations and all soil depths to be measured according to the conditions and consult LA and Consultants for any discrepancies between drawings or as shown with fieldwork data only as required.

**CONTRACT REVIEW**  
 This drawing is not to be used for the purpose of a bid. It is intended for the use of the client and is not to be used for any other purpose. The client is responsible for the accuracy of the information provided and for the results of any construction based on this drawing.

**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

Drawing Title: Building A1 Level 3 and 4 Soil Depth Plan

Project No: 15  
 Checked by: JM

Scale: AS NOTED  
 Date: 2023-01-10

L3.05

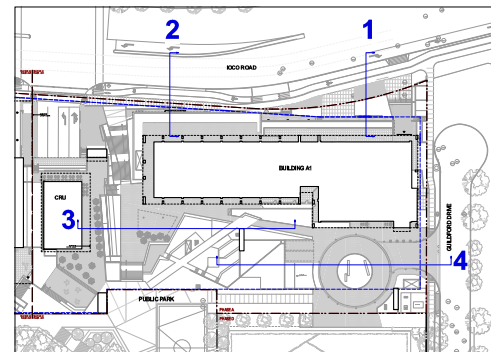




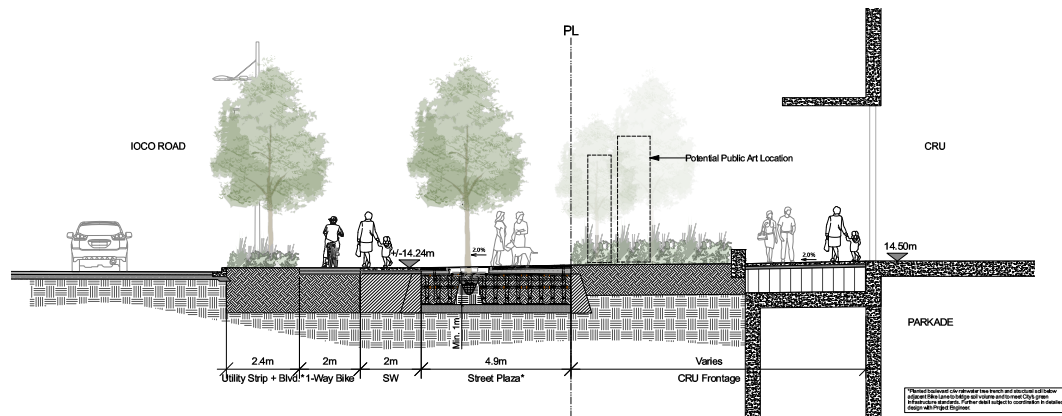




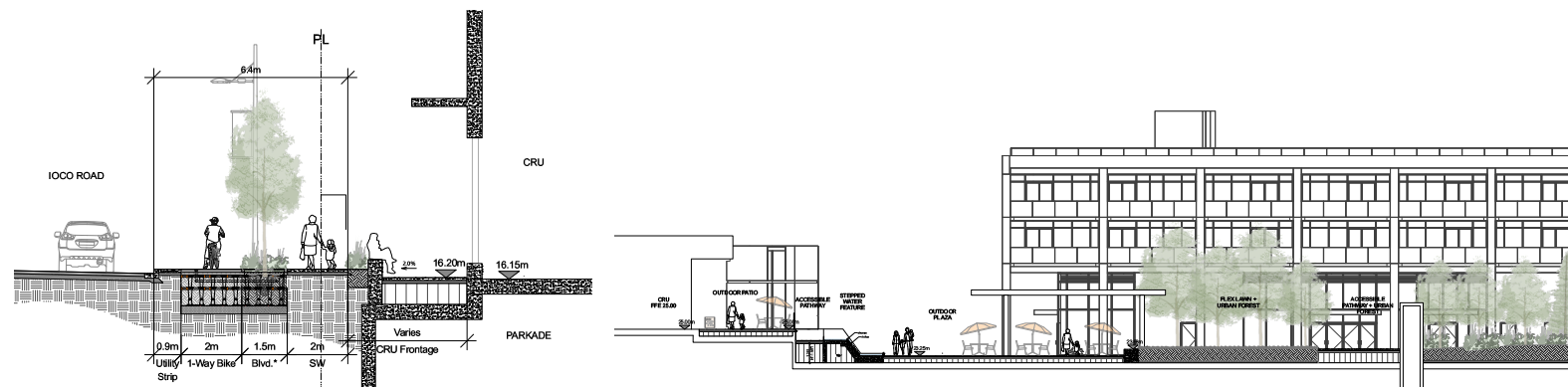
Rev.	Description	Date
1	Issued for Permits	2015-01-15
2	Issued for 2nd CD	2015-01-15
3	Issued for 3rd CD	2015-01-15
4	Issued for 4th CD	2015-01-15
5	Issued for 5th CD	2015-01-15



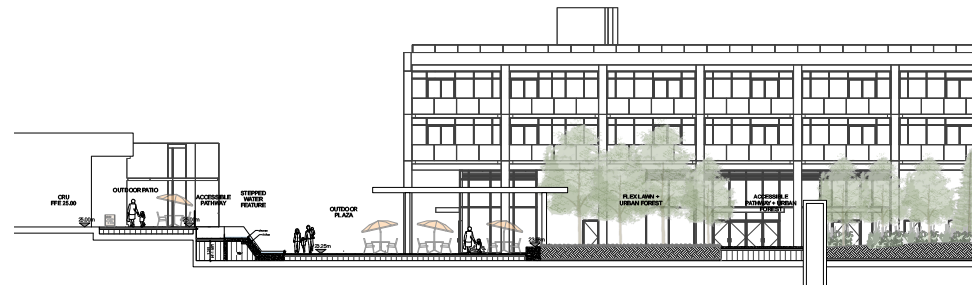
SECTION KEY PLAN | 1:500



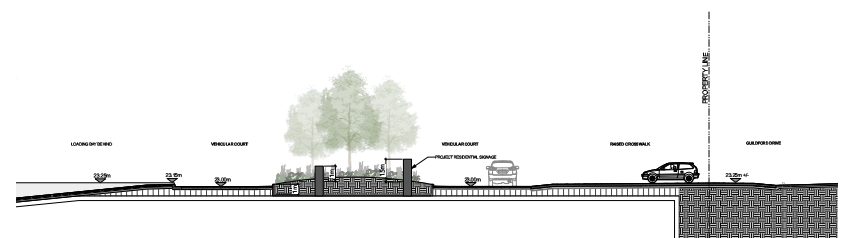
1 Section Through Ioco Road Streetscape, Northwest Plaza, and Building A1 CRU  
 Scale: 1:50



2 Section Through Ioco Road Streetscape and Building A1 CRU  
 Scale: 1:50



3 Section Through Level 4 CRU and Upper Level Plaza  
 Scale: 1:100



4 Section Through Guildford Drive Vehicular Court in front of Building A1  
 Scale: 1:50



CONTRACT NUMBER: 2015-01-01  
 112 East Duane Ave  
 Portland, OR 97101  
 P. 503.228.4118  
 p+p@p+p.com

Client: WESGROUP

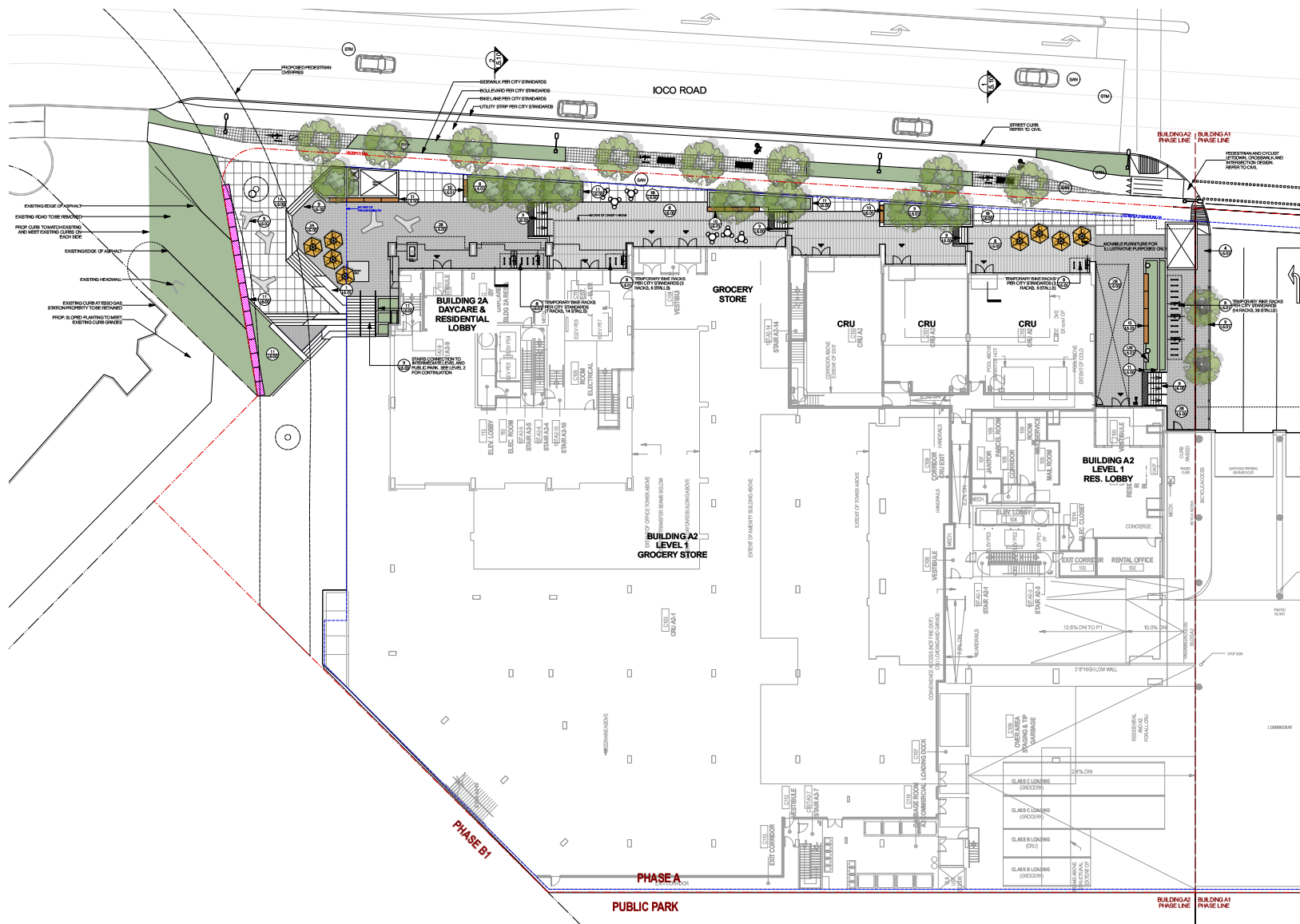
Project Title: Inlet District - Phase A Building A1, A2 and 2A

Drawings Title: Building A1 Illustrative Sections

Project Number: 2015-01-01  
 City: Portland, OR  
 Designer: JM

Scale: As Shown  
 Date: 2/3/2015

NO.	DESCRIPTION	DATE
1	Issue for Review	2023-10-06
2	Issue for Review	2023-09-12
3	Issue for Review	2023-07-21
4	Issue for Review	2023-07-17
5	Issue for Review	2023-06-22
6	Issue for Review	2023-05-01



LEGEND			
1. C.P. Concrete Paving On-Grade	2. C.P. Concrete Stepping Pavers	3. Metal Planter Edging	4. Raised Wood Deck
5. C.P. Concrete Paving On-Slab	6. P.A.P. Rubber Surfacing	7. Metal Community Garden Planter	8. Harvest Table
9. C.P. Interlock Paved Concrete Paving On-Slab	10. Gravel Strip	11. Metal Storage	12. Movable Table and Chairs w/ Umbrella
13. Linear Paving - On-Grade	14. Granular Surfacing	15. Metal Gate	16. Bar Table and Stools
17. Linear Paving - On-Slab	18. Stamped Concrete Paving	19. Metal Guardrail	20. Lounge Furniture
21. 24x24" Hydrated Slab Paving	22. C.P. Concrete Stairs	23. Metal Fence	24. Loungers
25. 18x18" Hydrated Slab Paving	26. C.P. Concrete Curb	27. Bike Rack	28. Play Equipment
29. 18x36" Hydrated Slab Paving	30. C.P. Concrete Wall	31. Bollard	32. Flex/Use Countertop
33. 12x24" Hydrated Slab Paving	34. C.P. Concrete Seal Steps	35. Linear Bench	36. Feature Seating
37. Sodded Lawn	38. Green Roof	39. Water Feature at Central Stairs	40. Water Feature at CRU Plaza
41. Waste Collection at Dog Relief Area	42. Waste Collection at Street Frontage	43. Waste Collection at Park Frontage	44. Signage at Residential Entry
45. Flush Tree at Grade	46. Weather Protected Canopy at L4 Plaza	47. Weather Protected Canopy at Podium	48. Rock Garden
49. Tree Planting	50. Shrub Planting		

Notes:  
 - Proposed temporary bike stalls for Building A1 include 36 Residential stalls and 6 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.  
 - Proposed temporary bike stalls for Building A2 include 36 Residential stalls and 36 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.

CONTRACT REVIEWED  
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**WESGROUP**

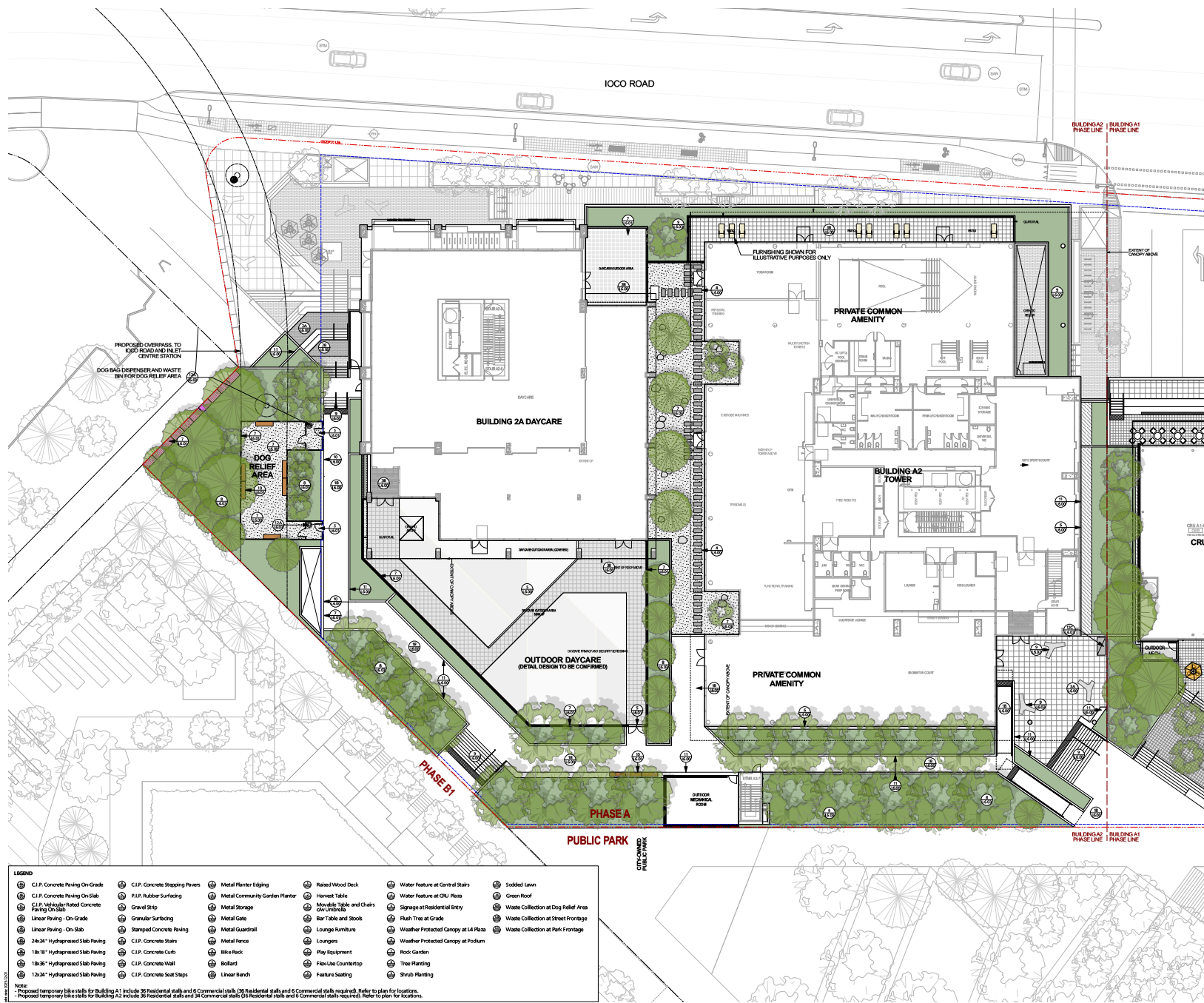
Project Title: Inlet District - Phase A Building A1, A2, and A2A

Drawing Title: Building A2 Level 1 Layout Plan

Project No.: 2023-0010  
 City: Port Moody  
 Date: 2023-10-06  
 Scale: AS NOTED  
 Sheet No.: 11 of 11

Note: Offsite streetscape configuration and details along Ioco Road are subject to change per review and coordination with Civil Engineer offsite submission and City of Port Moody staff.

Rev.	Description	Date
1	Issue for Review	2023-10-06
2	Issue for Review	2023-09-19
3	Issue for Review	2023-02-17
4	Issue for Review	2023-03-21
5	Issue for Review	2023-02-02
6	Issue for Review	2023-01-01



LEGEND			
1. C.I.P. Concrete Paving On-Grade	15. C.I.P. Concrete Stepping Pavers	29. Metal Planter Edging	43. Related Wood Deck
2. C.I.P. Concrete Paving On-Slab	16. P.A.P. Rubber Surfacing	30. Metal Community Garden Planter	44. Harvest Table
3. C.I.P. Various Related Concrete Paving On-Slab	17. Gravel Strip	31. Metal Storage	45. Movable Table and Chairs w/ Umbrella
4. Linear Paving - On-Grade	18. Granular Surfacing	32. Metal Gate	46. Bar Table and Stools
5. Linear Paving - On-Slab	19. Stamped Concrete Paving	33. Metal Guardrail	47. Lounge Furniture
6. 24x24" Hydrated Slab Paving	20. C.I.P. Concrete Stairs	34. Metal Fence	48. Loungers
7. 18x18" Hydrated Slab Paving	21. C.I.P. Concrete Curb	35. Bike Rack	49. Play Equipment
8. 18x36" Hydrated Slab Paving	22. C.I.P. Concrete Wall	36. Bollard	50. Flex-Use Countertop
9. 12x24" Hydrated Slab Paving	23. C.I.P. Concrete Seal Steps	37. Linear Bench	51. Feature Seating
			52. Water Feature at Central Stairs
			53. Water Feature at CRU Plaza
			54. Signage at Residential Entry
			55. Flush Tree at Grads
			56. Weather Protected Canopy at L4 Plaza
			57. Weather Protected Canopy at Podium
			58. Sodded Lawn
			59. Green Roof
			60. Waste Collection at Dog Relief Area
			61. Waste Collection at Street Frontage
			62. Waste Collection at Park Frontage

Note: Proposed temporary bike stalls for Building A1 include 35 Residential stalls and 6 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.  
 Proposed temporary bike stalls for Building A2 include 35 Residential stalls and 36 Commercial stalls (35 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.

CONTRACT REVIEW  
 This drawing is not to be used for any project of a different nature, location, or conditions without the prior written consent of P+A.

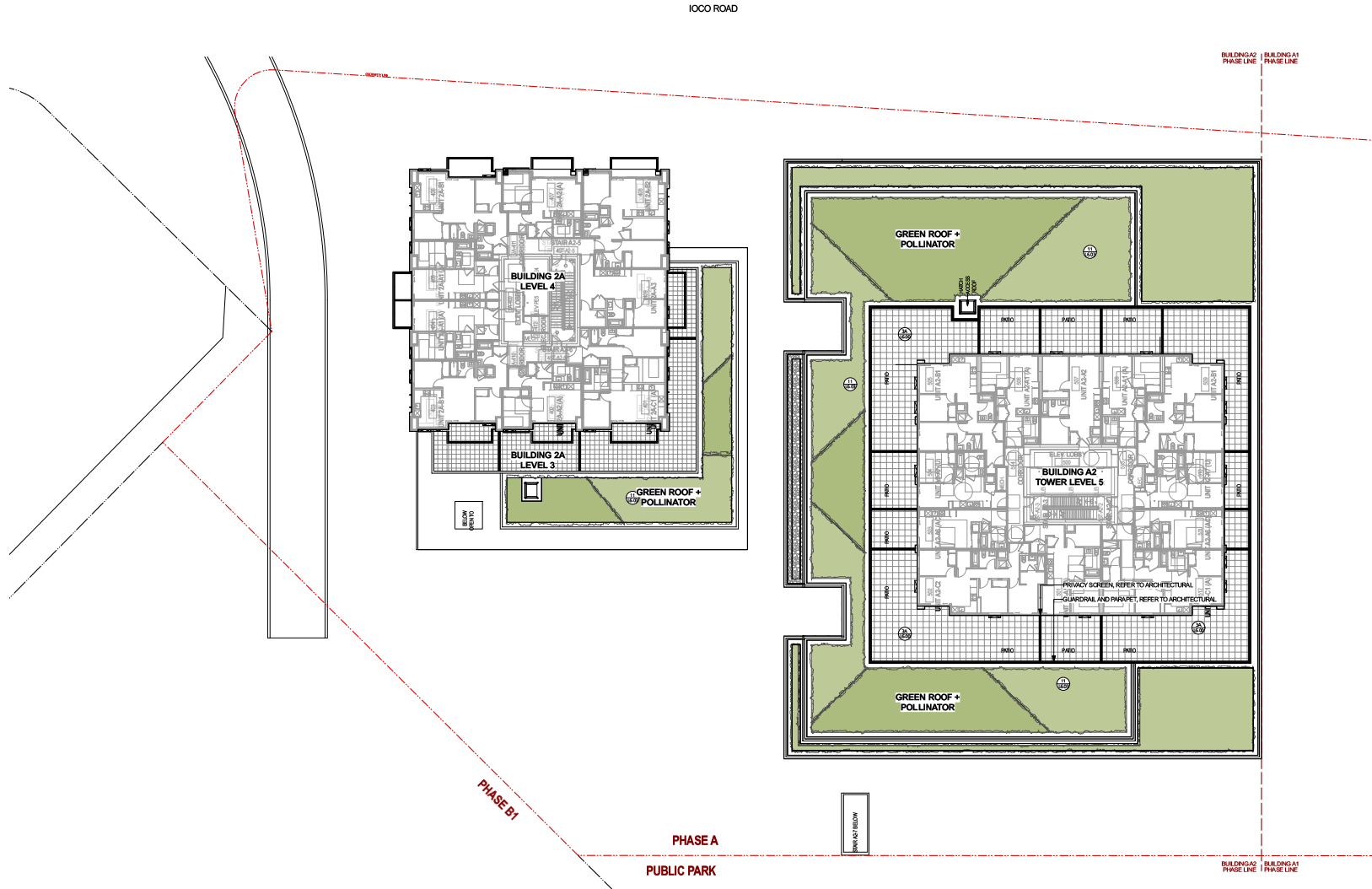
**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

Drawing Title: Building A2 Level 3 Layout Plan

Project No.: 2023-00000000000000000000  
 City: BC  
 Scale: AS NOTED  
 Date: 2023-10-06

Rev.	Description	Date
1	Issue for Review with Permit	2023-10-06
2	Issue for CP Review	2023-09-12
3	Issue for CP Review	2023-02-21
4	Issue for Building Permits	2023-03-21
5	Issue for CP Review	2023-02-21
6	Issue for CP Review	2023-01-21



LEGEND			
1. C.P. Concrete Paving On-Grade	2. C.P. Concrete Stepping Pavers	3. Metal Planter Edging	4. Related Wood Deck
5. C.P. Concrete Paving On-Slab	6. P.P.P. Rubber Surfacing	7. Metal Community Garden Planter	8. Harvest Table
9. C.P. Vehicular Related Concrete Paving On-Slab	10. Gravel Strip	11. Metal Storage	12. Moveable Table and Chairs on Umbrella
13. Linear Paving - On-Grade	14. Granular Surfacing	15. Metal Gate	16. Bar Table and Stools
17. Linear Paving - On-Slab	18. Stamped Concrete Paving	19. Metal Guardrail	20. Lounge Furniture
21. 24x24" Hydrated Slab Paving	22. C.P. Concrete Stairs	23. Metal Fence	24. Loungers
25. 18x18" Hydrated Slab Paving	26. C.P. Concrete Curb	27. Bike Rack	28. Play Equipment
29. 18x36" Hydrated Slab Paving	30. C.P. Concrete Wall	31. Bollard	32. Flex-Use Countertop
33. 12x24" Hydrated Slab Paving	34. C.P. Concrete Seal Steps	35. Linear Bench	36. Feature Seating
37. Metal Planter Edging	38. Related Wood Deck	39. Water Feature at Central Stairs	40. Sodded Lawn
41. Harvest Table	42. Moveable Table and Chairs on Umbrella	43. Bar Table and Stools	44. Loungers
45. Lounge Furniture	46. Loungers	47. Play Equipment	48. Flex-Use Countertop
49. Feature Seating	50. Strub Planting	51. Water Feature at Central Stairs	52. Sodded Lawn
53. Green Roof	54. Waste Collection at Dog Relief Area	55. Waste Collection at Street Frontage	56. Waste Collection at Park Frontage
57. Signage at Residential Entry	58. Flush Tree at Grads	59. Weather Protected Canopy at L4 Plaza	60. Weather Protected Canopy at Podium
61. Rock Garden	62. Tree Planting	63. Strub Planting	

Note: Proposed temporary bike stalls for Building A1 include 36 Residential stalls and 6 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.  
Proposed temporary bike stalls for Building A2 include 36 Residential stalls and 36 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.

CONTRACT REVIEW  
This drawing is not to be used for any project of any kind, nor for any other purpose, without the written consent of Peri + Associates. The user of this drawing is responsible for obtaining all necessary permits and approvals for the project.

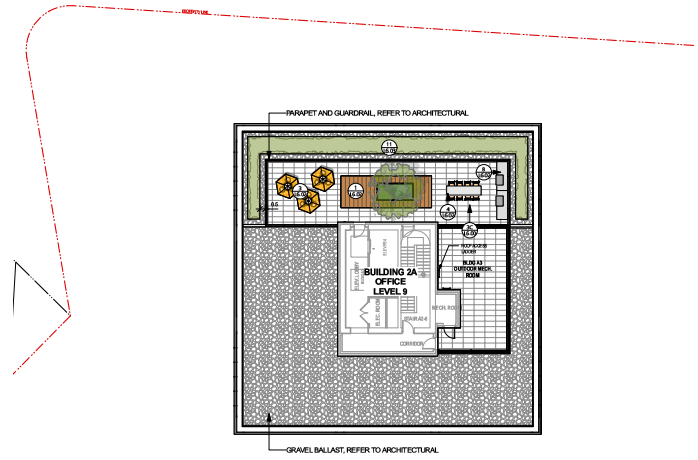
WESGROUP

Project Site: Inlet District - Phase A Building A1, A2, and A2A

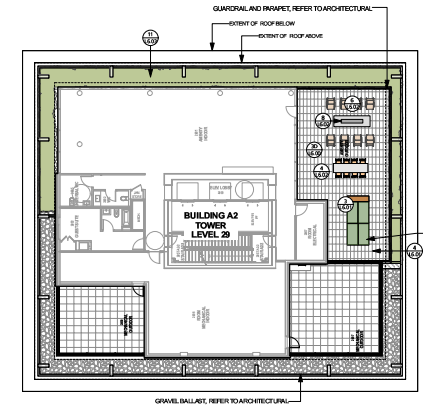
Drawing Title: Building 2A Level 3-4 and Building A2 Level 5 Layout Plan

Scale: AS NOTED  
Date: 2023-10-06  
Checked by: JM  
Drawn by: JS

REV.	DESCRIPTION	DATE
1	Issue for Review with Client	2023-10-06
2	Issue for CF Review	2024-08-12
3	Issue for CF Review	2025-02-21
4	Issue for Public Review	2025-03-21
5	Issue for Public Review	2025-05-22
6	Issue for Public Review	2025-07-01



1 Building 2A - Office Level 9  
 Scale: 3/32" = 1'-0"



2 Building A2 - Tower Level 29  
 Scale: 3/32" = 1'-0"

LEGEND					
1. C.I.P. Concrete Paving On-Grade	17. C.I.P. Concrete Stepping Pavers	33. Metal Planter Edging	49. Rained Wood Deck	65. Water Feature at Central Stairs	81. Sodded Lawn
2. C.I.P. Concrete Paving On-Slab	18. P.A.P. Rubber Surfacing	34. Metal Community Garden Planter	50. Harvest Table	66. Water Feature at ORU Plaza	82. Green Roof
3. C.I.P. Reinforced Concrete Paving On-Slab	19. Gravel Strip	35. Metal Storage	51. Moveable Table and Chairs w/ Umbrella	67. Signage at Residential Entry	83. Waste Collection at Dog Relief Area
4. Linear Paving - On-Grade	20. Granular Surfacing	36. Metal Gate	52. Bar Table and Stools	68. Flush Tree at Grade	84. Waste Collection at Street Frontage
5. Linear Paving - On-Slab	21. Stamped Concrete Paving	37. Metal Guardrail	53. Lounge Furniture	69. Weather Protected Canopy at L4 Plaza	85. Waste Collection at Park Frontage
6. 24.24" Hydrated Slab Paving	22. C.I.P. Concrete Stairs	38. Metal Fence	54. Loungers	70. Weather Protected Canopy at Podium	
7. 18.18" Hydrated Slab Paving	23. C.I.P. Concrete Curb	39. Bike Rack	55. Play Equipment	71. Rock Garden	
8. 18.18" Hydrated Slab Paving	24. C.I.P. Concrete Wall	40. Bollard	56. Flex-Use Countertop	72. Tree Planting	
9. 12.24" Hydrated Slab Paving	25. C.I.P. Concrete Seal Steps	41. Linear Bench	57. Feature Seating	73. Shrub Planting	

Note:  
 - Proposed temporary bike stalls for Building A1 include 36 Residential stalls and 6 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.  
 - Proposed temporary bike stalls for Building A2 include 36 Residential stalls and 36 Commercial stalls (36 Residential stalls and 6 Commercial stalls required). Refer to plan for locations.

CONTRACT REQUIRED  
 See drawings and specifications for details of all work. This drawing is for informational purposes only and is not to be used for construction without the approval of the architect. The contractor shall be responsible for obtaining all necessary permits and approvals for the project.

**WESGROUP**

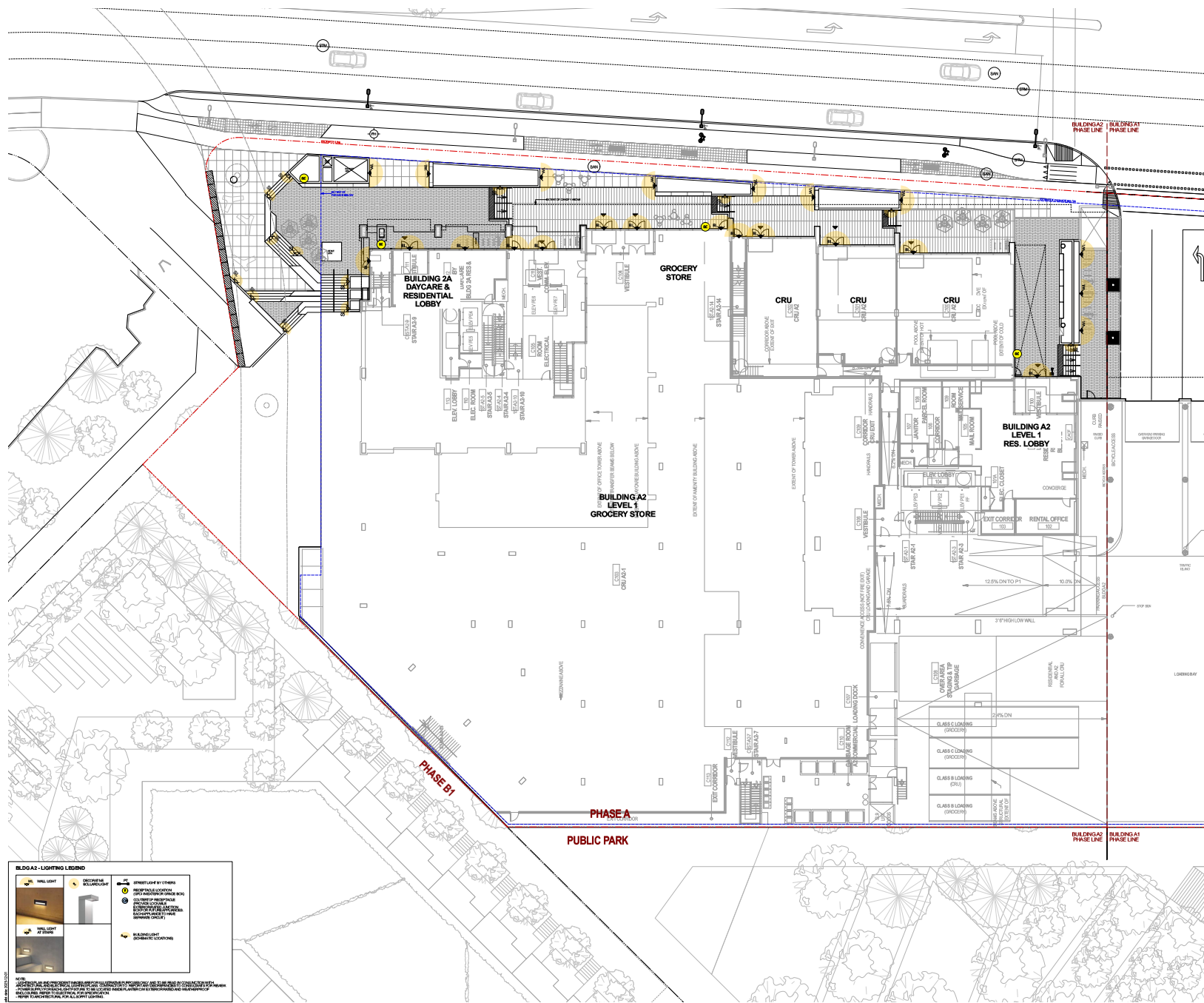
Project Site: Inlet District - Phase A Building A1, A2, and 2A

Drawing Title: Building 2A Office Level 9 and A2 Tower Level 29 Layout Plan

Project Manager: [Signature] J.S.  
 Checker: [Signature] J.M.  
 Scale: AS NOTED  
 Sheet No. AS NOTED



REV	DESCRIPTION	DATE
1	Issue for Review with Owner	2023.09.01
2	Issue for CP Review	2023.09.01
3	Issue for CP Review	2023.09.01
4	Issue for Building Review	2023.09.01
5	Issue for CP Review	2023.09.01
6	Response to CP Review	2023.09.01



**BUILDING LIGHTING LEGEND**


**NOTE:** ALL LIGHTING FIXTURES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES. THE LIGHTING DESIGN IS BASED ON THE ASSUMPTIONS AND CONDITIONS LISTED IN THE NOTES. THE LIGHTING DESIGN IS SUBJECT TO CHANGE WITHOUT NOTICE. THE LIGHTING DESIGN IS NOT A GUARANTEE OF PERFORMANCE. THE LIGHTING DESIGN IS NOT A GUARANTEE OF COMPLIANCE WITH ALL APPLICABLE CODES. THE LIGHTING DESIGN IS NOT A GUARANTEE OF COMPLIANCE WITH ALL APPLICABLE CODES.

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**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

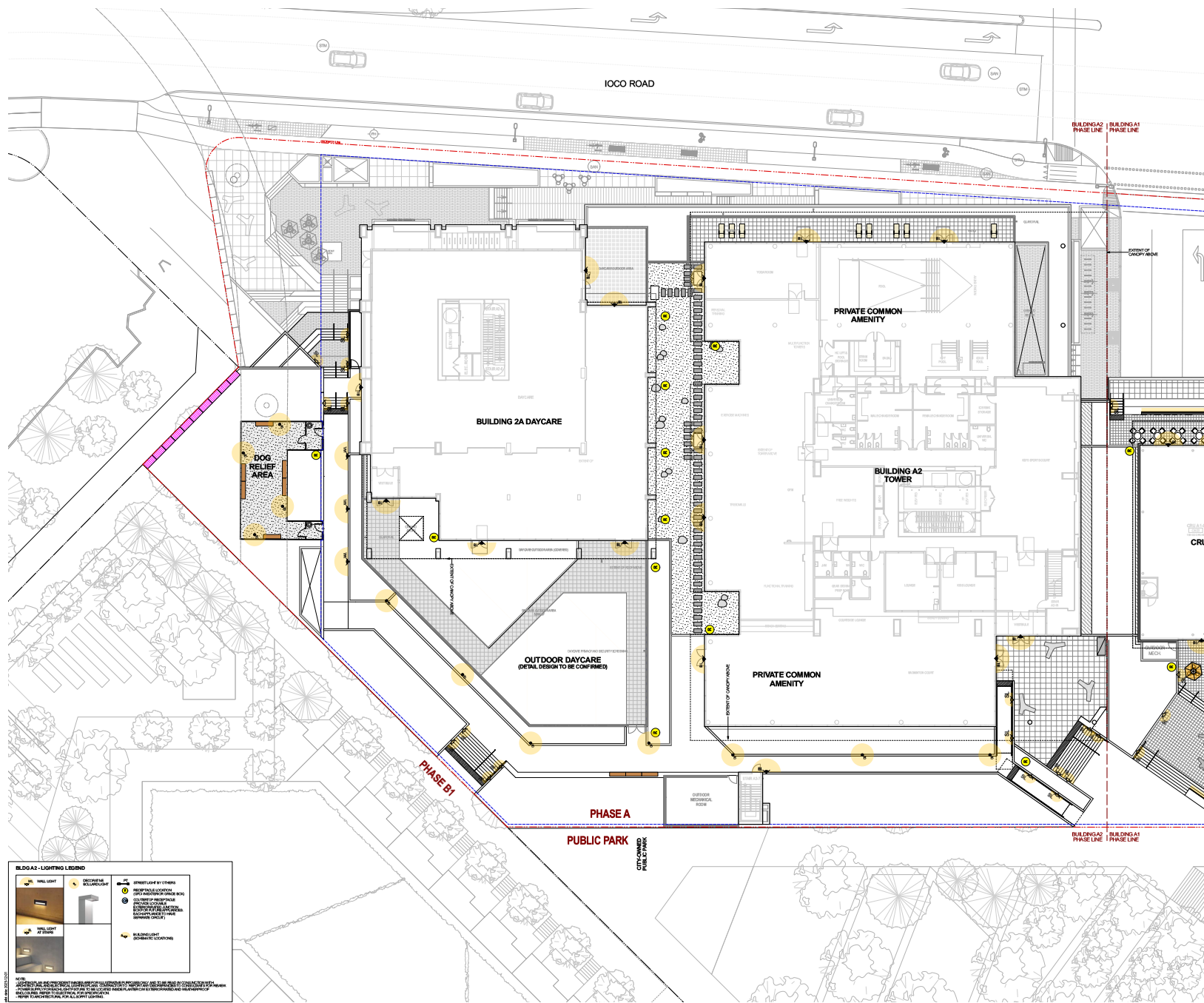
Drawing Title: Building A2 Level 1 Lighting Plan

Project Manager: [Signature] City: JS  
 Checker: JM

Scale: AS NOTED Date: [Blank]

Sheet No.: L1.15

REV.	DESCRIPTION	DATE
1	Issue for Review with Owner	2023.04.04
2	Issue for CF Review	2023.04.19
3	Issue for CF Review	2023.05.21
4	Issue for Building Review	2023.06.21
5	Issue for CF Review	2023.06.21
6	Response to CF Review	2023.07.01



**BLDG A2 - LIGHTING LEGEND**


**NOTES:**  
 1. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IESNA IESNA-100-2015 AND IESNA-100-2015-2018. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IESNA IESNA-100-2015 AND IESNA-100-2015-2018. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IESNA IESNA-100-2015 AND IESNA-100-2015-2018.

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**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

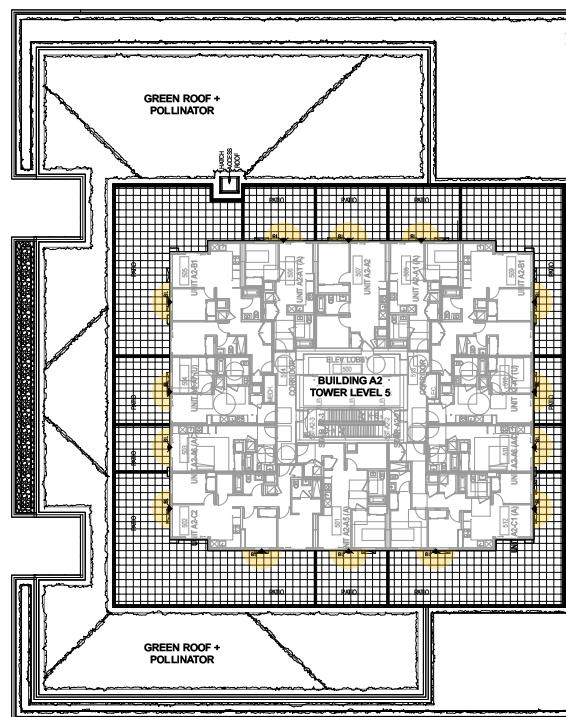
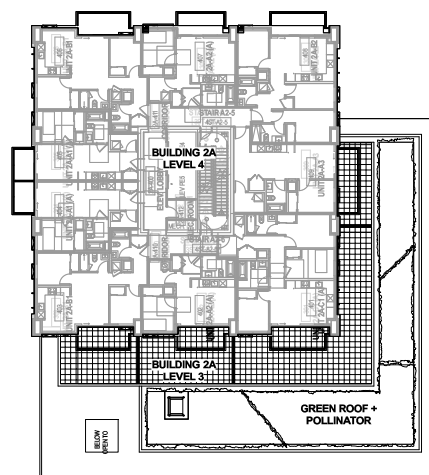
Drawing Title: Building A2 Level 3 Lighting Plan

Project/Client: University of Georgia  
 Checked by: JM

Scale: AS NOTED  
 Date: 06/20/23

1000 ROAD

BUILDING A2 PHASE LINE | BUILDING A1 PHASE LINE



PHASE B1

PHASE A  
PUBLIC PARK

BUILDING A2 PHASE LINE | BUILDING A1 PHASE LINE

**BUILDING 2A - LIGHTING LEGEND**

VALL LIGHT	RECREATION BOLLARD LIGHT	STREET LIGHT BY OTHERS
VALL LIGHT BY BUILDING	RECREATION BOLLARD LIGHT	RECREATION BOLLARD LIGHT

**NOTE:** ALL LIGHTING FIXTURES AND LUMINAIRES SHALL BE APPROVED BY THE CITY OF WILMINGTON. ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE CITY OF WILMINGTON. ALL LIGHTING FIXTURES SHALL BE APPROVED BY THE CITY OF WILMINGTON.

REV	DESCRIPTION	DATE
1	Issue for Review with Owner	2023-10-04
2	Issue for CF Review	2023-09-12
3	Issue for CF Review	2023-08-21
4	Issue for Building Review	2023-08-21
5	Issue for CF Review	2023-08-21
6	Issue for CF Review	2023-08-21

**CONTRACT REVIEW:**  
This drawing is not to be used for construction of any part of the project until it has been approved by the City of Wilmington. All lighting fixtures and luminaires shall be approved by the City of Wilmington. All lighting fixtures and luminaires shall be approved by the City of Wilmington.

**WESGROUP**

Project Site: Inlet District - Phase A  
Building A1, A2, and 2A

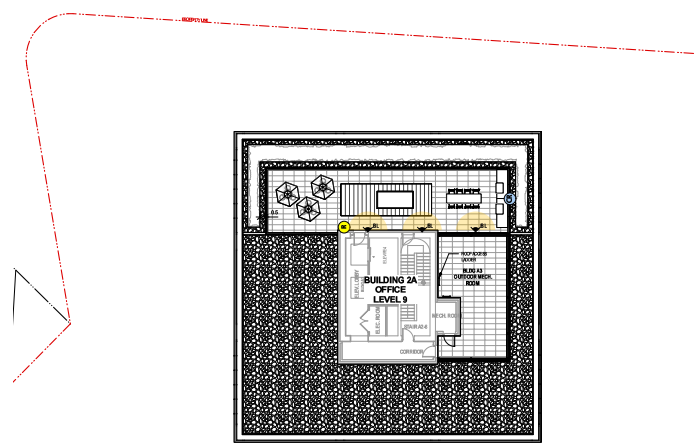
Drawing Title: Building 2A Level 3-4 and Building A2 Level 5 Lighting Plan

Project Manager: J.S.  
Checked by: J.M.

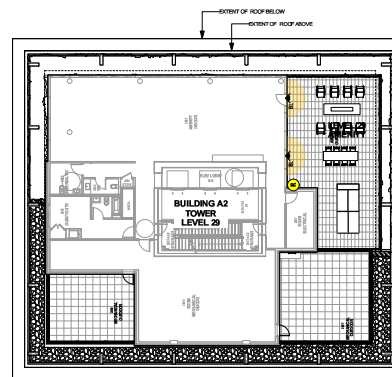
Scale: AS NOTED

Sheet No.:

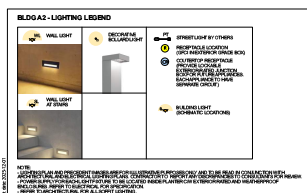
REV.	DESCRIPTION	DATE
1	Issue for Review with Owner	2023-10-06
2	Issue for RF of Response	2023-10-12
3	Issue for RF of Response	2023-10-21
4	Issue for RF of Response	2023-10-21
5	Issue for RF of Response	2023-10-21
6	Marking for Construction	2023-10-21



1 Building 2A - Office Level 9  
 Scale: 3/32" = 1'-0"



2 Building A2 - Tower Level 29  
 Scale: 3/32" = 1'-0"



See

CONTRACT REQUIRED  
 The drawings and specifications for this project are prepared by P+A and are intended to be used in accordance with the contract documents. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities.

Client:

**WESGROUP**

Project Site: Inlet District - Phase A  
 Building A1, A2, and A3

Drawing Title: Building 2A Office Level 9  
 and A2 Tower Level 29  
 Lighting Plan

Project Mgr: [Signature] JS  
 Designer: [Signature] JM  
 Scale: AS NOTED

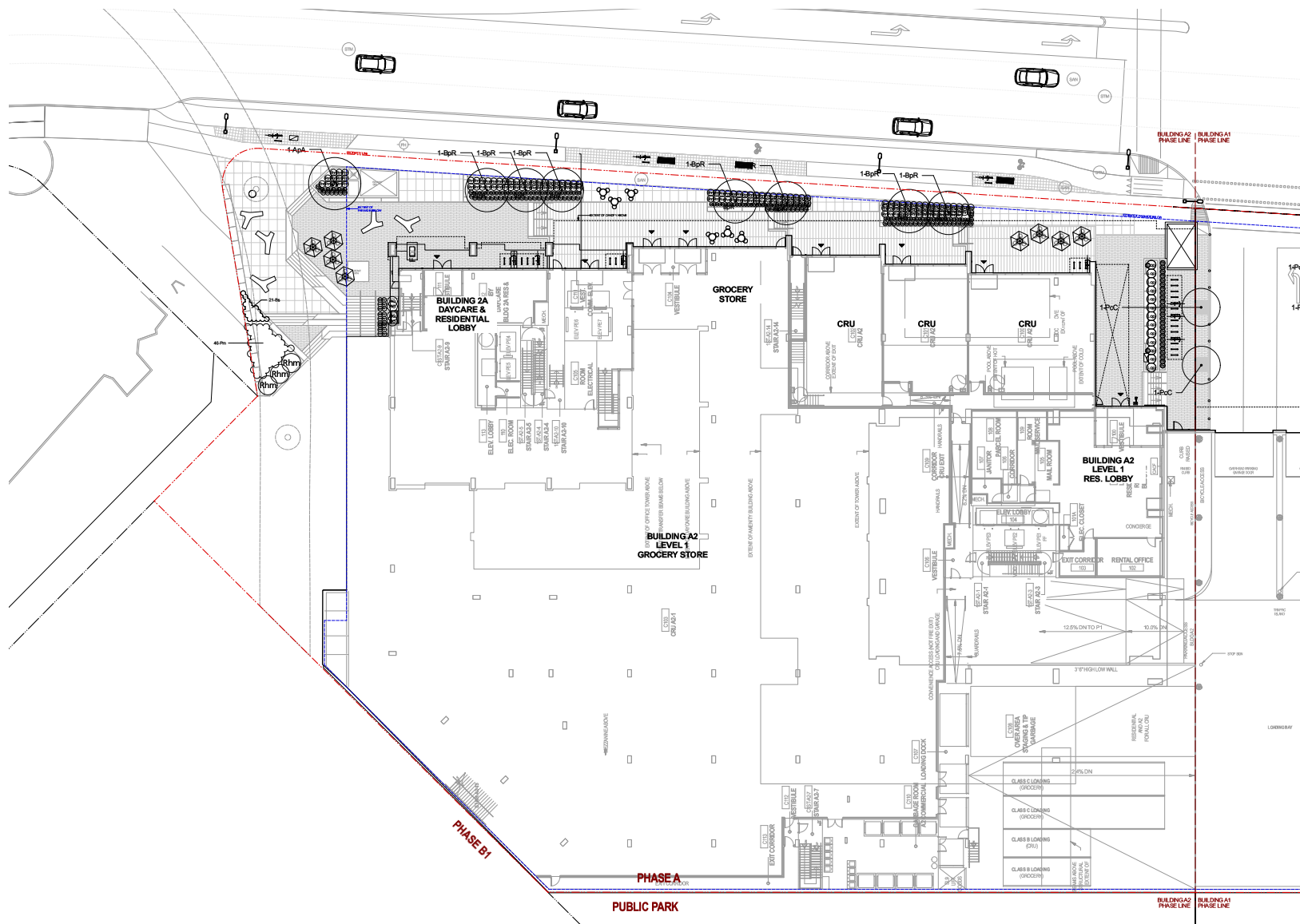
Sheet No. AS NOTED







Rev.	Description	Date
1	Issue for Review with Owner	2023-09-08
2	Issue for Review	2023-09-11
3	Issue for Review	2023-09-11
4	Issue for Review	2023-09-11
5	Issue for Review	2023-09-11
6	Issue for Review	2023-09-11



**General Planting Notes**

- Contractor is responsible to obtain and be familiar with the relevant project specifications.
- The contractor shall supply all plant materials shown on all drawings.
- All trees to be planted with a minimum 100-gallon tree to existing water main and water valves and other underground utilities. Refer to Office notes for Office trees.
- All plant materials shall be approved at the nursery by the project landscape architect.
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- The landscape contractor shall refer to the contract specifications for additional requirements.
- Planting to conform to all IBC/ANSI standards.
- Refer to Landscape Contractor for tree locations, tree protection fencing and root barrier. Office shall be responsible for root barrier at all off-site or utility areas where trees will be installed in close proximity to handpumps. Root barrier to be DeepRock to meet City standards. Provide cut sheet for approval.
- Contractor to ensure that planting beds be compacted to ensure no settlement in planting areas. Contractor will be responsible to top up law planters as needed.
- All tree substitutions to native species to suit planting palette. Any proposed substitution will require a minimum 6-weeks notice for review and approval.

**CONTRACT REVIEW**  
 This drawing is not for construction. It is for review only. It is the responsibility of the contractor to verify all dimensions and details against the contract documents. The contractor shall be responsible for any errors or omissions on this drawing. The contractor shall be responsible for any errors or omissions on this drawing.

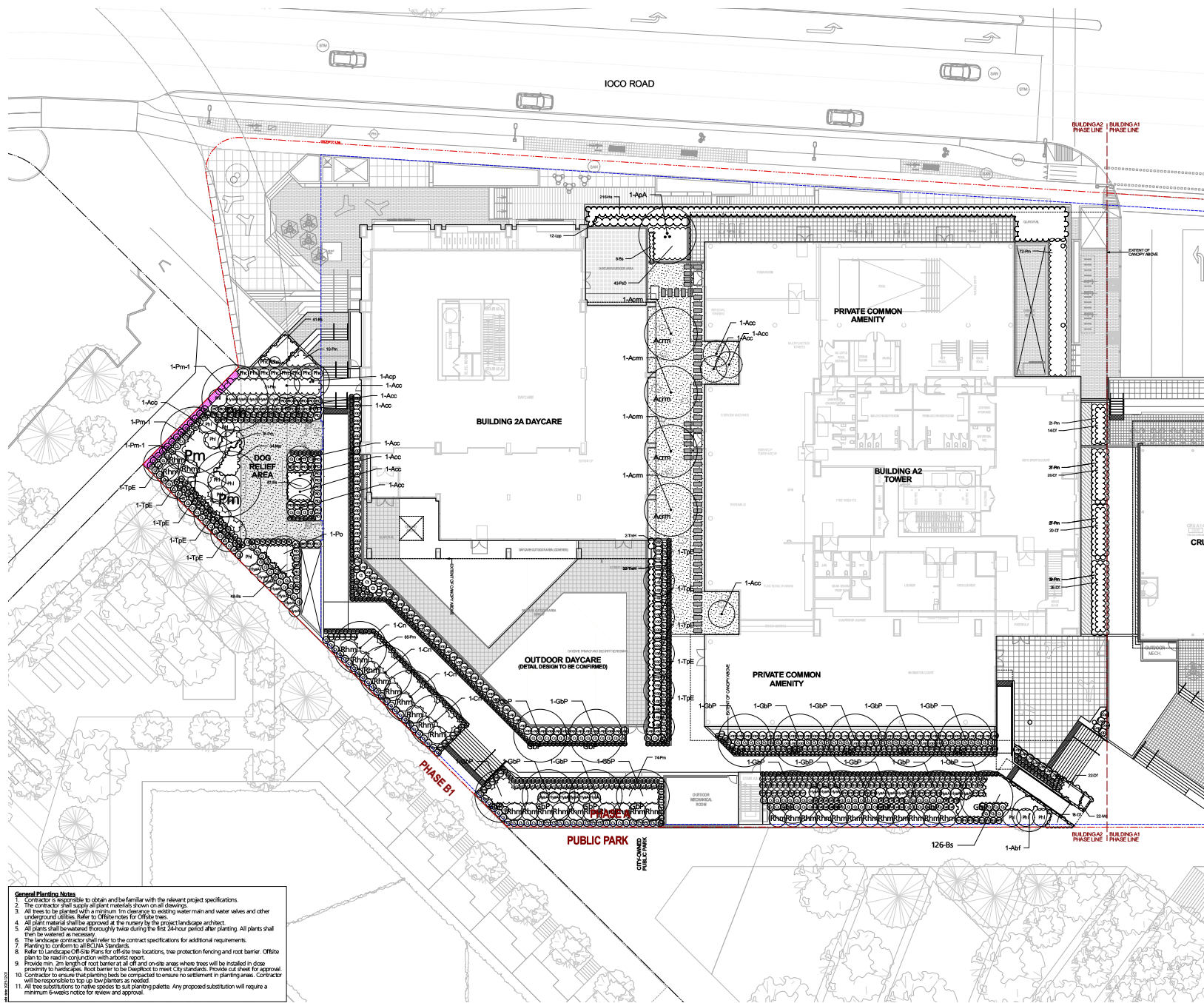
**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and A3

Drawing Title: Building A2 Level 1 Planting Plan

Project Manager: [Signature] County: JS  
 Checker: JM  
 Date: AS NOTED Job No. [Blank]

Rev.	Description	Date
1	Issue for Review	2023-10-06
2	Issue for Review	2023-10-12
3	Issue for Review	2023-10-21
4	Issue for Review	2023-10-21
5	Issue for Review	2023-10-21
6	Issue for Review	2023-10-21



**General Planting Notes**

- Contractor is responsible to obtain and be familiar with the relevant project specifications.
- The contractor shall supply all plant materials shown on all drawings.
- All trees to be planted with a minimum 100-gallon tree to existing water main and water valves and other underground utilities. Refer to Offsite notes for Offsite trees.
- All plant material shall be approved at the nursery by the project landscape architect.
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- The landscape contractor shall refer to the contract specifications for additional requirements.
- Planting to conform to all BCNA Standards.
- Refer to Landscape Section Plans for Offsite tree locations, tree protection fencing and root barrier. Offsite trees to be installed in conjunction with arborist report.
- Provide 100mm diameter root barrier at all off-site planting areas where trees will be installed in close proximity to foundations. Root barrier to be DeepFloor to meet City standards. Provide cut sheet for approval.
- Contractor to ensure that planting beds be compacted to ensure no settlement in planting areas. Contractor will be responsible to top up low planters as needed.
- All tree substitutions to these species to suit planting palette. Any proposed substitution will require a minimum 6-weeks notice for review and approval.

Scale

Client

Contractor

WESGROUP

Project Title

Inlet District - Phase A  
 Building A1, A2, and 2A

Drawn By

Building A2  
 Level 3 Planting Plan

Project Manager

City

Checkmark

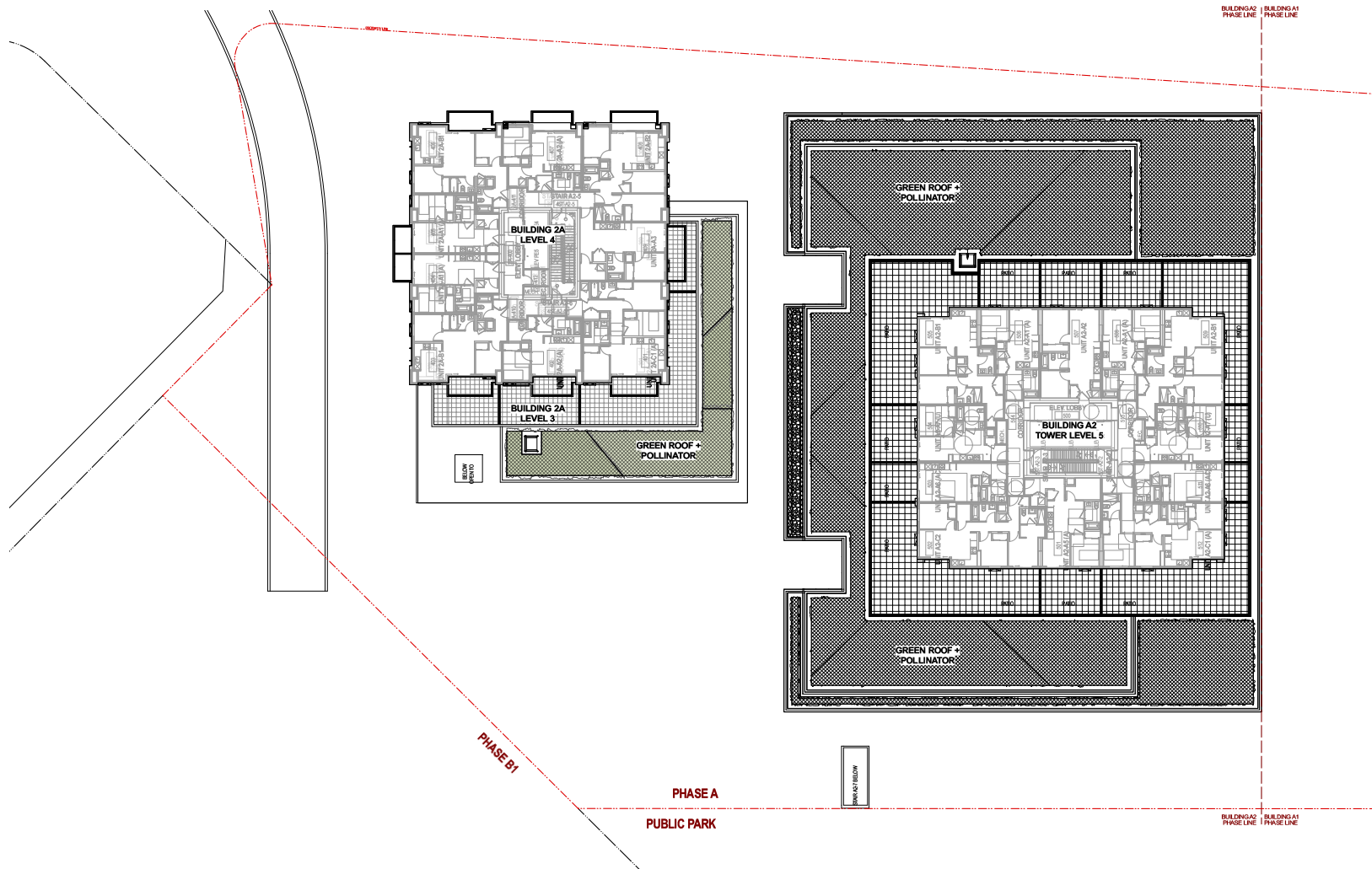
JM

Scale

AS NOTED

Sheet No.

1000 ROAD



NO.	DESCRIPTION	DATE
1	Issue of Permit	2023-01-14
2	Issue of Permit	2023-01-21
3	Issue of Permit	2023-02-01
4	Issue of Permit	2023-02-01
5	Issue of Permit	2023-02-01

**CONTRACT NOTES**  
 1. The drawings and specifications are the property of P+A. They are to be used only for the project for which they are prepared. No part of these drawings or specifications may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of P+A.  
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.  
 3. The contractor shall be responsible for ensuring that all work is completed in accordance with the drawings and specifications.  
 4. The contractor shall be responsible for ensuring that all work is completed within the specified time frame.  
 5. The contractor shall be responsible for ensuring that all work is completed to the satisfaction of the client.

**WESGROUP**  
 Project Site: Inlet District - Phase A Building A1, A2, and 2A  
 Drawing Title: Building 2A Level 3-4 and Building A2 Level 5 Planting Plan

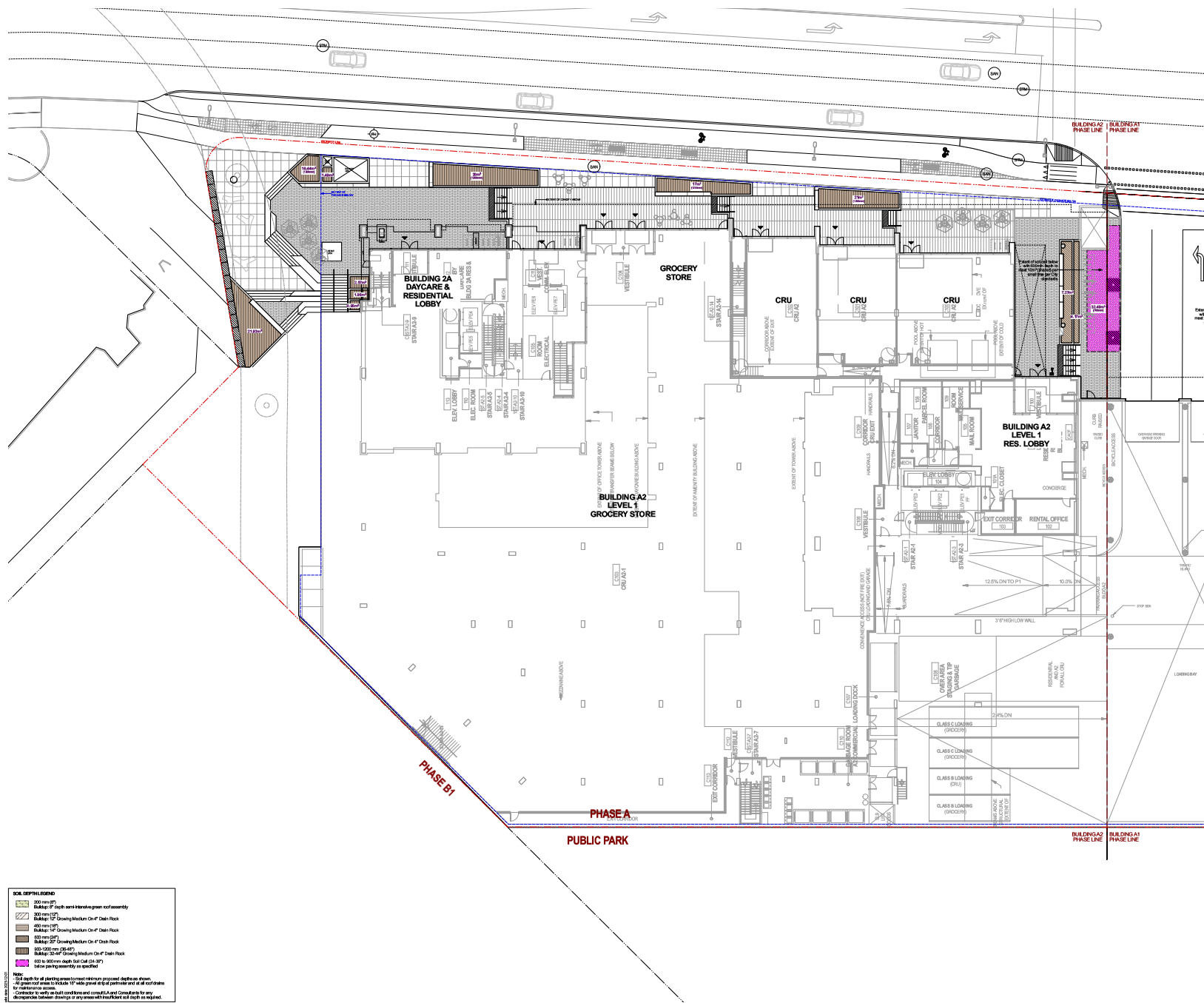
- General Planting Notes**
- Contractor is responsible to obtain and be familiar with the relevant project specifications.
  - The contractor shall supply all plant materials shown on all drawings.
  - All trees to be planted with a minimum 100mm diameter to existing water main and water valves and other underground utilities. Refer to Offsite notes for Offsite trees.
  - All plant material shall be approved at the nursery by the project landscape architect.
  - All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
  - The landscape contractor shall refer to the contract specifications for additional requirements.
  - Planting to conform to all BCNA Standards.
  - Refer to landscape architect for tree locations, tree protection fencing and root barrier. Offsite trees to be noted in conjunction with arborist report.
  - Provide tree protection root barrier at all off-site tree locations where trees will be installed in close proximity to hardscapes. Root barrier to be DeepRoot to meet City standards. Provide cut sheet for approval. Contractor to ensure that planting beds be compacted to ensure no settlement in planting areas. Contractor will be responsible to top up law planters as needed.
  - All tree substitutions to include species to suit planting palette. Any proposed substitution will require a minimum 6-weeks notice for review and approval.

**Green Roof Plant List - Building A2 | 5 & 2A | 3**

Botanical Name	Common Name	Notes
<i>Salix glauca</i>	Willow	
<i>Salix purpurea</i>	Willow	
<i>Salix viminalis</i>	Willow	
<i>Salix caprea</i>	Willow	
<i>Salix alba</i>	Willow	
<i>Salix pyramidalis</i>	Willow	
<i>Salix elaeagnifolia</i>	Willow	
<i>Salix purpurea</i>	Willow	
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<i>Salix purpurea</i>	Willow	
<i>Salix viminalis</i>	Willow	
<i>Salix caprea</i>	Willow	
<i>Salix alba</i>	Willow	
<i>Salix pyramidalis</i>	Willow	
<i>Salix elaeagnifolia</i>	Willow	
<i>Salix purpurea</i>	Willow	
<i>Salix viminalis</i>	Willow	
<i>Salix caprea</i>	Willow	
<i>Salix alba</i>	Willow	
<i>Salix pyramidalis</i>	Willow	
<i>Salix elaeagnifolia</i>	Willow	
<i>Salix purpurea</i>	Willow	
<i>Salix viminalis</i>	Willow	
<i>Salix caprea</i>	Willow	
<i>Salix alba</i>	Willow	
<i>Salix pyramidalis</i>	Willow	
<i>Salix elaeagnifolia</i>	Willow	
<i>Salix purpurea</i>	Willow	
<i>Salix viminalis</i>	Willow	
<i>Salix caprea</i>	Willow	
<i>Salix alba</i>	Willow	
<i>Salix pyramidalis</i>	Willow	
<i>Salix elaeagnifolia</i>	Willow	
<i>Salix purpurea</i>	Willow	
<i>Salix viminalis</i>	Willow	
<i>Salix caprea</i>	Willow	
<i>Salix alba</i>	Willow	
<i>Salix pyramidalis</i>	Willow	
<i>Salix elaeagnifolia</i>	Willow	</



Rev.	Description	Date
1	Issue for Review	2023.01.14
2	Issue for Review	2023.01.27
3	Issue for Review	2023.02.01
4	Issue for Approval	2023.02.07
5	Revised for Approval	2023.02.07



**SOIL DEPTH LEGEND**

- 20 inches (Light Green)
- 30 inches (Medium Green)
- 40 inches (Dark Green)
- 50 inches (Purple)

**Notes:**

- Soil depth for all parking spaces to meet minimum proposed depth on floor.
- All ground levels to be based on 1% slope ground slope per section and all locations.
- Consult with geotechnical engineer and consult with local and state agencies for any requirements.
- Coordinate with all other disciplines and consult with local and state agencies for any requirements.
- Minimum parking depth for all parking spaces to be based on 1% slope ground slope per section and all locations.
- Soil depth for all parking spaces to meet minimum proposed depth on floor.
- All ground levels to be based on 1% slope ground slope per section and all locations.
- Consult with geotechnical engineer and consult with local and state agencies for any requirements.
- Coordinate with all other disciplines and consult with local and state agencies for any requirements.

**CONTRACT NOTES**

1. All drawings are to be read in conjunction with the project of 1111 East Broadway, Suite 1000, Denver, Colorado. The drawings are the property of P+A and shall remain the property of P+A. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of P+A.

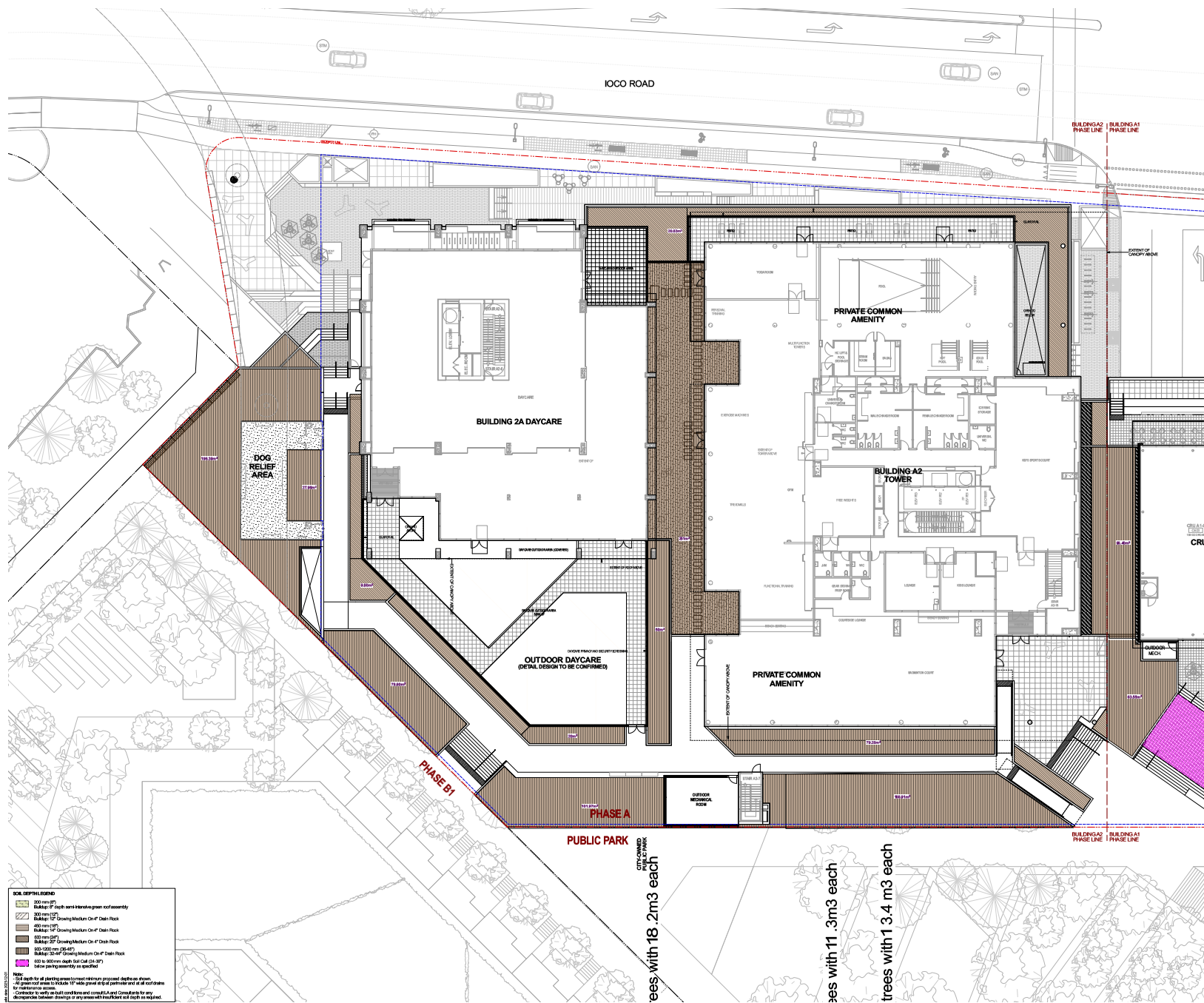
**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and A4

Drawing Title: Building A2 Level 1 Soil Depth Plan

Project No.: 1111 East Broadway  
 City: Denver, CO  
 State: CO  
 Date: 02/07/23  
 Scale: AS NOTED  
 Sheet No.: 1111-01

Rev.	Description	Date
1	Issue for Review	2023-01-10
2	Issue for Review	2023-01-21
3	Issue for Review	2023-02-01
4	Issue for Approval	2023-02-07
5	Approved for Construction	2023-02-07



**SOIL DEPTH LEGEND**

[Symbol]	30 cm depth
[Symbol]	60 cm depth
[Symbol]	90 cm depth
[Symbol]	120 cm depth
[Symbol]	150 cm depth
[Symbol]	180 cm depth
[Symbol]	210 cm depth
[Symbol]	240 cm depth
[Symbol]	270 cm depth
[Symbol]	300 cm depth
[Symbol]	330 cm depth
[Symbol]	360 cm depth
[Symbol]	390 cm depth
[Symbol]	420 cm depth
[Symbol]	450 cm depth
[Symbol]	480 cm depth
[Symbol]	510 cm depth
[Symbol]	540 cm depth
[Symbol]	570 cm depth
[Symbol]	600 cm depth
[Symbol]	630 cm depth
[Symbol]	660 cm depth
[Symbol]	690 cm depth
[Symbol]	720 cm depth
[Symbol]	750 cm depth
[Symbol]	780 cm depth
[Symbol]	810 cm depth
[Symbol]	840 cm depth
[Symbol]	870 cm depth
[Symbol]	900 cm depth
[Symbol]	930 cm depth
[Symbol]	960 cm depth
[Symbol]	990 cm depth
[Symbol]	1020 cm depth
[Symbol]	1050 cm depth
[Symbol]	1080 cm depth
[Symbol]	1110 cm depth
[Symbol]	1140 cm depth
[Symbol]	1170 cm depth
[Symbol]	1200 cm depth
[Symbol]	1230 cm depth
[Symbol]	1260 cm depth
[Symbol]	1290 cm depth
[Symbol]	1320 cm depth
[Symbol]	1350 cm depth
[Symbol]	1380 cm depth
[Symbol]	1410 cm depth
[Symbol]	1440 cm depth
[Symbol]	1470 cm depth
[Symbol]	1500 cm depth
[Symbol]	1530 cm depth
[Symbol]	1560 cm depth
[Symbol]	1590 cm depth
[Symbol]	1620 cm depth
[Symbol]	1650 cm depth
[Symbol]	1680 cm depth
[Symbol]	1710 cm depth
[Symbol]	1740 cm depth
[Symbol]	1770 cm depth
[Symbol]	1800 cm depth
[Symbol]	1830 cm depth
[Symbol]	1860 cm depth
[Symbol]	1890 cm depth
[Symbol]	1920 cm depth
[Symbol]	1950 cm depth
[Symbol]	1980 cm depth
[Symbol]	2010 cm depth
[Symbol]	2040 cm depth
[Symbol]	2070 cm depth
[Symbol]	2100 cm depth
[Symbol]	2130 cm depth
[Symbol]	2160 cm depth
[Symbol]	2190 cm depth
[Symbol]	2220 cm depth
[Symbol]	2250 cm depth
[Symbol]	2280 cm depth
[Symbol]	2310 cm depth
[Symbol]	2340 cm depth
[Symbol]	2370 cm depth
[Symbol]	2400 cm depth
[Symbol]	2430 cm depth
[Symbol]	2460 cm depth
[Symbol]	2490 cm depth
[Symbol]	2520 cm depth
[Symbol]	2550 cm depth
[Symbol]	2580 cm depth
[Symbol]	2610 cm depth
[Symbol]	2640 cm depth
[Symbol]	2670 cm depth
[Symbol]	2700 cm depth
[Symbol]	2730 cm depth
[Symbol]	2760 cm depth
[Symbol]	2790 cm depth
[Symbol]	2820 cm depth
[Symbol]	2850 cm depth
[Symbol]	2880 cm depth
[Symbol]	2910 cm depth
[Symbol]	2940 cm depth
[Symbol]	2970 cm depth
[Symbol]	3000 cm depth

**Notes:**  
 1. Soil depth for all parking areas to meet minimum proposed depth as shown.  
 2. All ground level areas to be made 15% wide gravel fill pavement at all locations.  
 3. Concrete to be used for all foundations and curbs. L&L and Consultants for any discrepancies between drawings or any issues with the work to be completed.

**CONTRACT REVIEW**  
 The drawings and specifications are prepared by P+A, Inc. and are subject to the terms and conditions of the contract. The client is responsible for the accuracy of the information provided and for the results of the construction. P+A, Inc. is not responsible for any errors or omissions in the drawings or specifications.

**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2, and 2A

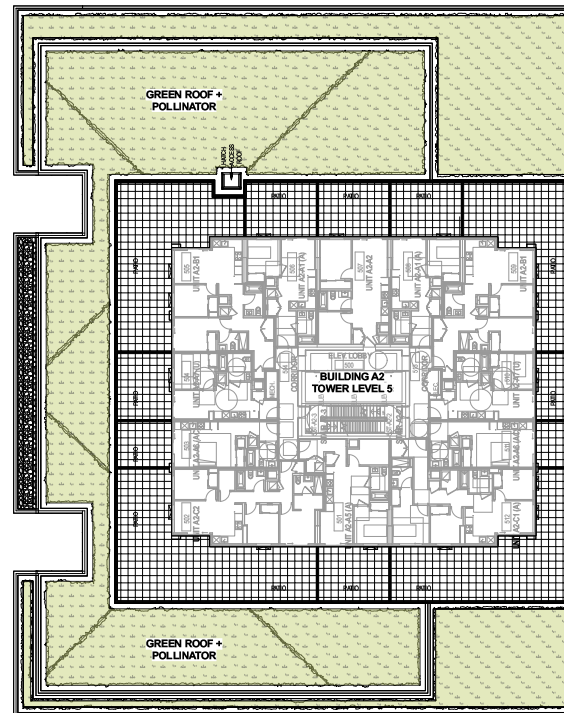
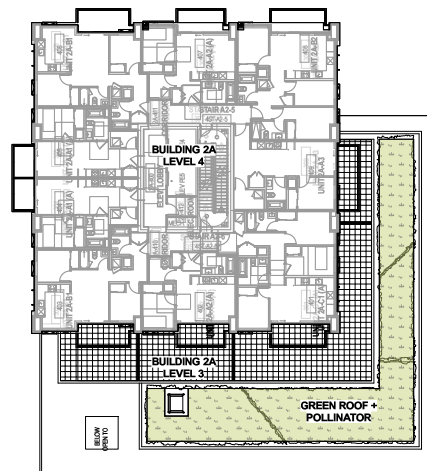
Drawing Title: Building A2 Level 3 Soil Depth Plan

Project No.: \_\_\_\_\_  
 City: \_\_\_\_\_  
 County: \_\_\_\_\_  
 State: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Scale: AS NOTED  
 Job No.: \_\_\_\_\_

Sheet No.: \_\_\_\_\_

1000 ROAD

BUILDING A2 PHASE LINE BUILDING A1 PHASE LINE



PHASE B1

PHASE A

PUBLIC PARK

BUILDING A2 PHASE LINE BUILDING A1 PHASE LINE

**SOIL DEPTH LEGEND**

[Symbol]	30' or less	30' or less
[Symbol]	30' to 35'	30' to 35'
[Symbol]	35' to 40'	35' to 40'
[Symbol]	40' to 45'	40' to 45'
[Symbol]	45' to 50'	45' to 50'
[Symbol]	50' or more	50' or more

**Notes:**  
 1. Soil depth for all existing and proposed structures shown. All ground level elevations are based on the datum shown on the site plan.  
 2. Consult with the local health department and all applicable regulatory agencies for any conditions and consult with the local health department for any conditions.  
 3. Soil depth may vary by location and shall be confirmed by a registered professional engineer or geotechnical engineer.

Rev.	Description	Date
1	Issued for Review	2023-01-18
2	Issued for Review	2023-01-21
3	Issued for Review	2023-01-21
4	Issued for Review	2023-01-21
5	Approved for Construction	2023-01-21

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**WESGROUP**

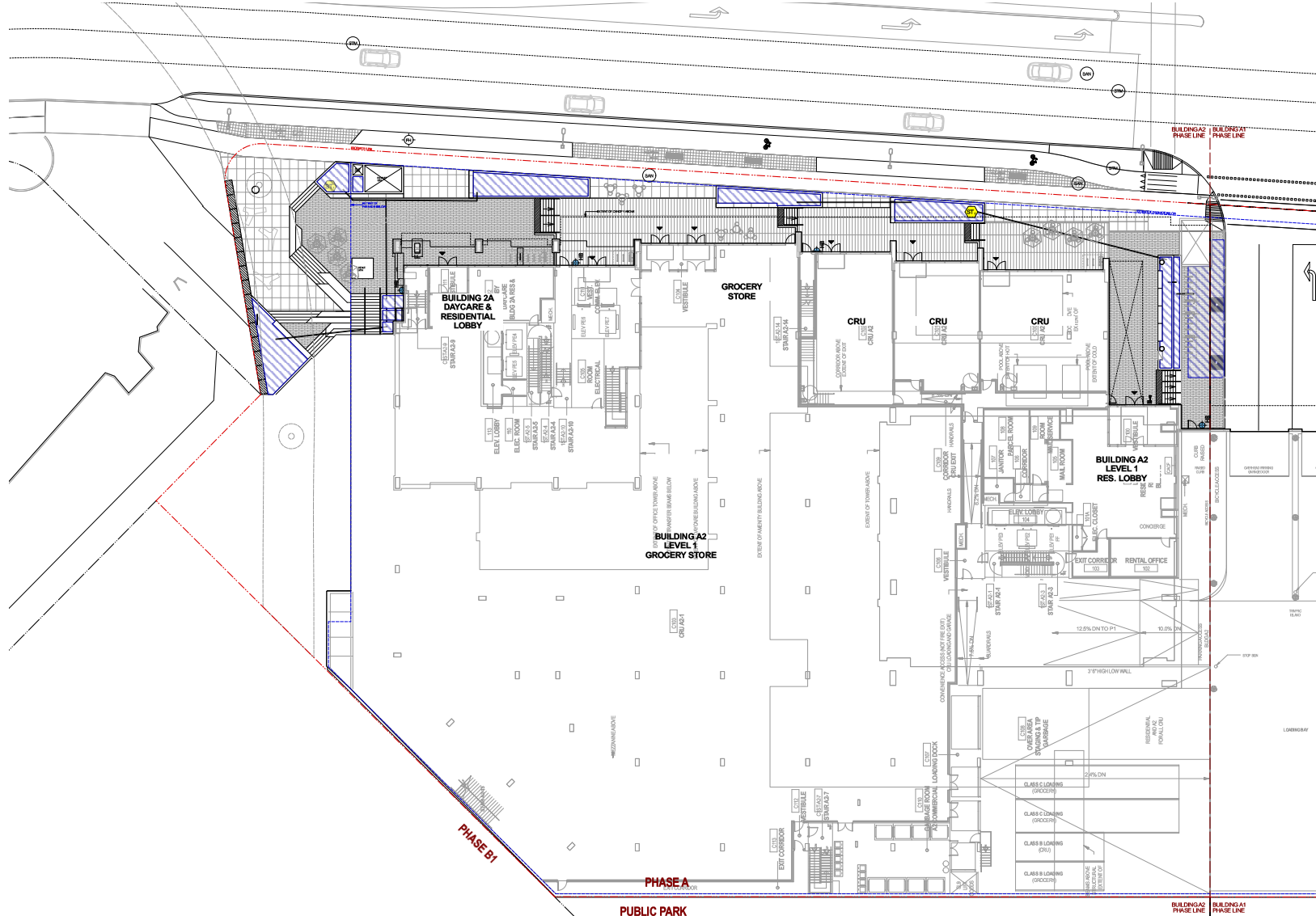
Project Site: Inlet District - Phase A Building A1, A2, and 2A

Drawing Title: Building 2A Level 3-4 and Building A2 Level 5 Soil Depth Plan

Project Manager	Designer	JS
Checker	Checkered By	JM
Scale	As Noted	
Sheet No.	As Noted	



Rev.	Description	Date
1	Issue for Review	2/20/24
2	Issue for Review	2/20/24
3	Issue for Review	2/20/24
4	Issue for Review	2/20/24
5	Approved for Construction	2/20/24



**IRRIGATION LEGEND**

- MAIN CONTROLLER
- IRRIGATION SOURCE
- RAIN-FREEZE SENSOR
- STURBOUT LOCATION
- LAWN ZONE
- SLEEVING
- HOSE/B LOCATION

**GENERAL NOTES**

- The irrigation contractor shall provide a complete and functioning design-build irrigation system to be installed in accordance with the requirements of the International Code Council (ICC) and the Pennsylvania Department of Environmental Protection (PA DEP).
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**MECHANICAL ELECTRICAL PLUMBING COORDINATION BY CRIBS**

- Provide backflow prevention, isolation valves, and blowout tee located in Mechanical room.
- Provide piping for backflow prevention, isolation valves, and blowout tee located in Mechanical room.
- Provide piping for backflow prevention, isolation valves, and blowout tee located in Mechanical room.
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**CONTRACT NOTES**

See drawings A1 and A2 for details of the project. All work shall be in accordance with the requirements of the International Code Council (ICC) and the Pennsylvania Department of Environmental Protection (PA DEP).

**WESGROUP**

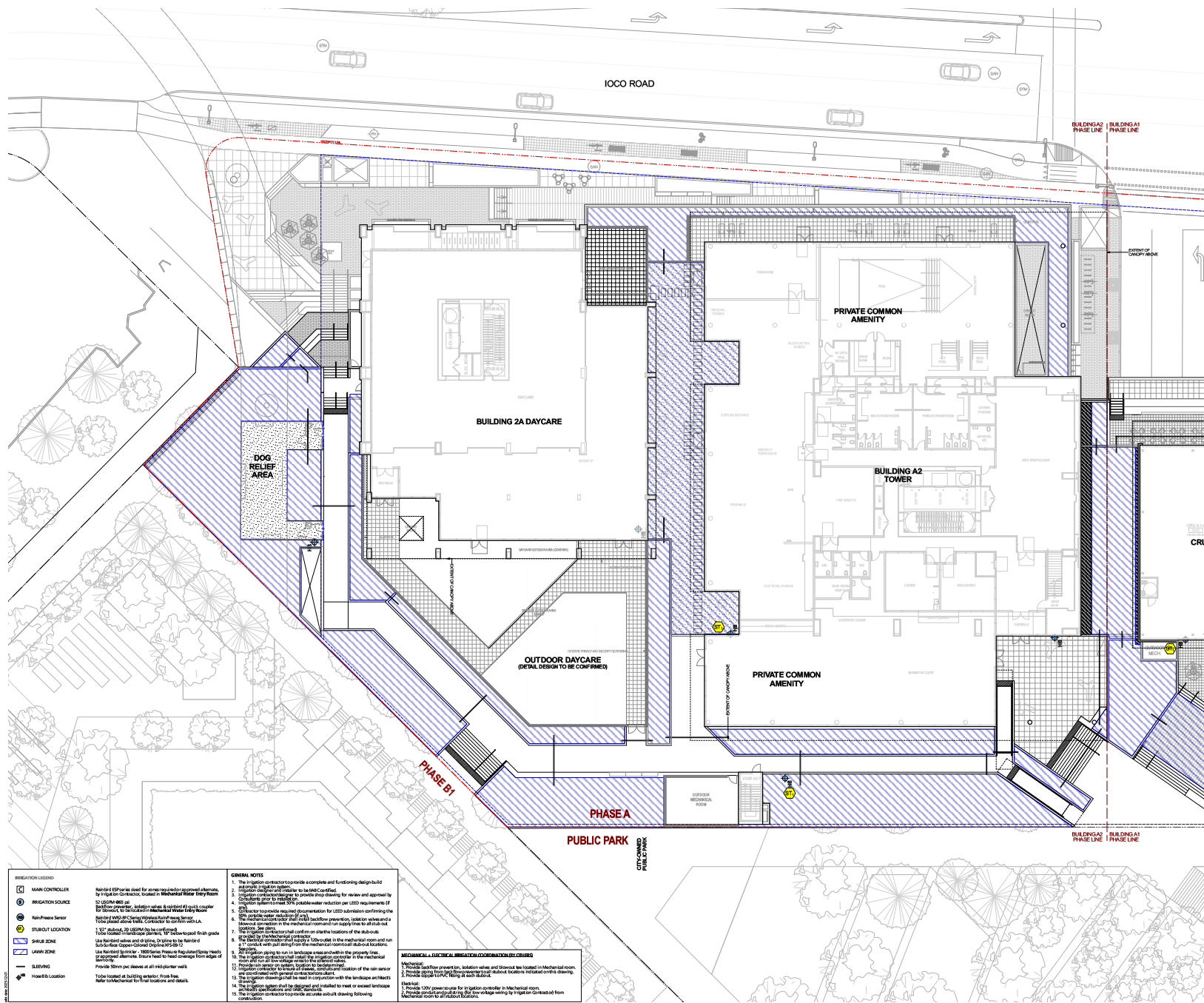
Project Title: Inlet District - Phase A Building A1, A2, and A2A

Drawing Title: Building A2 Level 1 Irrigation Plan

Project	City	State
Philadelphia	PA	PA

Scale: AS NOTED

Rev.	Description	Date
1	Issue for Review	2023-01-10
2	Issue for Review	2023-01-17
3	Issue for Review	2023-01-24
4	Issue for Review	2023-02-07
5	Revised for Approval	2023-02-07



**IRRIGATION LEGEND**

- MAIN CONTROLLER
- IRRIGATION SOURCE
- Rain-Phase Sensor
- SPrINKLER LOCATION
- SHRUB ZONE
- LAWN ZONE
- SLEEVING
- HOSE/B LOCATION

- GENERAL NOTES**
- The irrigation contractor shall provide a complete and functioning design/plan for the irrigation system to be installed.
  - The irrigation contractor shall provide a complete and functioning design/plan for the irrigation system to be installed.
  - The irrigation contractor shall provide a complete and functioning design/plan for the irrigation system to be installed.
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  - The irrigation contractor shall provide a complete and functioning design/plan for the irrigation system to be installed.

- MECHANICAL & ELECTRICAL IRRIGATION COORDINATION BY CRU**
- Provide backflow prevention, isolation valves, and blow-off located in Mechanical room.
  - Provide backflow prevention, isolation valves, and blow-off located in Mechanical room.
  - Provide backflow prevention, isolation valves, and blow-off located in Mechanical room.
  - Provide backflow prevention, isolation valves, and blow-off located in Mechanical room.
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  - Provide backflow prevention, isolation valves, and blow-off located in Mechanical room.

**CONTRACT NOTES**  
 The owner is not responsible for the accuracy of the information provided in this drawing. The contractor shall verify all information and conditions on site before beginning work. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for coordinating with all other trades and consultants. The contractor shall be responsible for maintaining accurate records of all work performed. The contractor shall be responsible for providing a complete and functioning system at the end of the project. The contractor shall be responsible for providing a complete and functioning system at the end of the project.

**WESGROUP**

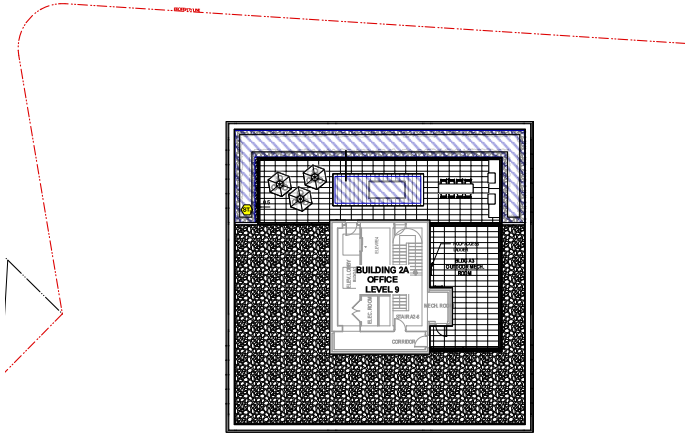
Project Title: Inlet District - Phase A Building A1, A2, and A2A

Drawing Title: Building A2 Level 3 Irrigation Plan

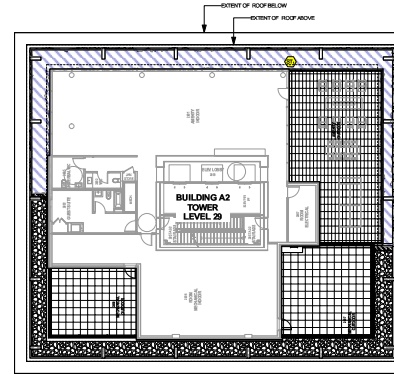
Project/Client	City/County	Scale
WESGROUP	Greenville, SC	AS NOTED



Rev.	Description	Date
1	Issued for Review	2023-01-10
2	Issued for Review	2023-01-17
3	Issued for Review	2023-01-21
4	Issued for Review	2023-01-27
5	Issued for Review	2023-01-31



1 Building 2A - Office Level 9  
 Scale: 3/32" = 1'-0"



2 Building A2 - Tower Level 29  
 Scale: 3/32" = 1'-0"

IRRIGATION LEGEND		GENERAL NOTES	
	Main Controller	1.	The Irrigation Contractor shall provide a complete and functioning design-built irrigation system (including all components) to be installed and approved by the Irrigation Contractor, located in Mechanical Water Entry Room.
	Irrigation Source	2.	The Irrigation Contractor shall provide a complete and functioning design-built irrigation system (including all components) to be installed and approved by the Irrigation Contractor, located in Mechanical Water Entry Room.
	Rain-Pressure Sensor	3.	The Irrigation Contractor shall provide a complete and functioning design-built irrigation system (including all components) to be installed and approved by the Irrigation Contractor, located in Mechanical Water Entry Room.
	SHUT-OFF LOCATION	4.	The Irrigation Contractor shall provide a complete and functioning design-built irrigation system (including all components) to be installed and approved by the Irrigation Contractor, located in Mechanical Water Entry Room.
	SLEEVING	5.	The Irrigation Contractor shall provide a complete and functioning design-built irrigation system (including all components) to be installed and approved by the Irrigation Contractor, located in Mechanical Water Entry Room.
	Water Location	6.	The Irrigation Contractor shall provide a complete and functioning design-built irrigation system (including all components) to be installed and approved by the Irrigation Contractor, located in Mechanical Water Entry Room.

CONTRACTOR REQUIRED TO REVIEW ALL AND PARTS OF THE PROJECT AT 112 EAST DOUGLAS, WASHINGTON, DC 20001, FOR THE PROJECT OF THE CITY OF WASHINGTON, DC, AND TO BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE IRRIGATION SYSTEM.

WESGROUP

Project Site: Inlet District - Phase A Building A1, A2, and A2A

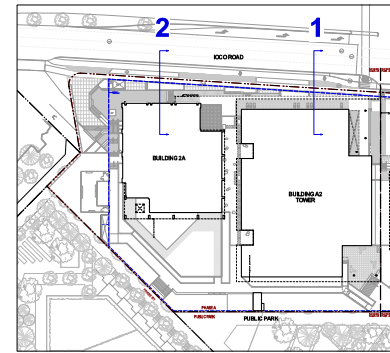
Drawing Title: Building 2A Office Level 9 and A2 Tower Level 29 Irrigation Plan

Project Manager: [Signature] Designer: [Signature]  
 Checker: [Signature] JM

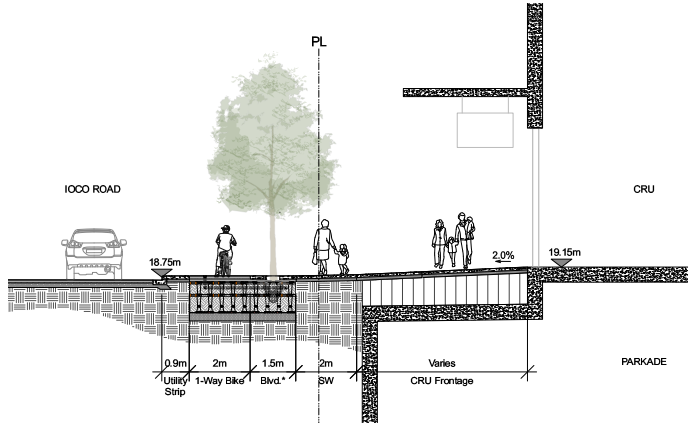
Scale: AS NOTED Job No. [Blank]

Sheet No. AS NOTED

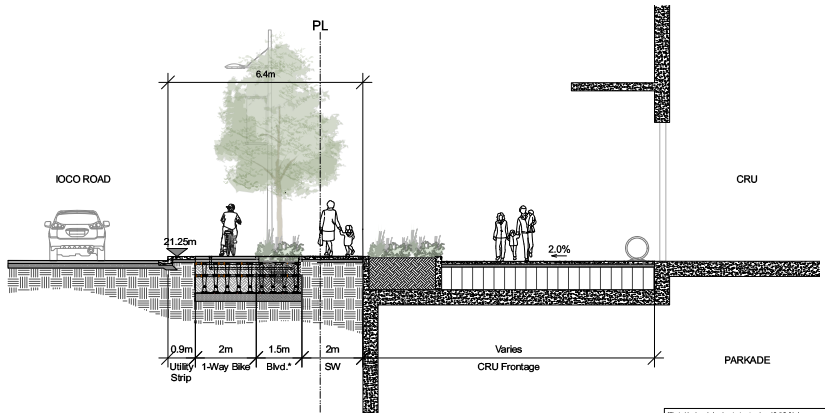
Rev.	Description	Date
1	Issued for Permits	2015-01-15
2	Issued for CRU	2015-01-15
3	Issued for Planning	2015-01-15
4	Issued for Development	2015-01-15
5	Revised Development	2015-01-15



SECTION KEY PLAN | 1:500



1 Section Through IODO Road Streetscape and Building A2 CRU c/w Paved Boulevard  
 Scale: 1:50



2 Section Through IODO Road Streetscape and Building 2A c/w Planted Boulevard  
 Scale: 1:50

Vertical Boulevard (w/ street) and CRU c/w Planted Boulevard (w/ street) are shown. The plan shows the location of the boulevard and CRU. The boulevard is shown with a 2.0% slope. The CRU is shown with a 2.0% slope. The boulevard is shown with a 2.0% slope. The CRU is shown with a 2.0% slope.

Seal of the City of Vancouver

CONSENT REQUIRED  
 The drawings and all other documents are the property of P+A. They are not to be used for any other project without the written consent of P+A. The drawings and all other documents are the property of P+A. They are not to be used for any other project without the written consent of P+A.

Client:

**WESGROUP**

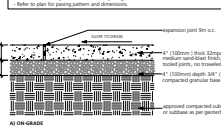
Project Site: Inlet District - Phase A Building A1, A2 and 2A

Drawing Title: Building A2 and 2A Illustrative Sections

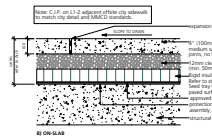
Project/Client	City of Vancouver
Drawn By	JS
Checked By	JM
Scale	As Shown
Sheet No.	23-055

No.	Description	Date
1	Issue for RFP	2024-01-17
2	Issue for RFP	2024-01-17
3	Issue for RFP	2024-01-17
4	Issue for RFP	2024-01-17

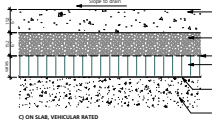
**Note:** Provide expansion joint against face of building and retaining walls, at 8' in c. Provide expansion joint at all concrete party walls at 8' in c. Refer to plan for location and dimensions.



A) ON-GRADE  
Scale: 1/4" = 1'-0"



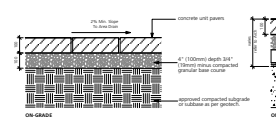
B) ON-SLAB  
Scale: 1/4" = 1'-0"



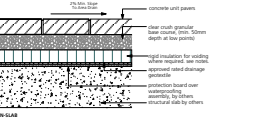
C) ON-SLAB, VISCOUS MATED  
Scale: 1/4" = 1'-0"

**Product:** Dowling 1500mm  
Reference: Dowling 1500 (1500 x 1500 x 4 x 4")  
**Material:** 1500 Series, Refer to RFI  
**Color:** Refer to RFI  
**Location:** Refer to RFI  
**Note:** RFI is required for working where required. Refer to RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.

**Product:** Bullfinch Concrete Products  
Reference: Bullfinch Concrete Products  
**Material:** Bullfinch Concrete Products  
**Color:** Refer to RFI  
**Location:** Refer to RFI  
**Note:** RFI is required for working where required. Refer to RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.

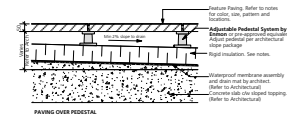


D) Linear Paving  
Scale: 1/4" = 1'-0"



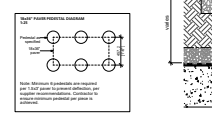
E) ON-SLAB  
Scale: 1/4" = 1'-0"

**Concrete Paving - Membrane/Viscous-Based Slabs**  
**Dimensions:** 1200 x 1200 (24" x 24" x 2") (Natural Light Gray)  
1200 x 1200 (24" x 24" x 2") (Natural Light Gray)  
1200 x 1200 (24" x 24" x 2") (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



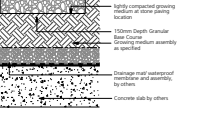
F) Membrane/Viscous-Based Slabs  
Scale: 1/4" = 1'-0"

**Concrete Stepping Pavers**  
**Product:** C.I.P. Concrete Stepping Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



G) Concrete Stepping Pavers  
Scale: 1/4" = 1'-0"

**Application of Retention Grid (or pre-approved equivalent)**  
**Product:** Retention Grid  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



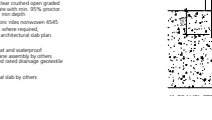
H) Retention Grid  
Scale: 1/4" = 1'-0"

**Application of Retention Grid (or pre-approved equivalent)**  
**Product:** Retention Grid  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.

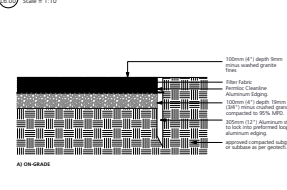


I) Rubber Surfacing  
Scale: 1/4" = 1'-0"

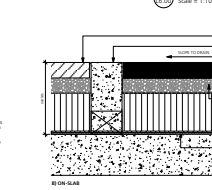
**Application of Retention Grid (or pre-approved equivalent)**  
**Product:** Retention Grid  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



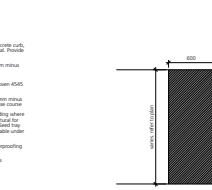
J) Geotextile  
Scale: 1/4" = 1'-0"



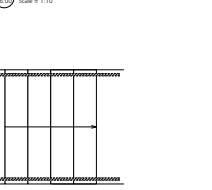
K) Hydrodraped Slab Paving  
Scale: 1/4" = 1'-0"



L) Concrete Stepping Pavers  
Scale: 1/4" = 1'-0"



M) Rubber Surfacing  
Scale: 1/4" = 1'-0"

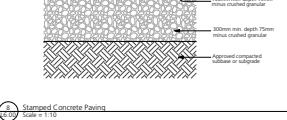


N) Geotextile  
Scale: 1/4" = 1'-0"



O) Geotextile  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



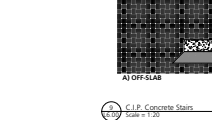
P) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



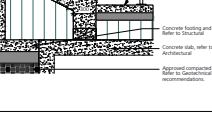
Q) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



R) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



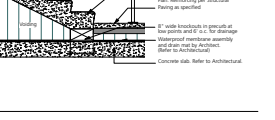
S) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



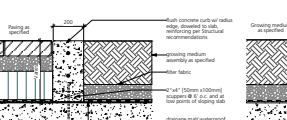
T) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



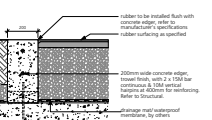
U) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



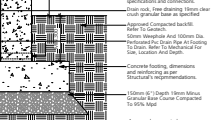
V) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



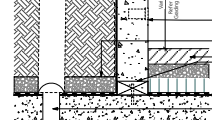
W) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



X) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



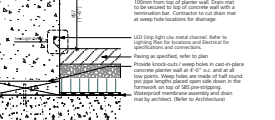
Y) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



Z) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**Stamped Concrete Pavers**  
**Product:** Stamped Concrete Pavers  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AA) Stamped Concrete Pavers  
Scale: 1/4" = 1'-0"

**C.I.P. Concrete Cub**  
**Product:** C.I.P. Concrete Cub  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AB) C.I.P. Concrete Cub  
Scale: 1/4" = 1'-0"

**C.I.P. Concrete Wall**  
**Product:** C.I.P. Concrete Wall  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AC) C.I.P. Concrete Wall  
Scale: 1/4" = 1'-0"

**C.I.P. Concrete Wall**  
**Product:** C.I.P. Concrete Wall  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AD) C.I.P. Concrete Wall  
Scale: 1/4" = 1'-0"

**C.I.P. Concrete Wall**  
**Product:** C.I.P. Concrete Wall  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AE) C.I.P. Concrete Wall  
Scale: 1/4" = 1'-0"

**C.I.P. Concrete Wall**  
**Product:** C.I.P. Concrete Wall  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AF) C.I.P. Concrete Wall  
Scale: 1/4" = 1'-0"

**C.I.P. Concrete Wall**  
**Product:** C.I.P. Concrete Wall  
**Dimensions:** 12" x 12" x 1.5" (Natural Light Gray)  
**Reference:** Refer to plan  
**Note:** RFI is required for working where required. Refer to structural for loading requirements. See RFI and RFI for material and color. Refer to RFI for finish and texture. Refer to RFI for installation details.



AG) C.I.P. Concrete Wall  
Scale: 1/4" = 1'-0"



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**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2 and 2A

Drawing Title: Landscape Details

Project No: 15  
Checked by: JM  
Date: 23-05-2024

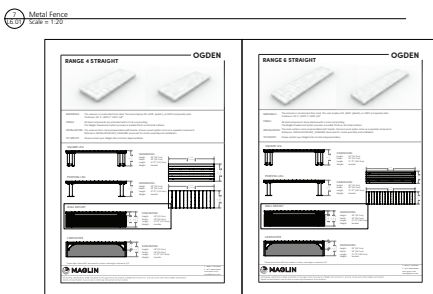
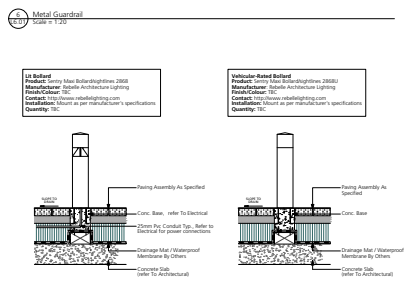
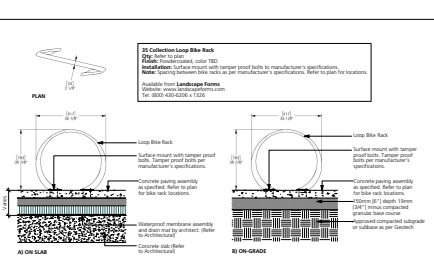
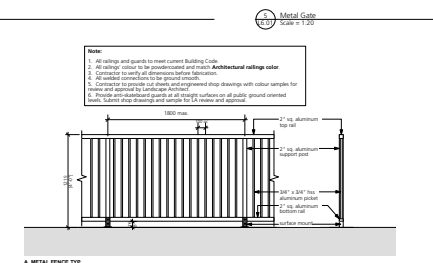
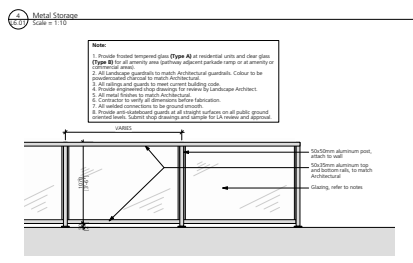
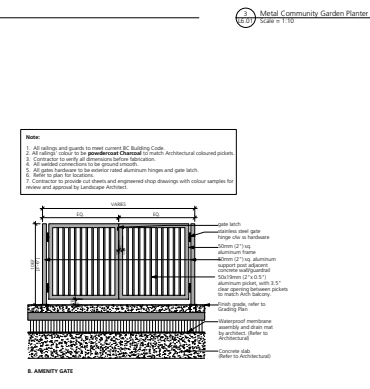
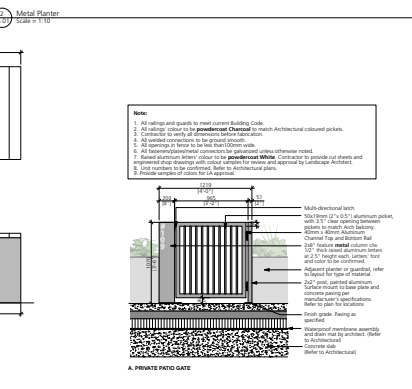
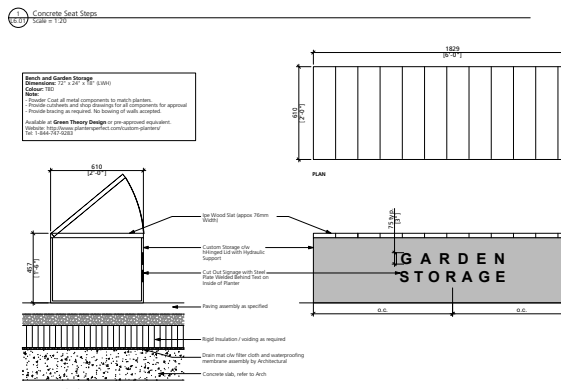
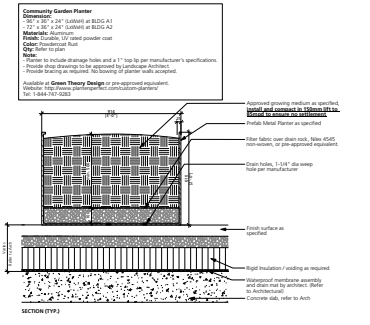
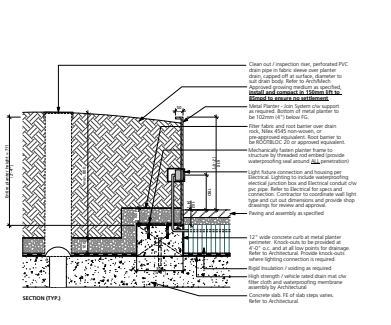
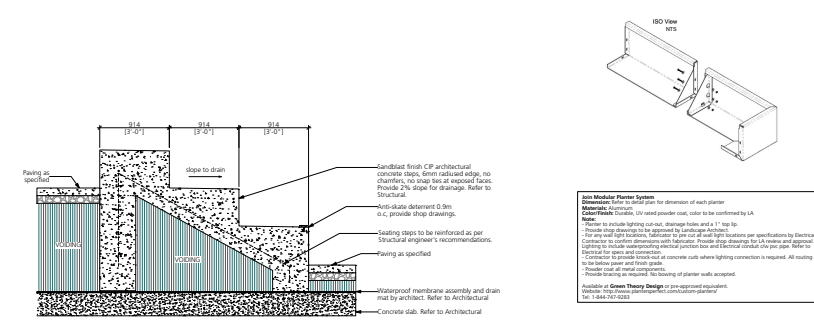
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L6.00



Part 4 - Accessories  
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Site Planning  
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pandora@p+a.ca

Rev.	Description	Date
1	Issued for Review	2024-11-14
2	Issued for Review	2024-11-21
3	Issued for Review	2024-11-28
4	Revised for Construction	2024-12-01



CPA REGISTRATION  
CPA REGISTRATION  
CPA REGISTRATION  
CPA REGISTRATION

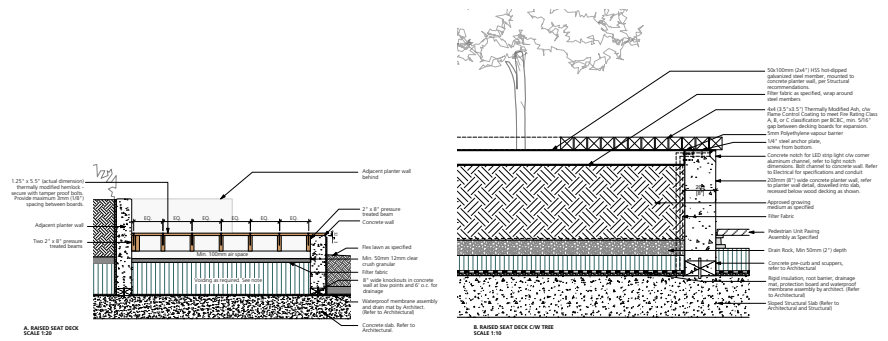


Project Title: Inlet District - Phase A Building A1, A2 and A3  
Drawing Title: Landscape Details  
Project No.: 15  
Checked By: JM  
Scale: As Shown  
Date: 23-03

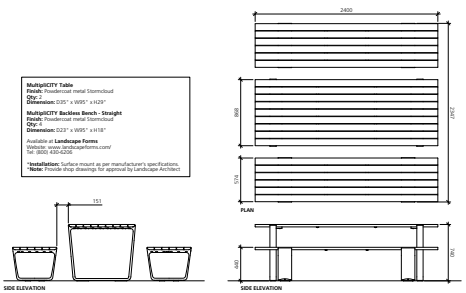


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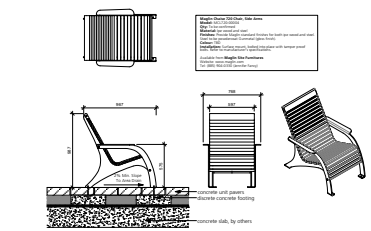
Rev.	Description	Date
1	Issue for Review	2020-01-17
2	Issue for Review	2020-01-21
3	Issue for Review	2020-01-28
4	Issue for Review	2020-01-28



1.10 Raised Wood Deck  
 Scale = As Shown



1.11 Harvest Table  
 Scale = 1/4\"/>



1.12 Loungers  
 Scale = 1/4\"/>



1.13 Slant Angled Bench by Sanderson Concrete  
 Qty: 2

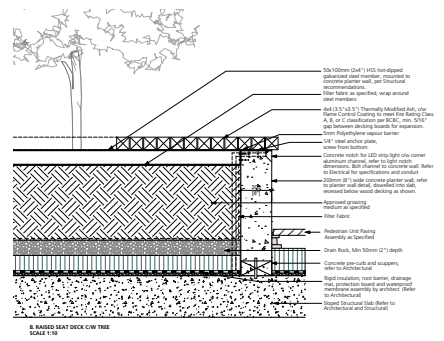


1.14 Flat-topped Bench by Sanderson Concrete  
 Qty: 4



1.15 Sculptural Log Bench from (Please Existing Trees to be Removed)  
 Qty: 2

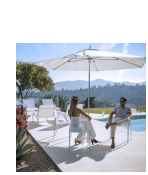
1.16 Feature Seating - Building A1  
 Scale = As Shown



1.17 Raised Seat Deck  
 Scale = 1/4\"/>

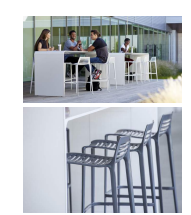


1.18 MOVABLE TABLE AND CHAIRS  
 Scale = 1/4\"/>



1.19 Mission Patio Umbrella  
 Model: 1000 Series - 10' Mission  
 Qty: 10  
 Available at Landscape Forms  
 1000 Series - 10' Mission  
 Qty: 10  
 Available at Landscape Forms  
 1000 Series - 10' Mission  
 Qty: 10

1.20 Movable Table and Chairs  
 Scale = 1/4\"/>



1.21 Bar Table and Stools  
 Scale = 1/4\"/>



1.22 Lounge Furniture  
 Scale = 1/4\"/>



1.23 Play Equipment  
 Scale = 1/4\"/>

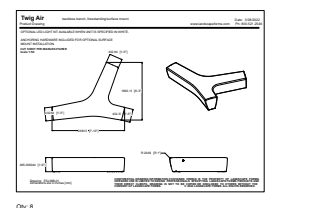


1.24 Outdoor Flexlike Countertop  
 Scale = 1/4\"/>

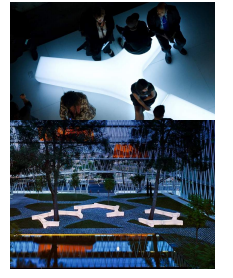


1.25 Outdoor Flexlike Countertop  
 Scale = 1/4\"/>

1.26 Feature Seating - Building A2  
 Scale = As Shown



1.27 Wing Air  
 Scale = 1/4\"/>



1.28 Feature Seating - Building A2  
 Scale = As Shown



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**WESGROUP**

Project Title: Inlet District - Phase A Building A1, A2 and A3

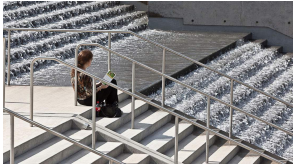
Drawing Title: Landscape Details

Project No: 15  
 Drawn By: JS  
 Checked By: JM  
 Date: 2.3.2020

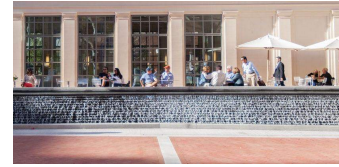
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L6.02

No.	Description	Date
1	Issue for RF Approval	2025-01-17
2	Issue for RF Approval	2025-01-17
3	Issue for RF Approval	2025-01-17
4	Revised for RF Approval	2025-01-17



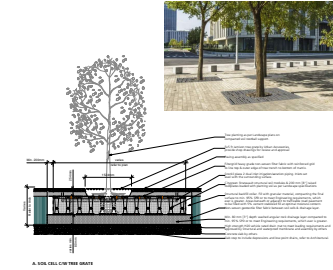
Water Feature - Central Stairs  
Scale = 1/8" = 1'-0"



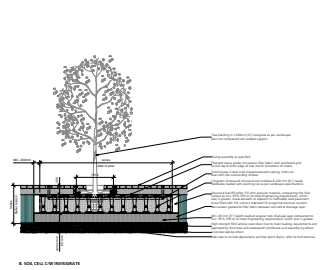
Water Feature - Level 4 Plaza  
Scale = 1/8" = 1'-0"



Entrance - Residential Entry  
Scale = 1/8" = 1'-0"



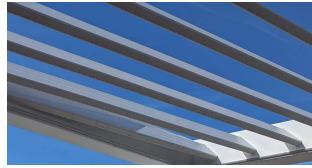
A. 100' DIA. LOW TREE SPECIES  
Scale = 1/8" = 1'-0"



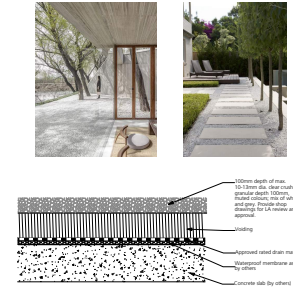
B. 100' DIA. LOW TREE SPECIES  
Scale = 1/8" = 1'-0"



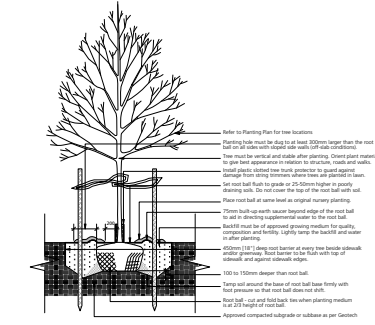
Weather Protected Canopy - Level 4 Plaza  
Scale = 1/8" = 1'-0"



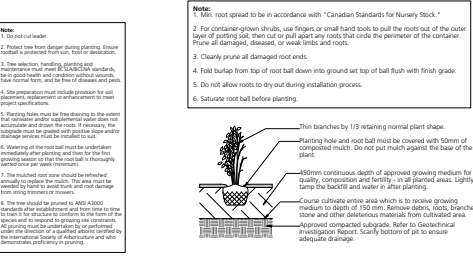
Weather Protected Canopy - Podium  
Scale = 1/8" = 1'-0"



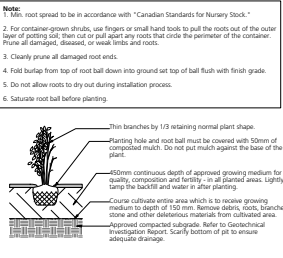
Rock Garden  
Scale = 1/8" = 1'-0"



Tree Planting  
Scale = 1/8" = 1'-0"



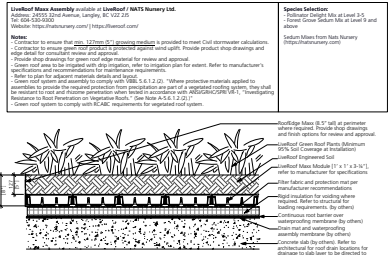
Shrub Planting  
Scale = 1/8" = 1'-0"



Sodded Lawn  
Scale = 1/8" = 1'-0"

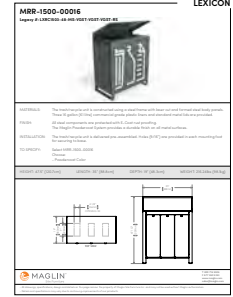


Green Roof  
Scale = 1/8" = 1'-0"



Green Roof  
Scale = 1/8" = 1'-0"

Waste Collection at Dog Relief Area - Dog Bag Dispenser and Waste Bin  
Scale = 1/8" = 1'-0"



Waste Collection at Street Frontage - Garbage and Recycling Bin  
Scale = 1/8" = 1'-0"



Waste Collection at Park Frontage - Double Bear Resistant Bins  
Scale = 1/8" = 1'-0"

Stamp: [Professional Engineer Stamp]

Project Title: Inlet District - Phase A Building A1, A2 and 2A

Drawing Title: Landscape Details

Project No: [Blank]

Sheet No: [Blank]

Scale: As Shown

Date: 23-03-2025

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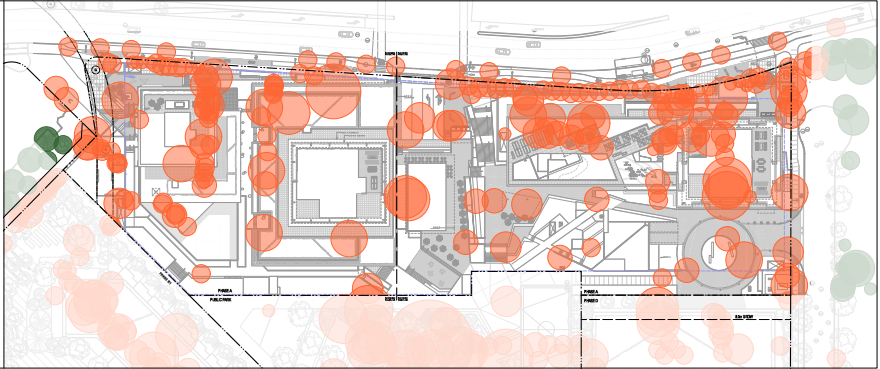
16.03

No.	Description	Date
1	Issue for Review	2024/01/10
2	Revised for CP	2024/01/17
3	Revised for CP	2024/02/01
4	Revised for CP	2024/02/01

**Phase A - Existing Canopy Coverage**

- Canopy to be Retained
- Canopy to be Removed

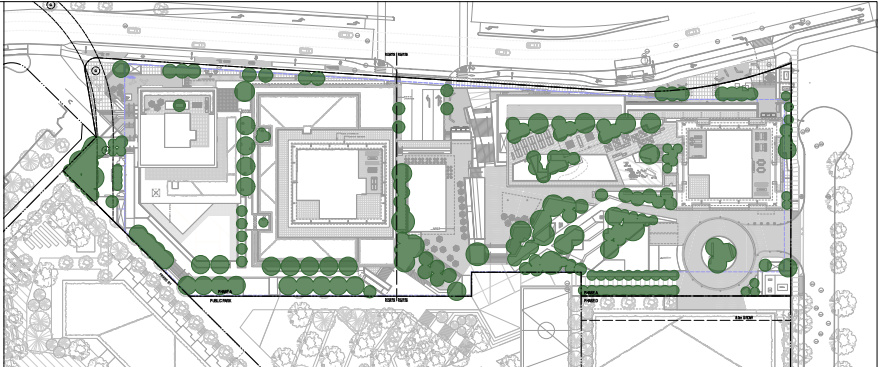
Note:  
 - Phase A total area: 1.59 ha  
 - Total Existing Canopy Coverage Before Development (2023): 0.65 ha (40%)  
 - Total Removed Canopy: 0.65 ha (40%)  
 - Existing canopy coverage is taken from Arborist Report provided by Froggers Creek Tree Consultants Ltd., dated September 18, 2024. Refer to arborist report for additional information and tree assessment.



**Phase A - Proposed Onsite Canopy Coverage**

- Proposed Onsite Canopy

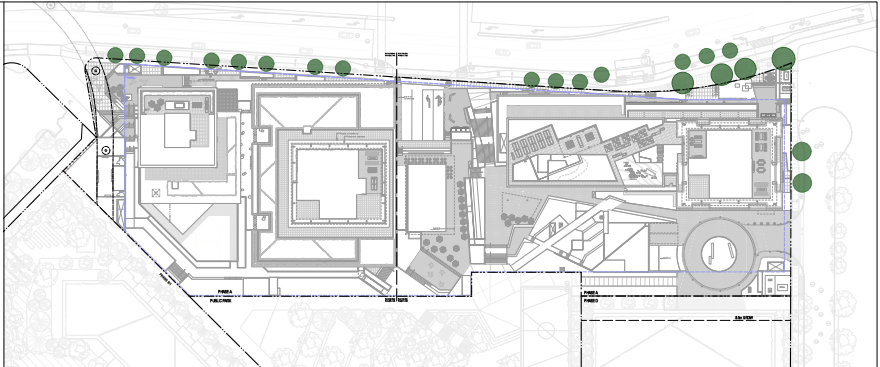
Note:  
 - Total Proposed Onsite Canopy Coverage: 0.32 ha (20%)



**Phase A - Proposed Offsite Canopy Coverage**

- Proposed Offsite Canopy

Note:  
 - Total Proposed Offsite Canopy Coverage: 0.051 ha (3.2%)



See

**CONSENT REQUIRED**  
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Client:

**WESGROUP**

Project Site:  
 Inlet District - Phase A  
 Building A1, A2, and 2A

Drawing Title:  
 Canopy Analysis

Project/Client:  
 City of Inlet

Scale:  
 1:500

Sheet No.: