

ZONING ANALYSIS		
ZONE	RS1	
CIVIC ADDRESS	354 IOCO RD. PORT MOODY, B.C.	
LEGAL DESCRIPTION	LOT 78 DISTRICT LOT 347 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 62126	
LOT AREA (m ²)	558.12	
	PROPOSED	PERMITTED
GARAGE FLOOR AREA (m ²)	46	46
BASEMENT FLOOR AREA (m ²)	85.66	X
MAIN FLOOR AREA (m ²)	97.9	X
UPPER FLOOR AREA (m ²)	95.5	X
GROSS FLOOR AREA (m ²)	279.06	279.06
FLOOR SPACE RATIO	0.5	0.5
LOT COVERAGE	26.5%	40%
SETBACKS - PRINCIPAL BUILDING		
	PROPOSED (m)	PERMITTED (m)
FRONT	7.03	6.0
REAR	4.94	7.5
SIDE (INT)	1.92	1.5
SIDE (INT)	5.54	1.5
BUILDING HEIGHTS		
	PROPOSED (m)	PERMITTED (m)
PRINCIPAL BUILDING	9.14	10.5

Average grade (all building corners)
Average grade = 17.0m

Existing main floor elevation - 18.96
Existing basement elevation - 16.31

PROJECT #: 2159		SCALE: 1/4" = 1' UNO.	
DATE: 2024-03-29		DATE: 2024-03-29	
DESIGNER: K. SIMCOES		DESIGNER: K. SIMCOES	
TECHNICIAN: L. MCKINLAY		TECHNICIAN: L. MCKINLAY	
11500 PAULINE ST ABSETOFTS, BC PH: 604-862-2868 FAX: 604-862-2861 WWW.STREAMLINEDESIGN.CA			
REVISIONS		DESCRIPTION	
#	DATE	#	DATE
1		1	
2		2	

COMPLETE SET OF PLANS TO BE ENGINEERED

1 OF 10



EXISTING FRONT ELEVATION



NEW FRONT ELEVATION



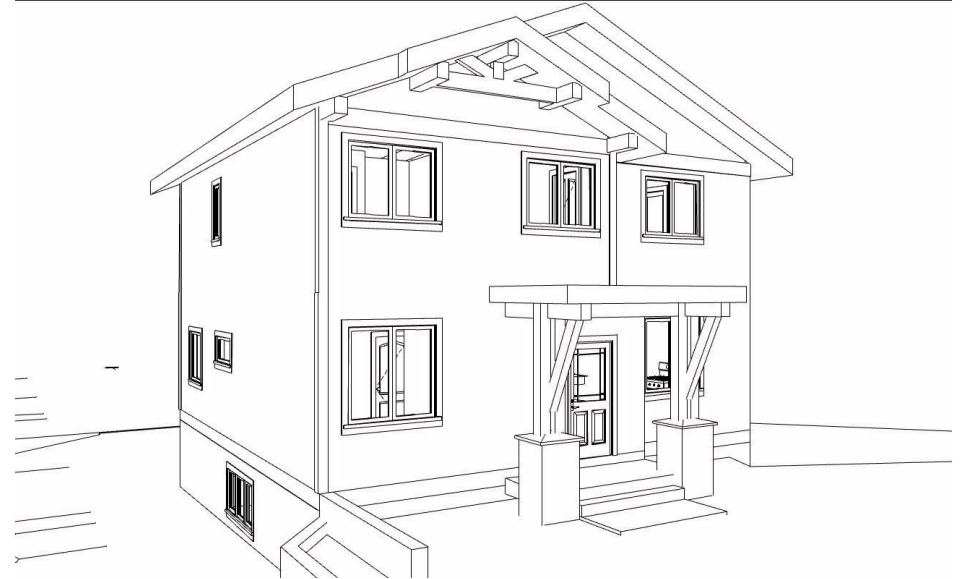
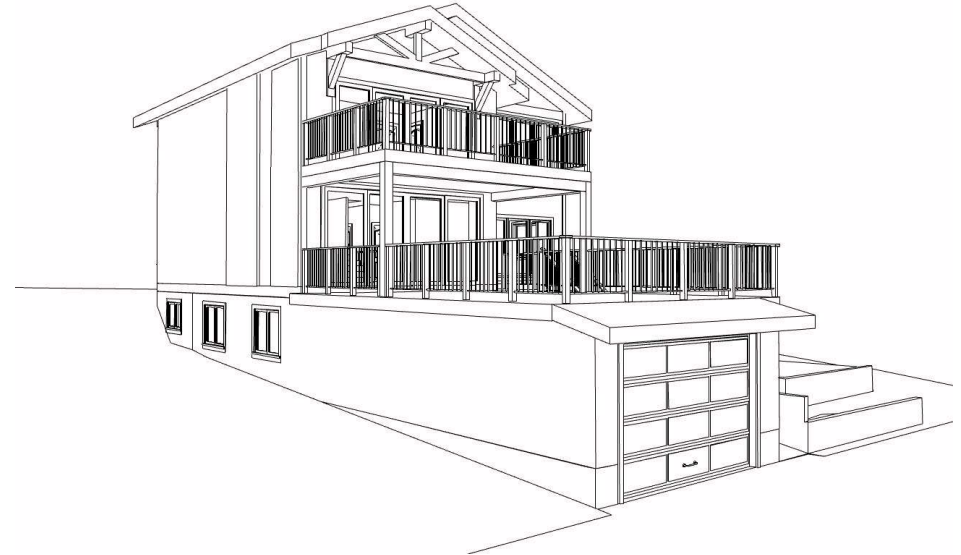
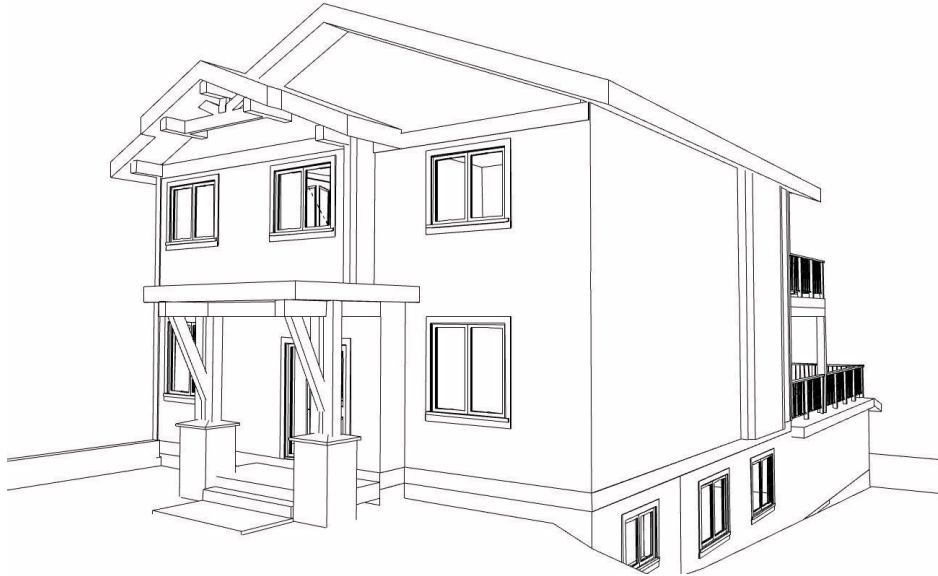
NEW REAR ELEVATION



EXISTING REAR ELEVATION

PROJECT #:		2159
SCALE:		1/4" = 1' U.N.O.
DATE:		2024-02-29
DESIGNER:		K. SIMCOES
TECHNICIAN:		L. MCKINLAY
DRAWING TITLE:		Existing Photos & New Renderings
SHEET:		2 OF 10
PROJECT:		1452699 PAULINE ST ASBESTOS CHECK PH: 604-862-2868 FAX: 604-861-2891 WWW.STREAMLINEDESIGN.CA
REVISIONS:		
#	DATE	DESCRIPTION
1		
2		
3		
COMPLETE SET OF PLANS TO BE ENGINEERED		





COMPLETE SET OF PLANS TO BE ENGINEERED	
#	DATE
1	
2	
3	

REVISIONS DESCRIPTION

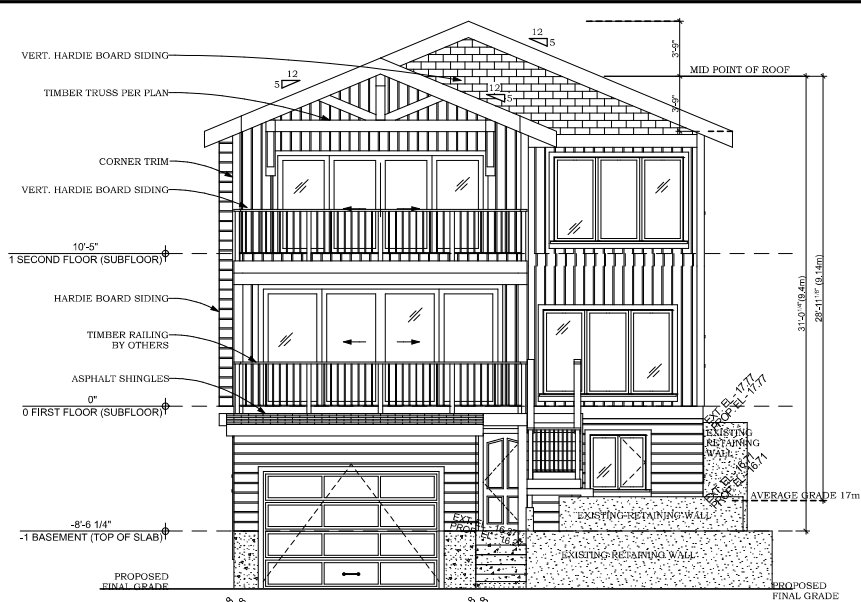
PROJECT # 2159
 SCALE 1/4" = 1' U.N.O.
 DATE 2024-10-29
 DESIGNER K. SIMCOE
 TECHNICIAN L. MCKINLAY

115069 PAULINE ST
 ABBOTSFORD BC
 PH: 604-864-2866 FAX: 604-864-2861
 WWW.STREAMLINEDESIGN.CA

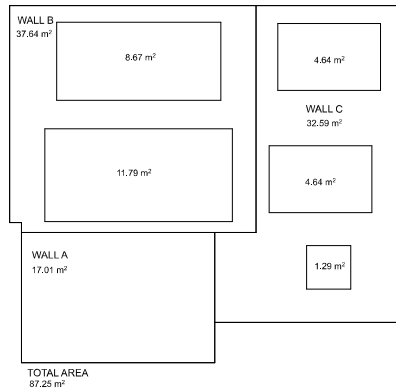
Streamline
 DESIGN LLC.

David Norris
 354 000 RD., B.C. V3H 2V7
 PORT MOODY, B.C.

DRAWING TITLE: Hidden Line Drawings
 SHEET
 3 OF 10

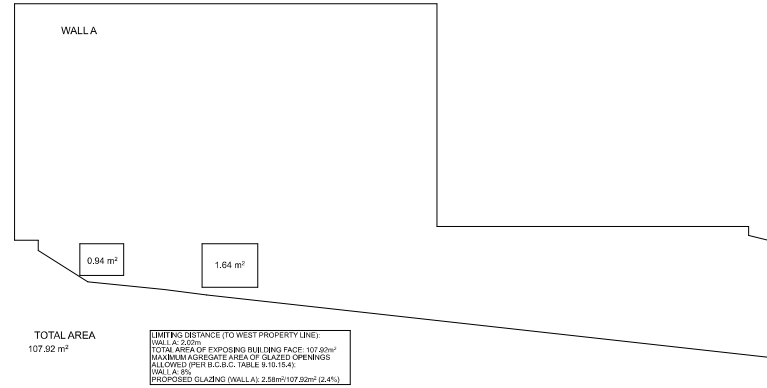
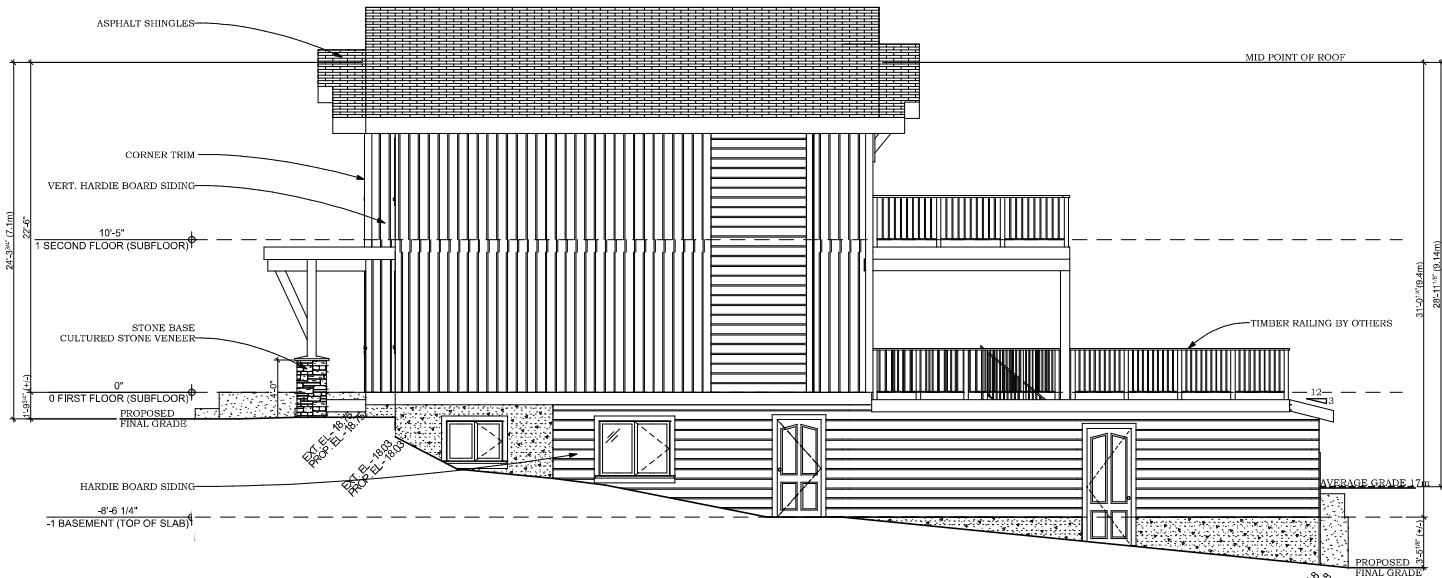


SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



LIMITING DISTANCE (TO SOUTH PROPERTY LINE):
WALL A: 4.25m
WALL B: 13.83m
WALL C: 13.91m
TOTAL AREA OF EXPOSING SUB FING FACE: 87.25m²
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS ALLOWED PER B.C.C. TABLE 9.10.15(A):
WALL A: 15%
WALL B: 100%
WALL C: 100%
PROPOSED GLAZING (WALL A): 0.00m² (17.28m² (20%))
PROPOSED GLAZING (WALL B): 20.46m² (73.8m² (84.4%))
PROPOSED GLAZING (WALL C): 10.51m² (35.39m² (41%))

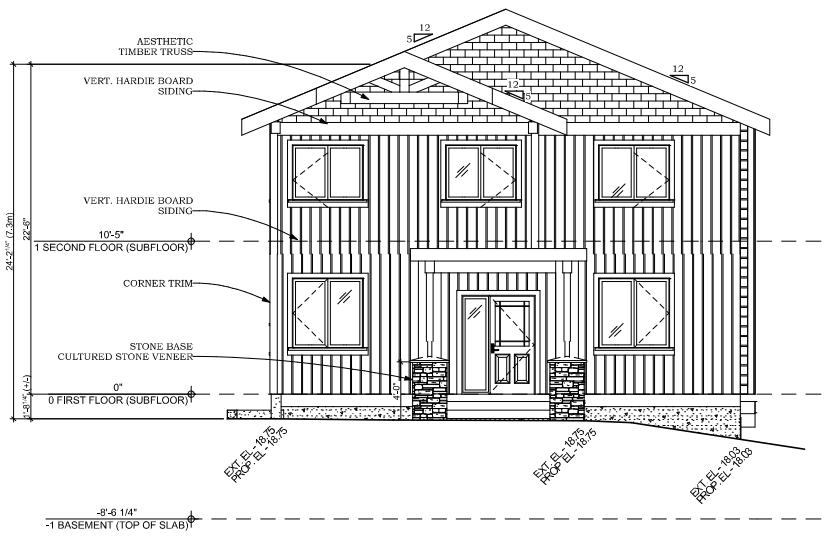
WEST ELEVATION
SCALE: 1/4" = 1'-0"



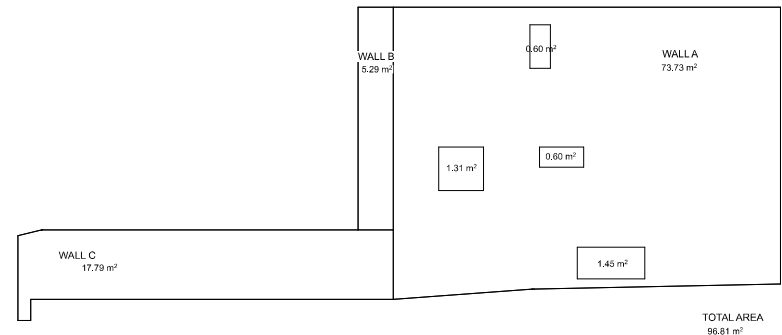
TOTAL AREA
107.92 m²

LIMITING DISTANCE (TO WEST PROPERTY LINE):
WALL A: 2.52m
TOTAL AREA OF EXPOSING SUB FING FACE: 107.92m²
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS ALLOWED PER B.C.C. TABLE 9.10.15(A):
WALL A: 9%
PROPOSED GLAZING (WALL A): 2.58m² (107.92m² (2.4%))

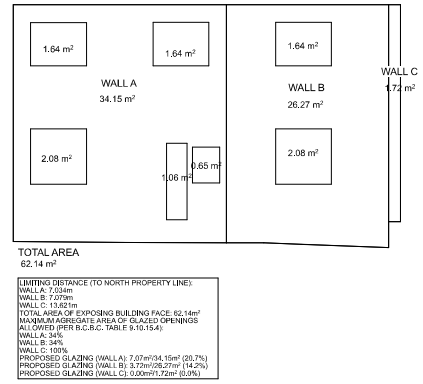
COMPLETE SET OF PLANS TO BE ENGINEERED	
#	DATE
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3	
REVISIONS	
DESCRIPTION	
PROJECT # 2159	
SCALE: 1/4" = 1' UNO.	
DATE: 2024-10-29	
DESIGNER: K. SIMCOES	
TECHNICIAN: L. MCKINLAY	
PROJECT: 1000 RAILING ST	
ABBOTSFORD, BC	
PH: 604-862-2666 FAX: 604-862-2661	
WWW.STREAMLINEDESIGN.CA	
DUSTRI L.L.C.	
David Nonis	
354 000 RD.	
PORT MOODY, B.C. V3H 2V7	
DRAWING TITLE: Elevations	
SHEET	
4 OF 10	



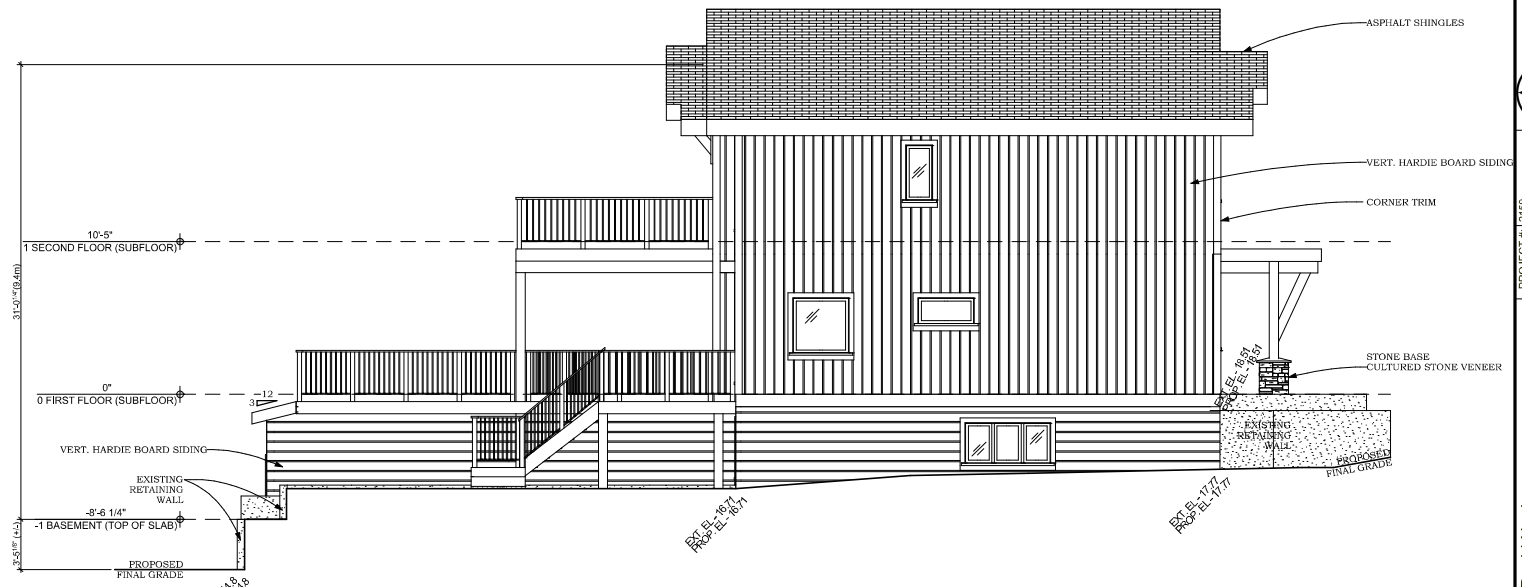
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



LIMITING DISTANCE TO EAST PROPERTY LINE:
 WALL A: 2.52m
 WALL B: 9.19m
 WALL C: 16.27m
 TOTAL AREA OF EXPOSING BUILDING FACE: 96.81m²
 MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS ALLOWED (PER B.C.C.C. TABLE R.10.15.4):
 WALL A: 15%
 WALL B: 23%
 WALL C: 40%
 PROPOSED GLAZING (WALL A): 3.96m²/73.73m² (5.4%)
 PROPOSED GLAZING (WALL B): 0.00m²/5.29m² (0.0%)
 PROPOSED GLAZING (WALL C): 0m²/17.79m² (0%)



LIMITING DISTANCE TO NORTH PROPERTY LINE:
 WALL A: 2.52m
 WALL B: 7.07m
 WALL C: 13.81m
 TOTAL AREA OF EXPOSING BUILDING FACE: 62.14m²
 MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS ALLOWED (PER B.C.C.C. TABLE R.10.15.4):
 WALL A: 34%
 WALL B: 34%
 WALL C: 100%
 PROPOSED GLAZING (WALL A): 7.27m²/34.15m² (21.3%)
 PROPOSED GLAZING (WALL B): 3.72m²/26.27m² (14.2%)
 PROPOSED GLAZING (WALL C): 0.00m²/1.77m² (0.0%)

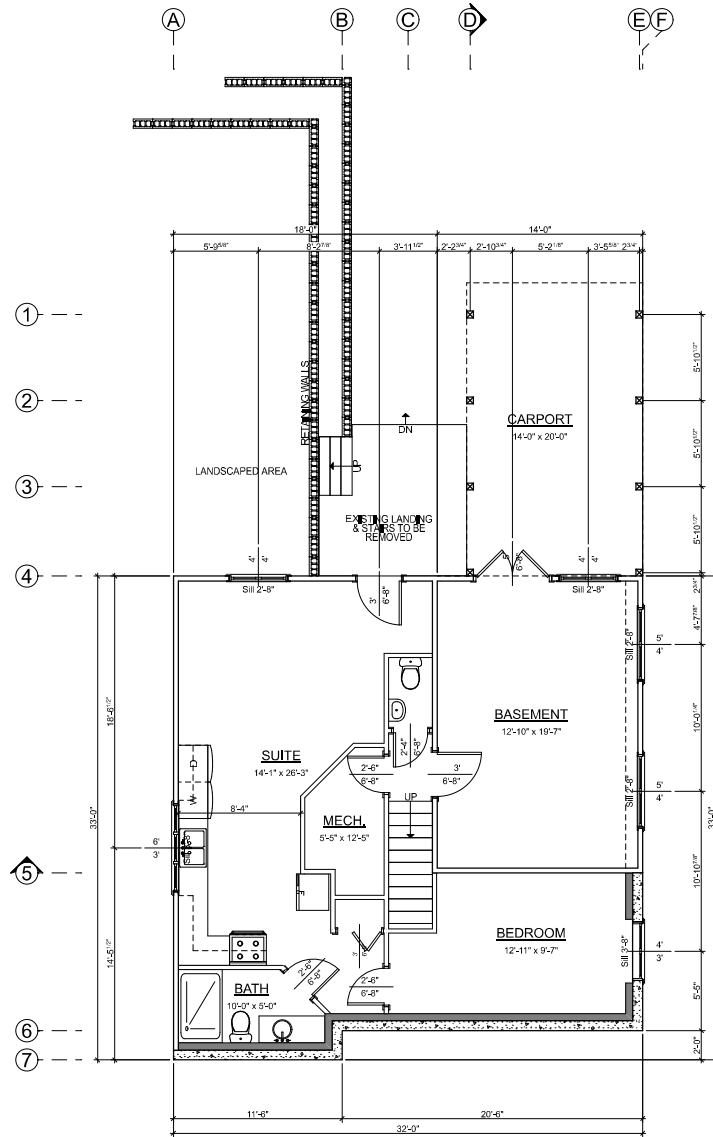


EAST ELEVATION
SCALE: 1/4" = 1'-0"

COMPLETE SET OF PLANS TO BE ENGINEERED	
#	DATE
1	
2	
REVISIONS	
DESCRIPTION	
PROJECT # 2159	
SCALE: 1/4" = 1' U.N.O.	
DATE: 2024-10-29	
DESIGNER: K. SIMCOE	
TECHNICIAN: L. MCKINLAY	
PROJECT: 354 LOCO RD., B.C. V3H 2V7	
DRAWING TITLE: Elevations	
SHEET	
5 OF 10	



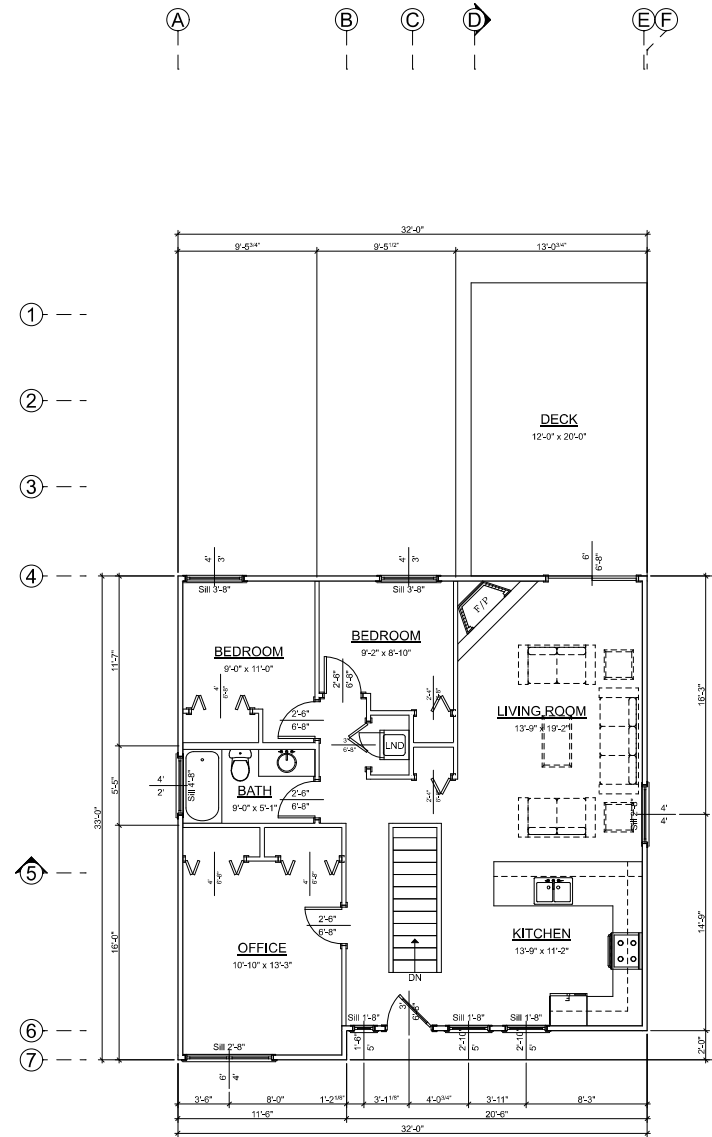
10000 RAILING ST
 ABBOTSFORD, BC V3H 2V7
 PH: 604-862-2665 FAX: 604-862-2681
 WWW.STREAMLINEDESIGN.CA



BASEMENT FLOOR PLAN (EXISTING)

SCALE: 1/4" = 1'-0"

SUITE AREA: 673 sq ft
 BASEMENT AREA: 339 sq ft



FIRST FLOOR PLAN (EXISTING)

SCALE: 1/4" = 1'-0"

MAIN FLOOR AREA: 1,015 sq ft

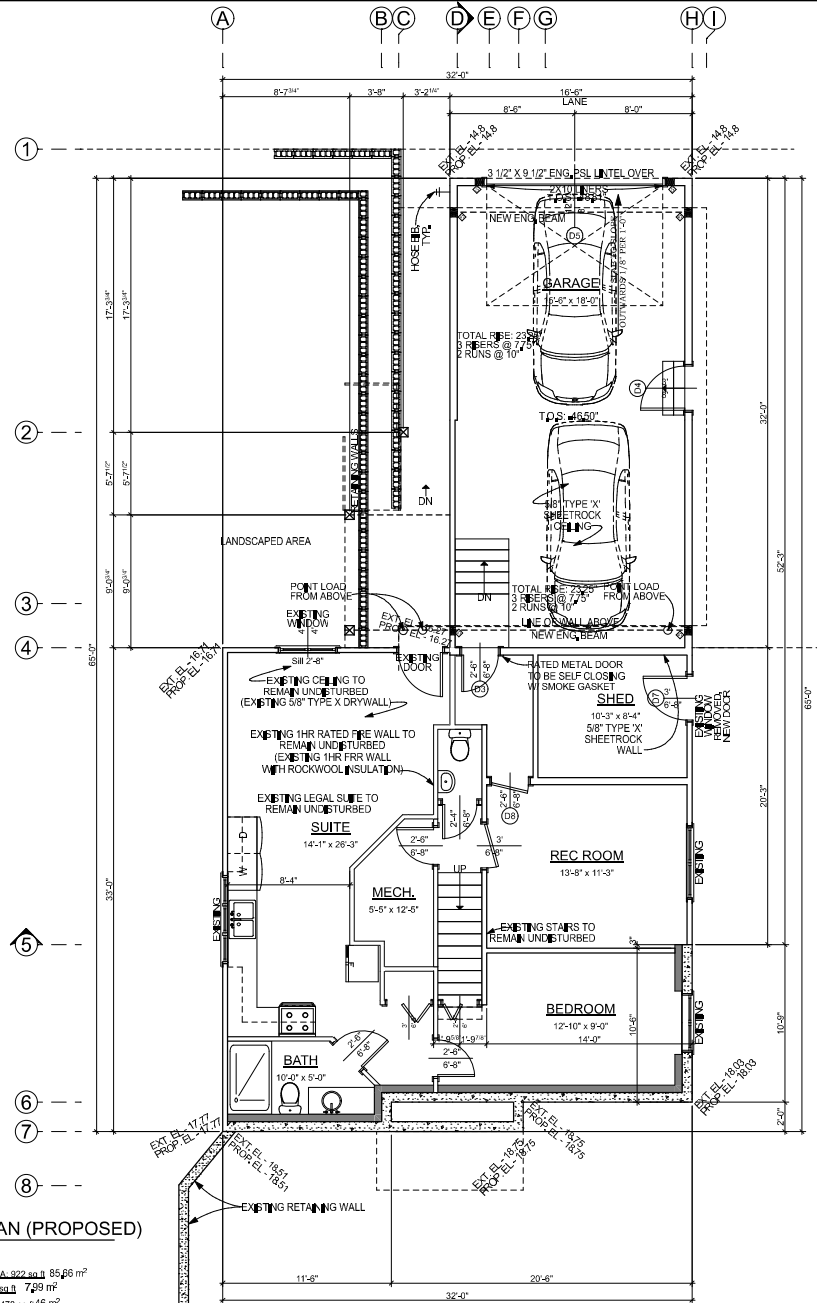
COMPLETE SET OF PLANS TO BE ENGINEERED	
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2	
3	
REVISIONS DESCRIPTION	
PROJECT #: 2159	
SCALE: 1/4" = 1' UNO.	
DATE: 2024-10-29	
DESIGNER: K. SIMCOE	
TECHNICIAN: L. MCKINLAY	
PROJECT: 11000 PAULINE ST ABBOTSFORD, BC PH: 604-862-2665 FAX: 604-861-2981 WWW.STREAMLINEDESIGN.CA	
DRAWING TITLE: Existing Floor Plans	
SHEET	
9 OF 10	



BASEMENT FLOOR PLAN (PROPOSED)

SCALE: 1/4" = 1'-0"

BASEMENT AREA: 972 sq ft 85.66 m²
 SHED AREA: 88 sq ft 7.99 m²
 GARAGE AREA: 478 sq ft 44.46 m²



BASEMENT SLAB TO BE:
 4" CONC. SLAB W/
 6"X6" MESH OR FIBER REINFORCEMENT
 ON 6 MIL POLY & 3" RIGID INSULATION
 @ ALL LIVING SPACE
 ON 4" COMPACT SAND OR GRAVEL

GARAGE SLAB TO BE:
 6" CONC. SLAB
 15M ON 24" SPACERS
 ON 6 MIL POLY
 ON 4" COMPACT SAND OR GRAVEL

BASEMENT DAVLIGHT WALLS TO BE:
 HARDIE BOARD SIDING
 ON APPROVED MOISTURE MANAGEMENT
 ON TYVEK AIR BARRIER OR EQUAL
 ON 1/2" PLYWOOD SHEATHING
 2X6 @ 16" O.C. FRAME WALL
 R24 BATT INSULATION
 6 MIL POLY V.B. (SEALED W/ ACOUSTICAL SEALANT)
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT
 =Per table 9.10.3.1.
 A wall assembly to be W7a
 2) rows 2x4 studs @ 2' o.c. on common 2x6 plates
 Batt insulation (89mm thick one side or 6mm thick e/s)
 5/8" type 'x' gypsum board e/s
 FR = 1hr
 STC = 47

CONC. WALLS TO BE:
 8" CONC. WALL W/
 APPROVED WATERPROOF
 MEMBRANE ON BOTH SIDES TYP.

INT. FRAMED WALLS TO BE:
 2X4 @ 16" O.C.
 W/ 1/2" G.W.B. EACH SIDE
 FINISHED W/ LOW VOC PAINT
 U.N.O.

DECK TO BE:
 APPROVED SEALED DECKING
 3/4" T&G PLYWOOD SUBFLOOR
 2X10 @ 16" O.C., P.T., FL. JSTS.
 W/ X-BRIDGING @ 7' MAX.
 C.L.G. FINISH TO OWNERS SPECS.

FIRST FLOOR SYSTEM TO BE:
 FINISH FLOOR TO OWNERS SPECS.
 ON 3/4" T&G PLYWOOD SUBFLOOR
 2X10 @ 16" O.C. FL. JSTS.
 W/ X-BRIDGING @ 7' MAX.
 R24 BATT INSULATION @ PERIMETER
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT
 Per table 9.10.3.1.
 =B main floor to suite floor assembly
 to be FR1 w/ rockwool insulation
 17mm plywood
 1) joint per plan @ 600mm o.c. (Max.)
 steel lurring channels @ 400mm o.c.
 2) layer 12.7mm type 'x' gypsum board
 FR = 1 hr STC = 43
 BCBC 9.10.9.14. = 45 min./
 BCBC 9.11.1.1. (2) = stc of 43

FIRST FLOOR EXT. WALLS TO BE:
 VERT. HARDIE BOARD SIDING
 APPROVED MOISTURE MANAGEMENT
 ON TYVEK AIR BARRIER OR EQUAL
 ON 1/2" PLYWOOD SHEATHING
 2X6 @ 16" O.C. FRAME WALL
 R24 BATT INSULATION
 6 MIL POLY V.B. (SEALED W/ ACOUSTICAL SEALANT)
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT

SECOND FLOOR SYSTEM TO BE:
 FINISH FLOOR TO OWNERS SPECS.
 ON 3/4" T&G PLYWOOD SUBFLOOR
 2X10 @ 16" O.C. FL. JSTS.
 W/ X-BRIDGING @ 7' MAX.
 R24 BATT INSULATION @ PERIMETER
 ON 1X FIR STRIPS
 1X6 T&G C.L.G. FINISH

SECOND FLOOR EXT. WALLS TO BE:
 VERT. HARDIE BOARD SIDING
 APPROVED MOISTURE MANAGEMENT
 ON TYVEK AIR BARRIER OR EQUAL
 ON 1/2" PLYWOOD SHEATHING
 2X6 @ 16" O.C. FRAME WALL
 R24 BATT INSULATION
 6 MIL POLY V.B. (SEALED W/ ACOUSTICAL SEALANT)
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT

ROOF 1 TO BE:
 ASPHALT SHINGLES
 ON ICE AND WATER SHIELD
 1/2" PLYWOOD SHEATHING
 W/ EDGE CLIPS BETWEEN TRUSSES
 MANUFACTURED TRUSSES (PLAT C.L.G.)
 R49 MIN. BATT INSULATION
 W/ 2" AIRSPACE (ROOF VENTILATION
 FROM SCREENED VENTED FASCIA TO
 VENTED RIDGE CAP)
 ON 6 MIL POLY SEALED W/ ACOUSTICAL SEALANT
 C.L.G. FINISH TO OWNERS SPECS.

ROOF 1 TO BE (UNINSULATED):
 TPO OR EPDM
 ON ICE AND WATER SHIELD
 1/2" PLYWOOD SHEATHING
 W/ EDGE CLIPS BETWEEN RAFTERS
 2X STRAPPING FOR CROSS VENTILATION
 TO CREATE SLOPE 1/4" PER 1'-0" TO
 DRAINS (OR SLOPE PER PLAN)
 2X8 RAFTERS @ 2' O.C.
 ROOF VENT FROM SCREENED VENTED
 FASCIA TO VENTED FASCIA
 ON 6 MIL POLY SEALED W/ ACOUSTICAL SEALANT
 C.L.G. FINISH TO OWNERS SPECS.

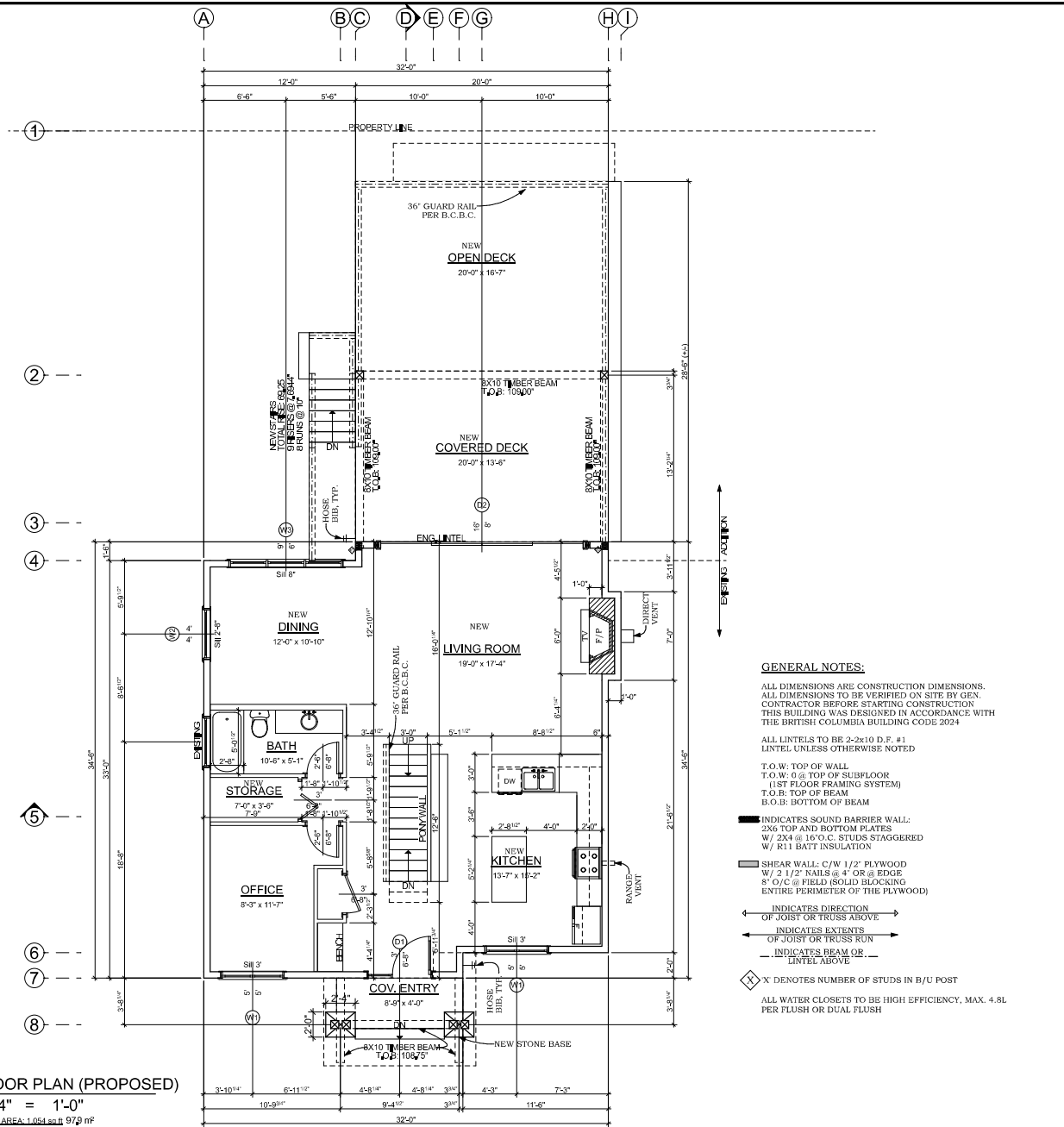
COMPLETE SET OF PLANS TO BE ENGINEERED		REVISIONS		DESCRIPTION	
#	DATE	#	DATE	#	DATE
1		1		1	
2		2		2	
3		3		3	

PROJECT #:	2159	SCALE:	1/4" = 1'-0"
DATE:	2024-02-29	DESIGNER:	K. SIMONIS
TECHNICIAN:	L. MCKINLAY	PROJECT:	354 OCC RD., PORT MOODY, B.C. V3H 2V7
CLIENT:	ASBESTOS CONSULTING INC.	PROJECT:	354 OCC RD., PORT MOODY, B.C. V3H 2V7
PH:	604-882-2668 FAX: 604-882-2681	PROJECT:	354 OCC RD., PORT MOODY, B.C. V3H 2V7
WWW:	WWW.STREAMLINEDESIGN.CA	PROJECT:	354 OCC RD., PORT MOODY, B.C. V3H 2V7

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WWW:	WWW.STREAMLINEDESIGN.CA	PROJECT:	354 OCC RD., PORT MOODY, B.C. V3H 2V7





WINDOW LIST				
ID	Qty	W x H Size	Front View	Notes
W2	1	4'-0" x 4'-0"		
W3	1	9'-0" x 6'-0"		
W5	3	5'-0" x 4'-0"		
W6	1	2'-0" x 4'-0"		
W7	1	9'-0" x 6'-0"		SAFETY

DOOR LIST				
ID	Qty	W x H Size	Front View	Notes
D1	1	3'-0" x 6'-8"		SOLID CORE / TEMP / 2' 0" SIDELIGHT
D2	1	16'-0" x 8'-0"		TEMP / DOUBLE SLIDING DOOR
D3	1	2'-6" x 6'-8"		RATED METAL SELF CLOSING DOOR W/ SMOKE GASKET
D4	1	3'-0" x 6'-0"		
D5	1	12'-0" x 8'-0"		OVERHEAD GARAGE DOOR
D6	1	14'-0" x 6'-8"		TEMP / DOUBLE SLIDING DOOR
D7	1	3'-0" x 6'-8"		SOLID CORE
D8	1	2'-6" x 6'-8"		SOLID CORE

* NOTE: WINDOWS TO BE HARD COAT LOW-E, WOOD, VINYL CLAD, ARGON FILLED, DOUBLE PANE W/ ENERGY STAR RATING U.N.O.

* PLEASE NOTE, GENERAL CONTRACTOR TO DOUBLE CHECK WINDOW SIZES AND R.O. DIMENSIONS LISTED IN THE SCHEDULES W/ MANUFACTURERS LISTED R.O. DIMENSIONS AND W/ OPENING DIMENSIONS IN FRAMING TO ENSURE A PERFECT FIT.

* NOTE: SEE ELEVATIONS FOR OPENING STYLE

GENERAL NOTES:

ALL DIMENSIONS ARE CONSTRUCTION DIMENSIONS. ALL DIMENSIONS TO BE VERIFIED ON SITE BY GEN. CONTRACTOR BEFORE STARTING CONSTRUCTION THIS BUILDING WAS DESIGNED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2024

ALL LINTELES TO BE 2-2x10 D.F. #1 LINTEL UNLESS OTHERWISE NOTED

T.O.W: TOP OF WALL
T.O.W: 0 @ TOP OF SUBFLOOR (1ST FLOOR FRAMING SYSTEM)
T.O.B: TOP OF BEAM
B.O.B: BOTTOM OF BEAM

INDICATES SOUND BARRIER WALL: 2X6 TOP AND BOTTOM PLATES W/ 2x4 @ 16" O.C. STUDS STAGGERED W/ R11 BATT INSULATION

SHEAR WALL: C/W 1/2" PLYWOOD W/ 2 1/2" NAILS @ 4" OR @ EDGE 8" O.C. @ FIELD (SOLID BLOCKING ENTIRE PERIMETER OF THE PLYWOOD)

INDICATES DIRECTION OF JOIST OR TRUSS ABOVE
INDICATES EXTENTS OF JOIST OR TRUSS RUN
INDICATES BEAM OR LINTEL ABOVE

X DENOTES NUMBER OF STUDS IN B/U POST

ALL WATER CLOSETS TO BE HIGH EFFICIENCY, MAX. 4.8L PER FLUSH OR DUAL FLUSH

BASEMENT SLAB TO BE:
4" CONC. SLAB W/ 6"x6" MESH OR FIBER REINFORCEMENT ON 6 MIL POLY & 3" RIGID INSULATION @ ALL LIVING SPACE
ON 4" COMPACT SAND OR GRAVEL

GARAGE SLAB TO BE:
4" CONC. SLAB 15M ON 24" GRID ON 6 MIL POLY ON 4" COMPACT SAND OR GRAVEL

BASEMENT DAYLIGHT WALLS TO BE:
HARDIE BOARD SIDING APPROVED MOISTURE MANAGEMENT ON TYVEK AIR BARRIER OR EQUAL ON 1/2" PLYWOOD SHEATHING 2X6 @ 16" O.C. FRAME WALL R24 BATT INSULATION 6 MIL POLY V.B. (SEALED W/ ACOUSTICAL SEALANT) 1/2" G.W.B. FINISHED W/ LOW VOC PAINT

FIRST FLOOR SYSTEM TO BE:
FINISH FLOOR TO OWNERS SPECS. ON 3/4" T&G PLYWOOD SUBFLOOR 2X10 @ 16" O.C. P.T., FL. JSTS. W/ X-BRIDGING @ 7' MAX. C.L.G. FINISH TO OWNERS SPECS.

SECOND FLOOR EXT. WALLS TO BE:
VERT. HARDIE BOARD SIDING APPROVED MOISTURE MANAGEMENT ON TYVEK AIR BARRIER OR EQUAL ON 1/2" PLYWOOD SHEATHING 2X6 @ 16" O.C. FRAME WALL R24 BATT INSULATION 6 MIL POLY V.B. (SEALED W/ ACOUSTICAL SEALANT) 1/2" G.W.B. FINISHED W/ LOW VOC PAINT

ROOF 1 TO BE:
ASPHALT SHINGLES ON ICE AND WATER SHIELD 1/2" PLYWOOD SHEATHING W/ EDGE CLIPS BETWEEN TRUSSES MANUFACTURED TRUSSES (PLAT C.L.G.) R49 MIN. BATT INSULATION W/ 2" AIRSPACE (ROOF VENTILATION FROM SCREENED VENTED FASCIA TO VENTED RIDGE CAP) ON 6 MIL POLY SEALED W/ ACOUSTICAL SEALANT C.L.G. FINISH TO OWNERS SPECS.

ROOF 1 TO BE (UNINSULATED):
TPO OR EPDM ON ICE AND WATER SHIELD W/ EDGE CLIPS BETWEEN RAFTERS 2x STRAPPING FOR CROSS VENTILATION TO CREATE SLOPE 1/4" PER 1'-0" TO DRAINS (OR SLOPE PER PLAN) 2x8 RAFTERS @ 2' O.C. ROOF VENT FROM SCREENED VENTED FASCIA TO VENTED FASCIA ON 6 MIL POLY SEALED W/ ACOUSTICAL SEALANT C.L.G. FINISH TO OWNERS SPECS.

COMPLETE SET OF PLANS TO BE ENGINEERED

REVISION

#	DATE	DESCRIPTION
1		
2		
3		

PROJECT #: 2159
SCALE: 1/4" = 1'-0"
DATE: 2024-0-29
DESIGNER: K. SMOCK
TECHNICIAN: L. MCKINLAY

ASB01572465 PAULING ST
PH: 604-862-2665 FAX: 604-862-2661
WWW.STREAMLINEDESIGN.CA

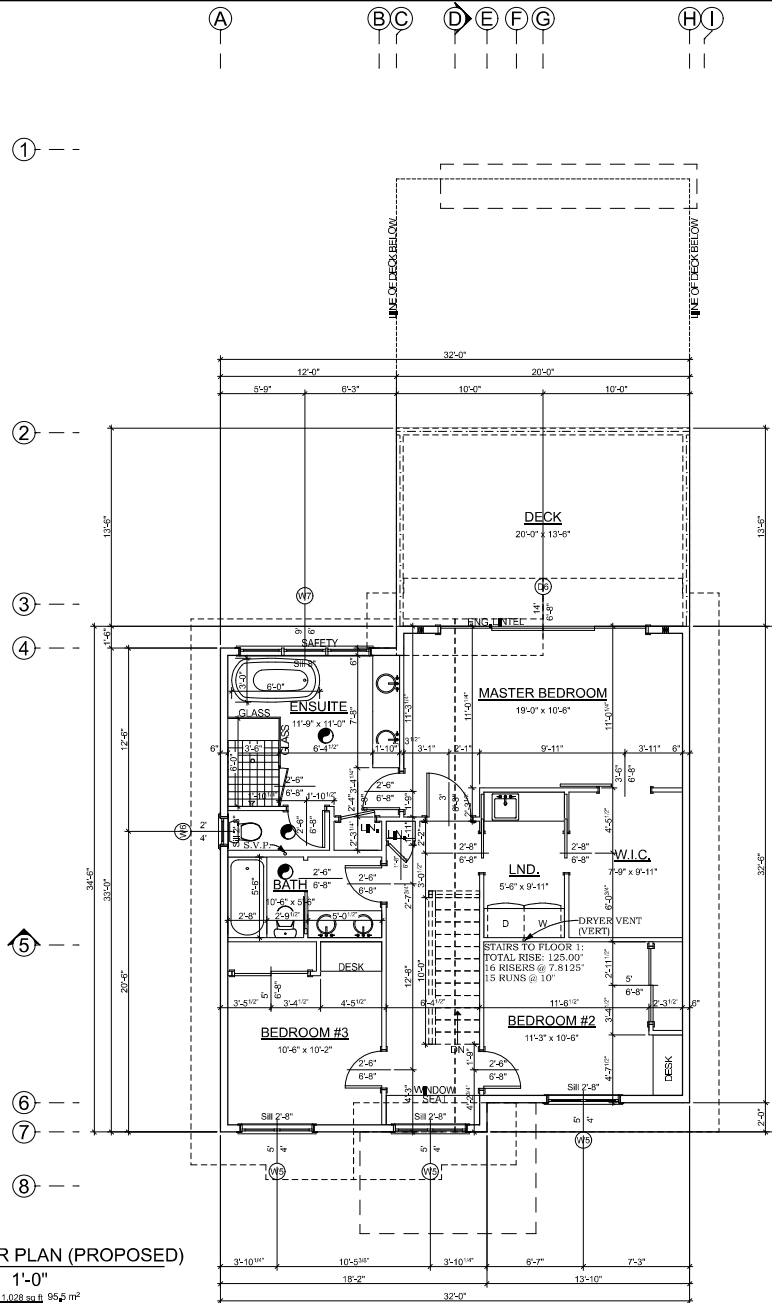
Streamline
DESIGN LLC.

David Nomis
354 OCCO RD., B.C. V3H 2V7

DRAWING TITLE: First Floor Plan

SHEET

8 OF 10



SECOND FLOOR PLAN (PROPOSED)
 SCALE: 1/4" = 1'-0"
 UPPER FLOOR AREA: 1,028 sq ft 95.5 m²

BASEMENT SLAB TO BE:
 4" CONC. SLAB W/
 6"x6" MESH OR FIBER REINFORCEMENT
 ON 6 MIL. POLY & 3" RIGID INSULATION
 @ ALL LIVING SPACE
 ON 4" COMPACT SAND OR GRAVEL

CANON SLAB TO BE:
 6" CONC. SLAB
 15M ON 24" GRID
 ON 6 MIL. POLY
 ON 4" COMPACT SAND OR GRAVEL

BASEMENT DAVLIGHT WALLS TO BE:
 HARDIE BOARD SIDING
 ON APPROVED MOISTURE MANAGEMENT
 ON TYVEK AIR BARRIER OR EQUAL
 ON 1/2" PLYWOOD SHEATHING
 2X6 @ 16" O.C. FRAME WALL
 R24 BATT INSULATION
 6 MIL. POLY V.B. (SEALED W/ ACOUSTICAL SEALANT)
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT
 =Per table 9.10.3.1.
 A wall assembly to be W7a
 2) rows 2x4 studs @ 12" o.c. on common 2x6 plates
 Batt insulation (89mm thick one side or 6mm thick e/s)
 5/8" type 'x' gypsum board e/s
 FR = 1hr
 STC = 47

CONC. WALLS TO BE:
 8" CONC. WALL W/
 APPROVED WATERPROOF
 MEMBRANE ON BOTH SIDES TYP.

INT. FRAMED WALLS TO BE:
 2X4 @ 16" O.C.
 W/ 1/2" G.W.B. EACH SIDE
 FINISHED W/ LOW VOC PAINT
 U.N.O.

DECK TO BE:
 APPROVED SEALED DECKING
 3/4" T&G PLYWOOD SUBFLOOR
 2X10 @ 16" O.C., P.T., FL. JSTS.
 W/ X-BRIDGING @ 7" MAX.
 C.L.G. FINISH TO OWNERS SPECS.

FIRST FLOOR SYSTEM TO BE:
 FINISH FLOOR TO OWNERS SPECS.
 ON 3/4" T&G PLYWOOD SUBFLOOR
 2X10 @ 16" O.C. FL. JSTS.
 W/ X-BRIDGING @ 7" MAX.
 R24 BATT INSULATION @ PERIMETER
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT
 Per table 9.10.3.1.
 B main floor to suite floor assembly
 to be FR1 w/ rockwool insulation
 17mm plywood
 Joist per plan @ 600mm o.c. (Max.)
 Steel lurring channels @ 600mm o.c.
 2 layer 12.7mm type 'x' gypsum board
 FR = 1 hr STC = 43
 BCBC 9.10.9.14. = 45 min./
 BCBC 9.11.1.1. (2) = stc of 43

FIRST FLOOR EXT. WALLS TO BE:
 VERT. HARDIE BOARD SIDING
 APPROVED MOISTURE MANAGEMENT
 ON TYVEK AIR BARRIER OR EQUAL
 ON 1/2" PLYWOOD SHEATHING
 2X6 @ 16" O.C. FRAME WALL
 R24 BATT INSULATION
 6 MIL. POLY V.B. (SEALED W/ ACOUSTICAL SEALANT)
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT

SECOND FLOOR SYSTEM TO BE:
 FINISH FLOOR TO OWNERS SPECS.
 ON 3/4" T&G PLYWOOD SUBFLOOR
 2X10 @ 16" O.C. FL. JSTS.
 W/ X-BRIDGING @ 7" MAX.
 R24 BATT INSULATION @ PERIMETER
 ON 1X FIR STRIPS
 1X6 T&G C.L.G. FINISH

SECOND FLOOR EXT. WALLS TO BE:
 VERT. HARDIE BOARD SIDING
 APPROVED MOISTURE MANAGEMENT
 ON TYVEK AIR BARRIER OR EQUAL
 ON 1/2" PLYWOOD SHEATHING
 2X6 @ 16" O.C. FRAME WALL
 R24 BATT INSULATION
 6 MIL. POLY V.B. (SEALED W/ ACOUSTICAL SEALANT)
 1/2" G.W.B. FINISHED W/ LOW VOC PAINT

ROOF 1 TO BE:
 ASPHALT SHINGLES
 ON ICE AND WATER SHIELD
 1/2" PLYWOOD SHEATHING
 W/ EDGE CLIPS BETWEEN TRUSSES
 MANUFACTURED TRUSSES (PLAT C.L.G.)
 R49 MIN. BATT INSULATION
 W/ 2 AIRSPACE (ROOF VENTILATION
 FROM SCREENED VENTED FASCIA TO
 VENTED RIDGE CAP)
 ON 6 MIL. POLY SEALED W/ ACOUSTICAL SEALANT
 C.L.G. FINISH TO OWNERS SPECS.

ROOF 2 TO BE (UNINSULATED):
 TPO OR EPDM
 ON ICE AND WATER SHIELD
 1/2" PLYWOOD SHEATHING
 W/ EDGE CLIPS BETWEEN RAFTERS
 2X STRAPPING FOR CROSS VENTILATION
 TO CREATE SLOPE 1/4" PER 1'-0" TO
 DRAINS (OR SLOPE PER PLAN)
 2X8 RAFTERS @ 2' O.C.
 ROOF VENT FROM SCREENED VENTED
 FASCIA TO VENTED FASCIA
 ON 6 MIL. POLY SEALED W/ ACOUSTICAL SEALANT
 C.L.G. FINISH TO OWNERS SPECS.

NO.	DATE	DESCRIPTION
1		
2		

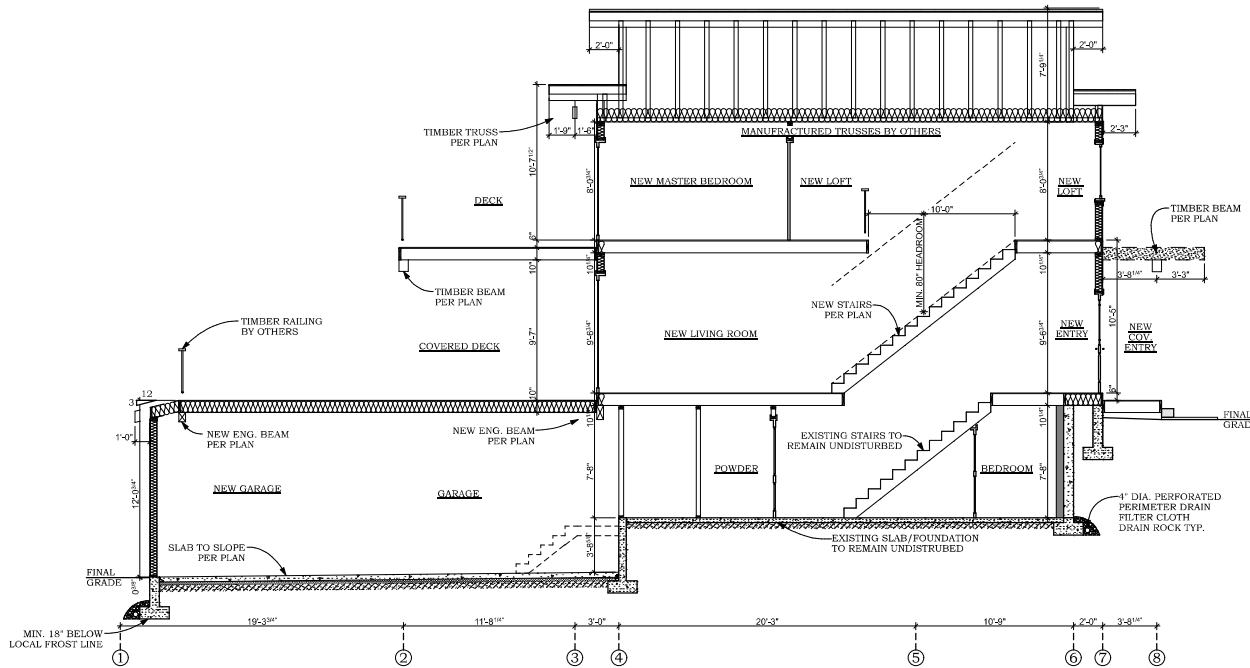
PROJECT #:	2159
SCALE:	1/4" = 1' U.N.O.
DATE:	2024-07-29
DESIGNER:	K. MOONEY
TECHNICIAN:	L. MCKINLAY

COMPLETE SET OF PLANS TO BE ENGINEERED	
REVISIONS	
DATE	DESCRIPTION
1	
2	

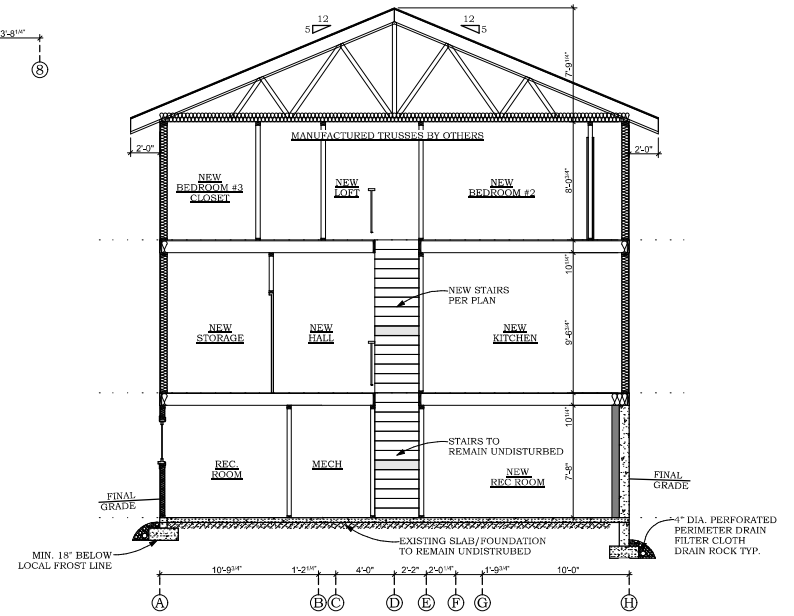
ASBESTOS RAILING ST
PH: 604-882-2668 FAX: 604-882-2911
WWW.STREAMLINEDESIGN.CA
Streamline
DESIGN LLC.

PROJECT #:	2159
SCALE:	1/4" = 1' U.N.O.
DATE:	2024-07-29
DESIGNER:	K. MOONEY
TECHNICIAN:	L. MCKINLAY

DRAWING TITLE: Second Floor Plan
SHEET
9 OF 10



D SECTION D
10 NOT TO SCALE



5 SECTION 5
10 NOT TO SCALE

COMPLETION SET OF PLANS TO BE ENGINEERED	
#	DATE
1	
2	
3	
REVISIONS	
DESCRIPTION	
PROJECT # 2159	
SCALE 1/4" = 1' UNO.	DATE 2024-02-29
DESIGNER K. SIMONS	TECHNICIAN L. MCKINLAY
PROJECT: 111000 RAULINE ST, ABBOTS FORD, BC, V3H 2V7	
PH: 604-862-2868 FAX: 604-862-2861 WWW.STREAMLINEDESIGN.CA	
DRAWING TITLE: Wall Sections	
SHEET	
10 OF 10	

