

1 Site Context  
1" = 160'-0"



3 Current Zoning Information  
1" = 160'-0"

**CPC**

- DPA 2 Moody Centre Mixed-Use, Moody Centre
- DPA 5 Hazardous Lands Hazard Type - Soil Liquefaction
- Allowed Stories 6 Storeys

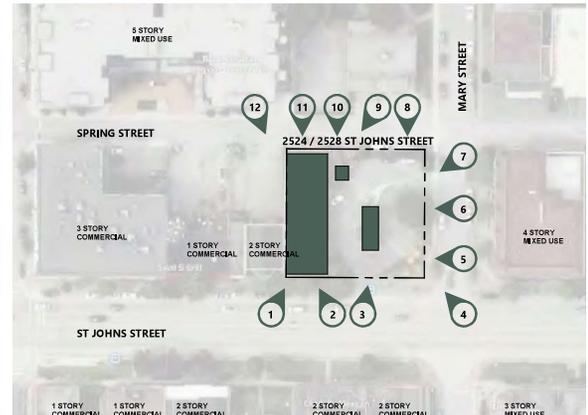
**EXISTING SITE ZONING**  
C3 General Commercial

**DPA 2 - MOODY CENTRE OBJECTIVES**

- To ensure that commercial development contributes to the economic revitalization of the area and the creation of a more complete community, as well as remaining sensitive to the residential component in mixed-use buildings.
- To ensure that multi-family development respects the character of surrounding low density residential uses through siting, design and exterior finishings
- To discourage single storey commercial development along St. Johns Street to reduce the commercial "strip" image of the street
- To integrate transit-oriented development principles as part of the redevelopment of Moody Centre, particularly in those areas within a 400 to 800 metre radius of transit stations
- To encourage a variety of building forms and architectural diversity while still providing for an overall cohesive neighbourhood.

**DPA 5 - 6.6.1 EARTHQUAKE HAZARDS**

- (a) Geotechnical Report Submission Where an applicable development application is made relating to lands identified as "Potentially Susceptible to Earthquake Soil Liquefaction" or "Harbour Heights Escarpment" on Map 13 of the Official Community Plan and Map 5-1 of the Development Permit Guidelines, consideration of the application will be subject to submission of a geotechnical report, prepared by a professional engineer or professional geoscientist with demonstrated expertise and experience in geotechnical study and geohazard assessments. Such report shall set out any conditions required to be met to enable safe use of the land for the intended purpose, provide an assessment of the potential risks in relation to the City's accepted risk management framework and may make recommendations, as appropriate, related to:
- (i) the siting, structural design and maintenance of buildings, structures or earthworks and their foundations;
  - (ii) the manner and specifications for any excavation or placement of fill and supervision thereof;
  - (iii) drainage during and after construction;
  - (iv) an assessment of how the development, its grading, and any recommended mitigative measures will affect the level of risk to other nearby properties;
  - (v) a construction management plan and a two year post construction monitoring plan to determine any ground subsidence or lateral movement that may occur; and
  - (vi) to determine any other pertinent conditions regarding the safe use of the land, buildings or structures. Where such report is related to lands susceptible to earthquake liquefaction, it shall include the results of subsurface investigation. The geotechnical engineering consultant is required to review the Engineering Department Geotechnical Report Library as part of the preparation of a geotechnical report.
- (b) Submission of a Registerable Covenant Approval of any application pursuant to section 6.6.1 (a) shall be subject to the submission of a registerable covenant in favour of the City and executed by the owner of the land, whereby the owner agrees to use the land only in accordance with the conditions of the approval and of the geotechnical report, and to save the City harmless from any damages as a result of the approval.



2 EXISTING SITE PLAN  
1" = 60'-0"

**3.9 MIXED-USE COMMERCIAL AND RESIDENTIAL BUILDINGS - APPLICABLE GUIDELINES**

- (a) **Siting**  
The siting and configuration of the building will be such that it provides, wherever possible, for the following:
- provision/protection of view corridors for upper-storey dwelling units
  - minimizing adverse impacts from building shadows onto surrounding public spaces and residential units
  - adequate penetration of natural light into dwelling units, and into any outdoor common open space (e.g. courtyard)
  - adequate protection of visual privacy for the dwelling units from the commercial activities below, and from adjacent dwellings
  - avoidance of sleeping areas of dwelling units directly overlooking commercial loading or garbage/recycling areas
  - clear transitions between public, semi-public, and private space.
- (b) **Building Form**  
As with wholly commercial buildings, the intention is to provide a street facade along the block front that is two or more storeys in height but which still maintains a comfortable pedestrian scale. Therefore, when residential units occur above commercial uses, the upper storeys should be kept pulled to the front, while allowing for adequate balcony/deck space for each unit. Buildings should be designed with setbacks, articulation, and materials that minimize massing in order to break down the scale of buildings to a pedestrian level and provide visual interest from the street. Where low-rise, mid-rise, and high-rise buildings comprise a single development, the siting, design, and building materials must ensure that the form and character of the buildings contribute to an overall integrated appearance of the development.
- (c) **Balconies/Decks**  
Private outdoor space for each residential unit will be provided by means of balconies/decks which do not protrude beyond the front facade of the commercial ground-floor. All residential units should be provided with private outdoor space. Wherever possible, balconies should be a minimum dimension of 1.8m (6ft) by 2.4m (8ft). Balconies visible from the street level should be of a design and material which screen balcony activities/ contents from view.
- (d) **Entranceways**  
The ground-level entranceway for upper-storey residential units should be clearly separated from any ground level commercial entrances. On corner sites, side street residential entries are encouraged. The ground-level entranceway for the upper storeys should feature weather protection, or a small lobby, or both. Where a security callboard is required, the callboard should be of a height and so located that it can be easily used by a person in a wheelchair.
- (f) **Views**  
For new development, view corridors to Burrard Inlet and the North Shore will be identified and buildings sited to minimize impacts. On-site landscaping should be located so as to prevent blocking of any view corridors available to the upper storey dwelling units when plantings are mature.
- (h) **Noise Mitigation**  
An acoustic analysis is required as part of the municipal review process for residential uses which occur in the same building as commercial uses. The City will require noise mitigation measures (e.g., unit layout, triple glazing, fresh-air ventilation systems) as an necessary to have the residential units meet the noise standards for habitable areas set out by Canada Mortgage and Housing.
- (i) **Plazas and Open Space**  
Publicly accessible plazas and open spaces are encouraged in mixed use developments. Outdoor pedestrian spaces should incorporate high quality varied paving materials and porous surfaces, as well as appropriate outdoor furniture elements, such as seating, public art, and drought tolerant plantings, garbage/recycling receptacles, bike racks, and fountains. Projects should consider integrating plazas and open spaces into a comprehensive open space network to connect uses on the site and adjacent properties.
- (j) **Integration of Landmark Features**  
Consideration should be given to the integration of landmark features as part of larger mixed use developments. These features could be incorporated into the building form, landscaping, streetscape, or public gathering spaces, or at key intersections within Moody Centre.
- (n) **City of the Arts**  
Given Port Moody's designation as "City of the Arts" there is an expectation that a building's design and/or landscaping will incorporate unique features that promote and enhance this designation.
- (o) **Spring Street**  
Within the section of Spring Street between Queens and Moody Streets, vehicle access is intended to be limited to local traffic only and new parkade access is discouraged. Within the section of Spring Street between Moody Street and Electronic Avenue, pedestrian and/or bicycle use is encouraged and intended to take prominence over restricted vehicle traffic.
- (p) **Utility Elements**  
Utility elements such as wires, utility poles, antennae, vents, fans, and exterior heat exchangers, should be placed in unobtrusive locations on-site or screened with landscaping or fencing, or both. Every effort should be made to eliminate existing utility poles and overhead wiring as part of new development.

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It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall hold the architect of any errors, omissions or discrepancies they may find. No liability for any deviation from the contract documents or any design shall be assumed by the architect. The architect shall be the full responsibility of the Owner and General Contractor.

11. Based On: (a) British Columbia Building Act	2011/07/01
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Sign & Seal

Project Title: **8 STOREYS MIXED-USE BUILDING**

2524 & 2528 ST. JOHNS STREET, PORT MOODY, BC

Project No.: 200903

Project Start Date: SFFT 2020

Sheet Title: **SITE PLAN** Scale: As Indicated

A101



**CIVIC ADDRESS:**  
2524 ST. JOHN ST., PORT MOODY, BC  
2528 ST. JOHN ST., PORT MOODY, BC

**LEGAL DESCRIPTION:**  
2524 ST. JOHN STREET  
LOT B, PLAN 78768, DISTRICT LOT 210, NEW WEST DISTRICT

2528 ST. JOHN STREET  
LOT H, BLOCK 10, PLAN NWP20413, DISTRICT LOT 201, NEW WEST DISTRICT GROUP 1

**RD:**  
2524 ST. JOHN STREET  
01-14-1645

2528 ST. JOHN STREET  
008-79840

**EXISTING ZONE:**  
C3

**PROPOSED ZONE:**  
CD

**HEIGHT:**  
PROPOSED: 20.6m (67 STOREYS)

**LOT COVERAGE:**  
PROPOSED: 1386 m<sup>2</sup> / 1741.2 m<sup>2</sup> - 0.796% - 80%

**LOT AREA:**  
2524 ST. JOHN ST.: 527.59 sq ft (5,678 SF)  
2528 ST. JOHN ST.: 211.68 sq ft (2,282 SF)  
COMBINED TOTAL: 1,741.27 sq ft (18,960 SF)

EXCLUDE CORNER DEDICATIONS: 17.04 m<sup>2</sup> (183.3 SF)  
NET COMBINED TOTAL: 1,724.23 m<sup>2</sup> (18,559.6 SF)

**DELIVERY**

Floor Area Ratio						
Level	Area	Floor Area	Site Area	ADAPTABLE UNITS	Deduction	GFA
P2	U/C LOBBY + EXIT STAIR	671 ft <sup>2</sup>	18,560 ft <sup>2</sup>	0	0.0 m <sup>2</sup>	0.04
P1	U/C LOBBY + EXIT STAIR	671 ft <sup>2</sup>	18,560 ft <sup>2</sup>	0	0.0 m <sup>2</sup>	0.04
C1	COMMERCIAL	5,533 m <sup>2</sup>	18,560 ft <sup>2</sup>	0	0.0 m <sup>2</sup>	3.32
P1	RESIDENTIAL	1,379 m <sup>2</sup>	18,560 ft <sup>2</sup>	0	0.0 m <sup>2</sup>	0.07
P2	RESIDENTIAL	9,747 m <sup>2</sup>	18,560 ft <sup>2</sup>	5	10.0 m <sup>2</sup>	0.52
P3	RESIDENTIAL	10,422 m <sup>2</sup>	18,560 ft <sup>2</sup>	5	10.0 m <sup>2</sup>	0.56
P4	RESIDENTIAL	10,422 m <sup>2</sup>	18,560 ft <sup>2</sup>	5	10.0 m <sup>2</sup>	0.56
P5	RESIDENTIAL	10,422 m <sup>2</sup>	18,560 ft <sup>2</sup>	5	10.0 m <sup>2</sup>	0.56
P6	RESIDENTIAL	9,748 m <sup>2</sup>	18,560 ft <sup>2</sup>	7	14.0 m <sup>2</sup>	0.50
P7	RESIDENTIAL	9,076 m <sup>2</sup>	18,560 ft <sup>2</sup>	7	14.0 m <sup>2</sup>	0.48
P8	RESIDENTIAL	9,076 m <sup>2</sup>	18,560 ft <sup>2</sup>	7	14.0 m <sup>2</sup>	0.48
Total		77,331 ft <sup>2</sup>		41		4.12

Residential use on the ground level shall not exceed more than 50% of the overall ground level Floor Area.  
Commercial use on the ground level shall occupy a minimum of 50% of the overall ground level Floor Area.

Occupancy Type	Area	Ratio
COMMERCIAL	553.8 m <sup>2</sup>	81.2%
RESIDENTIAL	128.0 m <sup>2</sup>	18.8%
Total	681.8 m <sup>2</sup>	100.0%

**Port Moody Family Friendly Housing Policy**  
Required Ratio for Multi-Family development

Occupancy Type	Area	Ratio
One Bed	70%	63%
Two Bed	20%	24%
Three Bed	10%	13%
Total	100%	100%

**Family Friendly Housing Policy - Ownership**

Occupancy + Parking Calculation	Unit #	Unit %
1 BED	39	63%
2 BED	15	24%
3 BED	6	10%
Total	62	100%

**Port Moody Family Friendly Housing Policy**  
Required Ratio for Rental + Multi-Family development

Occupancy Type	Area	Ratio
One Bed	75%	75%
Two Bed	20%	15%
Three Bed	5%	10%
Total	100%	100%

**Family Friendly Housing Policy - Below Market Rental / Rental**

Occupancy + Parking Calculation	Unit #	Unit %
Below Market Rent		
1 BED	10	50%
2 BED	1	5%
3 BED	1	5%
Rent to Own	12	60%
1 BED	15	25%
2 BED	2	10%
3 BED	1	5%
Total	20	100%

**Family Friendly Housing Policy - Total**

Unit Type (Not considering Deed)	Unit #	Unit %
1 BED	54	66%
2 BED	18	22%
3 BED	10	12%
Total	82	100%

**Adaptable Housing**

Adaptable Unit	Unit #
ADAPTABLE	41
REGULAR	41
Total	82

Proposed Ratio for Adaptable Housing  
41 Units 50%

Port Moody Inclusionary Zoning Policy Required Ratio for Below Market Rental:

Residential Floor Area Ratio			
Area	Floor Area	Site Area	GFA
RESIDENTIAL	70,029 ft <sup>2</sup>	18,560 ft <sup>2</sup>	3.73
Total	70,029 ft <sup>2</sup>		3.73

For any projects proposing a residential density greater than 2.0 FAR, the City requires a minimum 15% of residential FAR as Below-Market Rental Units = 10% x Residential Floor Area (69,706 SF) = 10,486 SF

Conditions of Use (AS PER ZONING BYLAW 11.2.6)

(a) Common Amenity Space shall be provided in the minimum amount of 3.0m<sup>2</sup> per Dwelling Unit. Outdoor Common Amenity Space shall not be located within the required setbacks.

**AMENITY SPACE:**  
MIN. REQUIRED: 3.0 m<sup>2</sup> PER DWELLING UNIT (OUTDOOR COMMON AMENITY SPACE SHALL NOT BE LOCATED WITHIN THE REQUIRED SETBACKS)

Amenity - Required		
Unit #	Req. Amenity per Unit	Req. Amenity
82	3.0 m <sup>2</sup>	246.0 m <sup>2</sup>

**PROPOSED AMENITY SPACES**  
RESIDENTIAL: 1 369.4 m<sup>2</sup>

**PARKING**

**APARTMENT**  
MARKET OWNERSHIP:  
1 SPACE PER DWELLING AND 1-BEDROOM DWELLING UNIT  
1.5 SPACE PER STUDIO UNIT WITH 2 OR MORE BEDROOMS  
0.2 VISITOR SPACES PER DWELLING UNIT FOR THE FIRST 100 UNITS AND 0.1 VISITOR SPACES FOR EACH ADDITIONAL UNIT.

**MARKET RENTAL**  
1.1 SPACE PER DWELLING UNIT  
0.2 VISITOR SPACES PER DWELLING UNIT FOR THE FIRST 100 UNITS AND 0.1 VISITOR SPACES FOR EACH ADDITIONAL UNIT.

**BELOW MARKET RENTAL**  
0.9 SPACE PER DWELLING UNIT  
0.1 VISITOR SPACES PER DWELLING UNIT

**PERSONAL SERVICE**  
1 SPACE PER 40 m<sup>2</sup> OF FLOOR AREA

**RETAIL, INCLUDING RETAIL FOOD SERVICE**  
1 SPACE PER 40 m<sup>2</sup> OF FLOOR AREA

**OFFICE**  
1 SPACE PER 50 m<sup>2</sup> OF FLOOR AREA

**Parking - Residential - Required & Proposed**

Unit Type	Unit #	Req. Visitor Stall per Unit	Req. Stall #	Residents	Proposed Stall #	Total
<b>Below Market Rent</b>						
1 BED	10	0.1	1.00	0	1	1
2 BED	1	0.1	0.10	0	0	0
3 BED	1	0.1	0.10	0	0	0
<b>Market Ownership</b>						
1 BED	39	0.2	7.80	14	8	22
2 BED	15	0.2	3.00	15	3	18
3 BED	6	0.2	1.20	8	2	10
<b>Rent to Own</b>						
1 BED	5	0.2	1.00	0	1	1
2 BED	2	0.2	0.40	2	0	2
3 BED	1	0.2	0.20	1	0	1
Total	82		15.20	40	15	55

**Parking - Required - Commercial**

Occupancy Type	Area	PARKING REQ. (per sqm)	Req. stall
COMMERCIAL	553.8 m <sup>2</sup>	40.0 m <sup>2</sup>	13.8
Total	553.8 m <sup>2</sup>		13.8

TOTAL REQUIRED PARKING STALLS BY TOA  
14 (COMMERCIAL) + 15 (VISITOR) = 29 STALLS

TOTAL PROPOSED PARKING STALLS  
UGV PARKING LEVEL 1: 33 STALLS  
UGV PARKING LEVEL 2: 36 STALLS  
TOTAL: 69 STALLS

SMALL CARS  
MAX SMALL CAR ALLOWED: 33% OF REQUIRED STALLS  
(29 X 0.33 = 9.5 = 10 SMALL CAR STALLS)

TOTAL PROVIDED SMALL CAR STALLS: 10 STALLS

UGV PARKING LEVEL: 1: 5 SMALL CAR STALLS  
UGV PARKING LEVEL: 2: 5 SMALL CAR STALLS

ACCESSIBLE PARKING SPACES  
TOTAL PROVIDED: 4 STALLS

**DE-SETBACK LOADING**

REQUIRED NUMBER OF LOADING SPACES:  
ON EVERY LOT USED AS A RETAIL STORE, COMMERCIAL, INDUSTRIAL, WAREHOUSE, OR ANY SIMILAR USE, THE MINIMUM NUMBER OF SPACES SHALL BE:

LESS THAN 484.5 m<sup>2</sup> (5000 SF) : 1 LOADING SPACE  
484.5 m<sup>2</sup> TO 2 322.5 m<sup>2</sup> (25 000 SF) : 2 LOADING SPACE

EACH ADDITIONAL 2 322.5 m<sup>2</sup> (2 322.5 m<sup>2</sup>) OR FRACTION THEREOF IN EXCESS OF 1 161.2 m<sup>2</sup> (12 500 SF) : 1 ADDITIONAL

Proposed Below Market Rental Floor Area:

Below Market Rental Unit Schedule				
Unit Type	Stalls	Qty	Area	
1 BED	Below Market Rent	7	4,226.6 ft <sup>2</sup>	
1 BED + DEN	Below Market Rent	3	1,781.2 ft <sup>2</sup>	
2 BED	Below Market Rent	11	7,721.1 ft <sup>2</sup>	
3 BED	Below Market Rent	11	1,077.3 ft <sup>2</sup>	
Total		12	7,857.3 ft <sup>2</sup>	

Proposed Below Market Rental Floor Area 11.2% of Residential Floor Area

**Amenity - Proposed**

Name	Area
OUTDOOR AMENITY	267.7 m <sup>2</sup>
INDOOR AMENITY 1	57.0 m <sup>2</sup>
INDOOR AMENITY 2	33.2 m <sup>2</sup>
UNLWC 2	5.8 m <sup>2</sup>
UNLWC 1	5.8 m <sup>2</sup>
Total	369.4 m <sup>2</sup>

ACCESSIBLE PARKING  
429 REQUIRED PARKING SPACES: 1 ACCESSIBLE PARKING  
4074 REQUIRED PARKING SPACES: 2 ACCESSIBLE PARKING  
75-124 REQUIRED PARKING SPACES: 3 ACCESSIBLE PARKING  
125-174 REQUIRED PARKING SPACES: 4 ACCESSIBLE PARKING

FOR EACH ADDITIONAL 50 PARKING SPACES OR PART THEREOF IN EXCESS OF 50: 1 ADDITIONAL PARKING SPACE

REQUIRED ACCESSIBLE PARKING : 1 ACCESSIBLE PARKING  
PROPOSED ACCESSIBLE PARKING : 4 ACCESSIBLE PARKING

ACCESSIBLE PARKING SPACE:  
3.7 m PLUS 1.2 m CLEAR PEDESTRIAN ASILE

- A MINIMUM OF 33% OF THE TOTAL PARKING REQUIREMENT MAY BE PROVIDED AS SMALL CAR PARKING SPACES.
- WHERE A PARKING SPACE OR MANEUVERING ASILE ABUTS A WALL ALONG ITS SIDE GREATER THAN 0.3 m IN HEIGHT, THE SPACE OR ASILE SHALL BE 0.3 m WIDER THAN OTHERWISE REQUIRED IN THIS BYLAW.
- AN OBSTRUCTION, COLUMN, OR SIMILAR STRUCTURAL SUPPORT ELEMENT ADJACENT A PARKING SPACE, NO PORTION OF THE SUPPORTING MEMBER SHALL PROJECT INTO THE REQUIRED AREA FOR THE PARKING SPACE.
- AN OBSTRUCTION, COLUMN OR SIMILAR SUPPORT ELEMENT SHALL BE SET BACK A MINIMUM OF 0.6 m FROM THE DRIVE ASILE AND LOCATED IN EITHER THE FRONT OR REAR 1.2 m OF THE PARKING SPACE. OBSTRUCTIONS LOCATED OUTSIDE OF THESE LOCATIONS SHALL BE CONSIDERED AS A WALL AND SECTION 6.6.4 SHALL APPLY.
- WHEN THE NUMBER OF REQUIRED PARKING SPACES RESULTS IN A FRACTIONAL SPACE, ANY FRACTION OF 0.5 OR LESS MAY BE DEPRECATED, AND ANY FRACTION GREATER THAN 0.5 SHALL REQUIRE ONE ADDITIONAL SPACE.

**Parking - Proposed**

Small Type	Stall #
<b>COMMERCIAL</b>	
Access (3.7 x 5.6m)	2
Med. (2.6 x 3.3m)	11
Small (2.3 x 5.1m)	1
Total	14
<b>RES. VISITOR</b>	
Reg. (2.6 x 5.6m)	11
Small (2.3 x 5.1m)	4
Total	15
<b>RESIDENTS</b>	
Access (3.7 x 5.6m)	2
Reg. (2.6 x 5.6m)	33
Small (2.3 x 5.1m)	15
Total	40
Total	69

PROPOSED COMMERCIAL SPACE AREA : 553.8 m<sup>2</sup>  
REQUIRED LOADING SPACE : 2

TOTAL REQUIRED LOADING SPACE : 2  
PROPOSED LOADING SPACE : 1

MIN. REQUIRED DIMENSION OF LOADING SPACES (MAY):  
3.0 m (9.8 FT) X 9.2 m (30 FT) X 4.3 m (14.1 FT)

**BICYCLE PARKING**

REQUIRED NUMBER OF BICYCLE PARKING SPACES:  
SHORT TERM SPACES : 4 SPACES FOR EACH APARTMENT BUILDING ON A LOT 50 DWELLING UNITS, NOT APPLICABLE TO BUILDINGS WITH LESS THAN 10 UNITS

Bicycle Parking Req. - Res. Long Term		Bicycle Parking Proposed	
Unit #	Req. Long Term per Unit	Req. Long Term	Bicycle Parking
82	1.5	123	105 SPACES

REQUIRED LONG TERM SPACES FOR RESIDENTIAL : 123 SPACES  
PROPOSED LONG TERM SPACES FOR RESIDENTIAL : 105 SPACES

REQUIRED SHORT TERM SPACES FOR RESIDENTIAL : 4 SPACES  
PROPOSED SHORT TERM SPACES FOR RESIDENTIAL : 4 SPACES

PROPOSED COMMERCIAL SPACE AREA : 553.8 m<sup>2</sup>

REQUIRED LONG TERM SPACES FOR COMMERCIAL : 0 SPACES  
PROPOSED LONG TERM SPACES FOR COMMERCIAL : 0 SPACES

REQUIRED SHORT TERM SPACES FOR COMMERCIAL : 4 SPACES  
PROPOSED SHORT TERM SPACES FOR COMMERCIAL : 4 SPACES

PROPOSED BICYCLE PARKING SPACES:  
LONG TERM SPACES: 123  
SHORT TERM SPACES: 12

**Bicycle Parking - Proposed - Short Term**

Bicycle Parking	Storage Method	Stall Capacity	Rank #	Total Capacity
Short Term	TYP. BICYCLE RACK	6	2	12

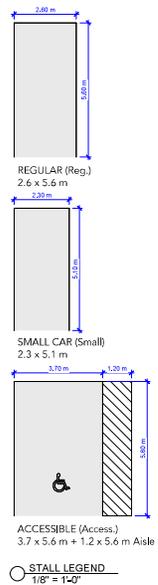
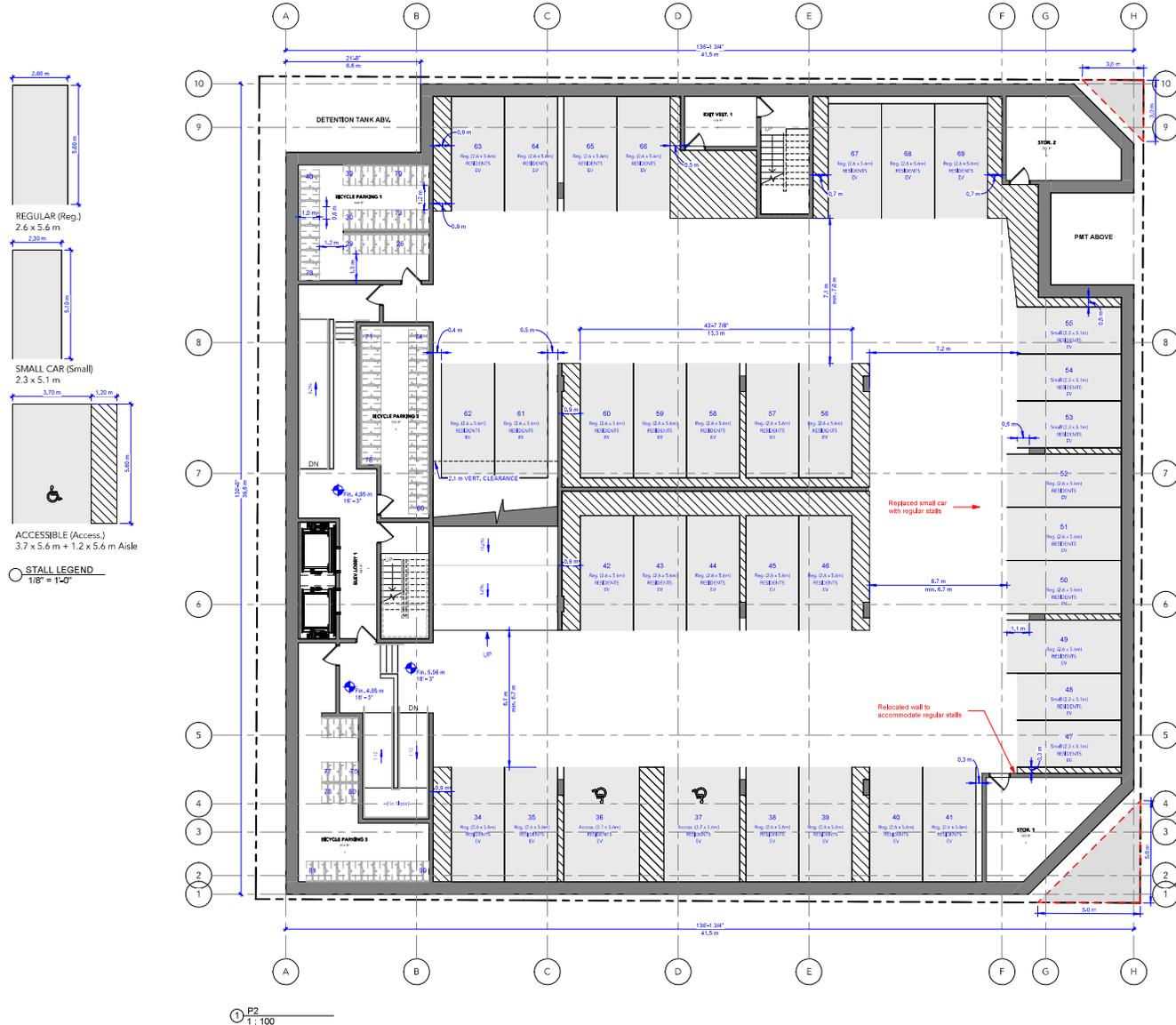
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Revisions	Revised By	Revised Date
1. Issued for Per Brackley 92	211120	
2. Based on Per Brackley 92	211024	
3. Based on Per Brackley 92	211020	
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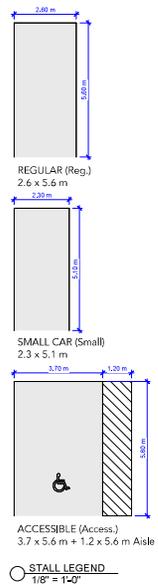
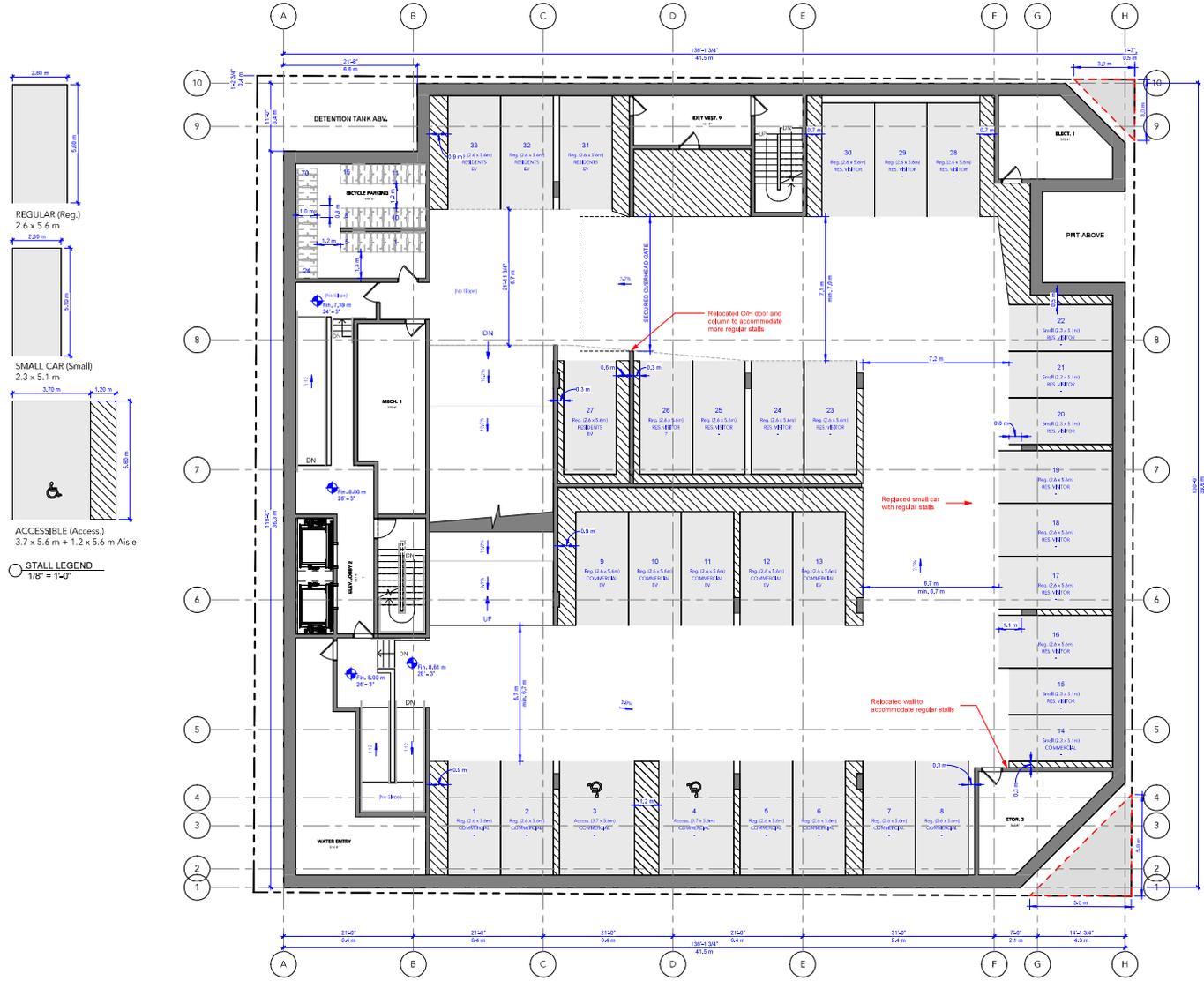
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 2524 & 2528 ST., JOHNS STREET, PORT MOODY, BC  
 Project No. 200903  
 Project Start Date: SFFT 2020  
 Sheet Title: U/G PARKING LEVEL 2  
 Scale: As indicated





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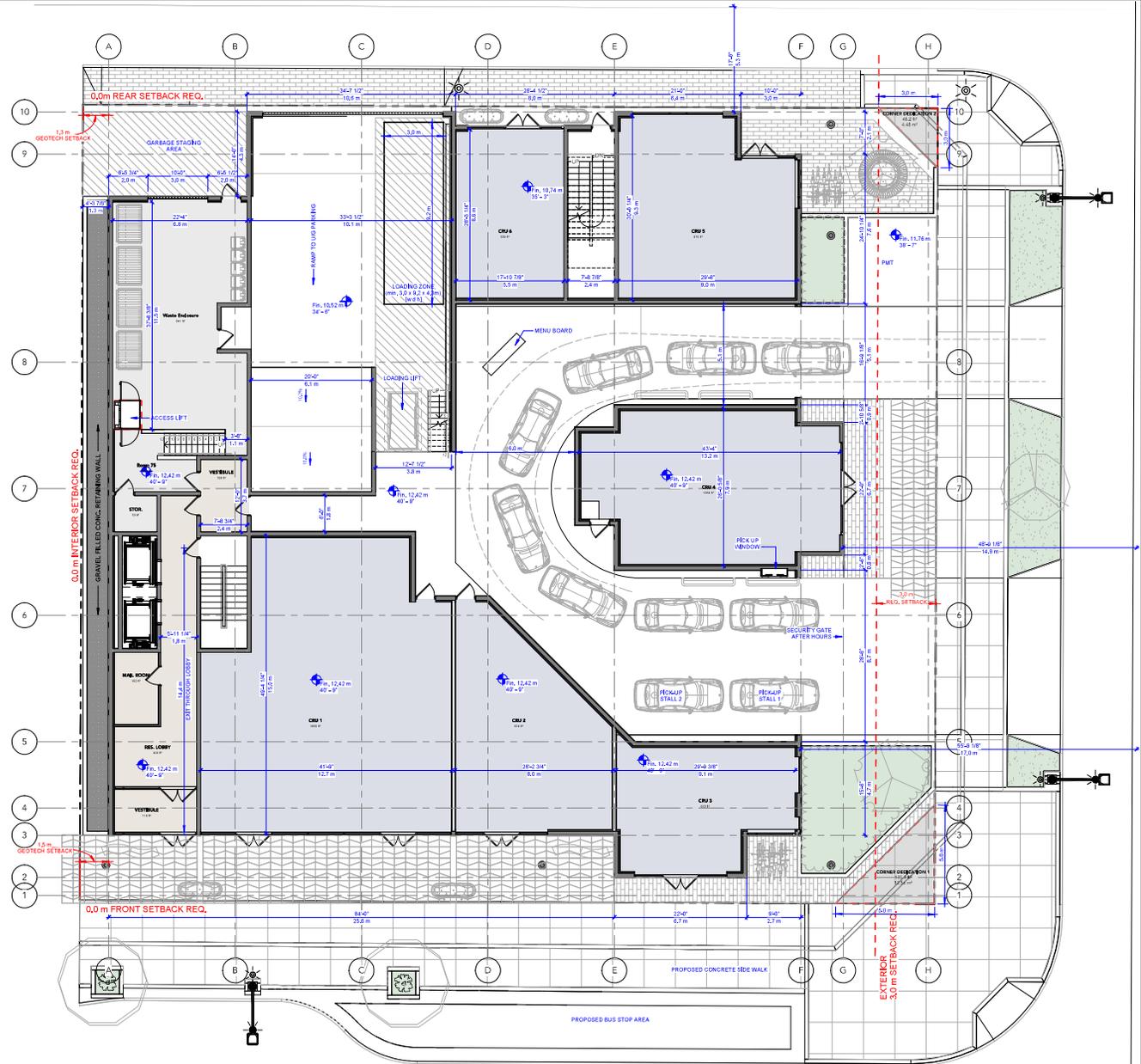
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281. Based on: (see Revision 274)	2225
282. Based on: (see Revision 275)	2226
283. Based on: (see Revision 276)	2227
284. Based on: (see Revision 277)	2228
285. Based on: (see Revision 278)	2229
286. Based on: (see Revision 279)	2230
287. Based on: (see Revision 280)	2231
288. Based on: (see Revision 281)	2232
289. Based on: (see Revision 282)	2233
290. Based on: (see Revision 283)	2234
291. Based on: (see Revision 284)	2235
292. Based on: (see Revision 285)	2236
293. Based on: (see Revision 286)	2237
294. Based on: (see Revision 287)	2238
295. Based on: (see Revision 288)	2239
296. Based on: (see Revision 289)	2240
297. Based on: (see Revision 290)	2241
298. Based on: (see Revision 291)	2242
299. Based on: (see Revision 292)	2243
300. Based on: (see Revision 293)	2244
301. Based on: (see Revision 294)	2245
302. Based on: (see Revision 295)	2246
303. Based on: (see Revision 296)	2247
304. Based on: (see Revision 297)	2248
305. Based on: (see Revision 298)	2249
306. Based on: (see Revision 299)	2250
307. Based on: (see Revision 300)	2251
308. Based on: (see Revision 301)	2252
309. Based on: (see Revision 302)	2253
310. Based on: (see Revision 303)	2254
311. Based on: (see Revision 304)	2255
312. Based on: (see Revision 305)	2256
313. Based on: (see Revision 306)	2257
314. Based on: (see Revision 307)	2258
315. Based on: (see Revision 308)	2259
316. Based on: (see Revision 309)	2260
317. Based on: (see Revision 310)	2261
318. Based on: (see Revision 311)	2262
319. Based on: (see Revision 312)	2263
320. Based on: (see Revision 313)	2264
321. Based on: (see Revision 314)	2265
322. Based on: (see Revision 315)	2266
323. Based on: (see Revision 316)	2267



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It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall hold the architect of any errors, omissions or discrepancies they may find. Should any deviation from the contractor documents, design or detail of the architect's design shall be the full responsibility of the Owner and General Contractor.



11. Based on the Building Act	211.100
12. Based on the Building Act	211.100
1. Based on the Building Act	211.100
2. Based on the Building Act	211.100
3. Based on the Building Act	211.100
4. Based on the Building Act	211.100
1. Based on the Building Act	211.100
2. Based on the Building Act	211.100
3. Based on the Building Act	211.100
4. Based on the Building Act	211.100
Revisions	yy-mm-dd



Sign & Seal  
 Project Title: **B STOREYS MIX-USED BUILDING**  
 2524 & 2526 ST., JOHNS STREET, PORT MOODY, BC  
 Project No. 200903  
 Project Start Date: SFFT 2020  
 Sheet Title: Scale: 1:100  
**GROUND FLOOR PLAN**

**Proposed Occupancy**  
 [Symbol] COMMERCIAL  
 [Symbol] COMMON  
 [Symbol] RESIDENTIAL



**A107**

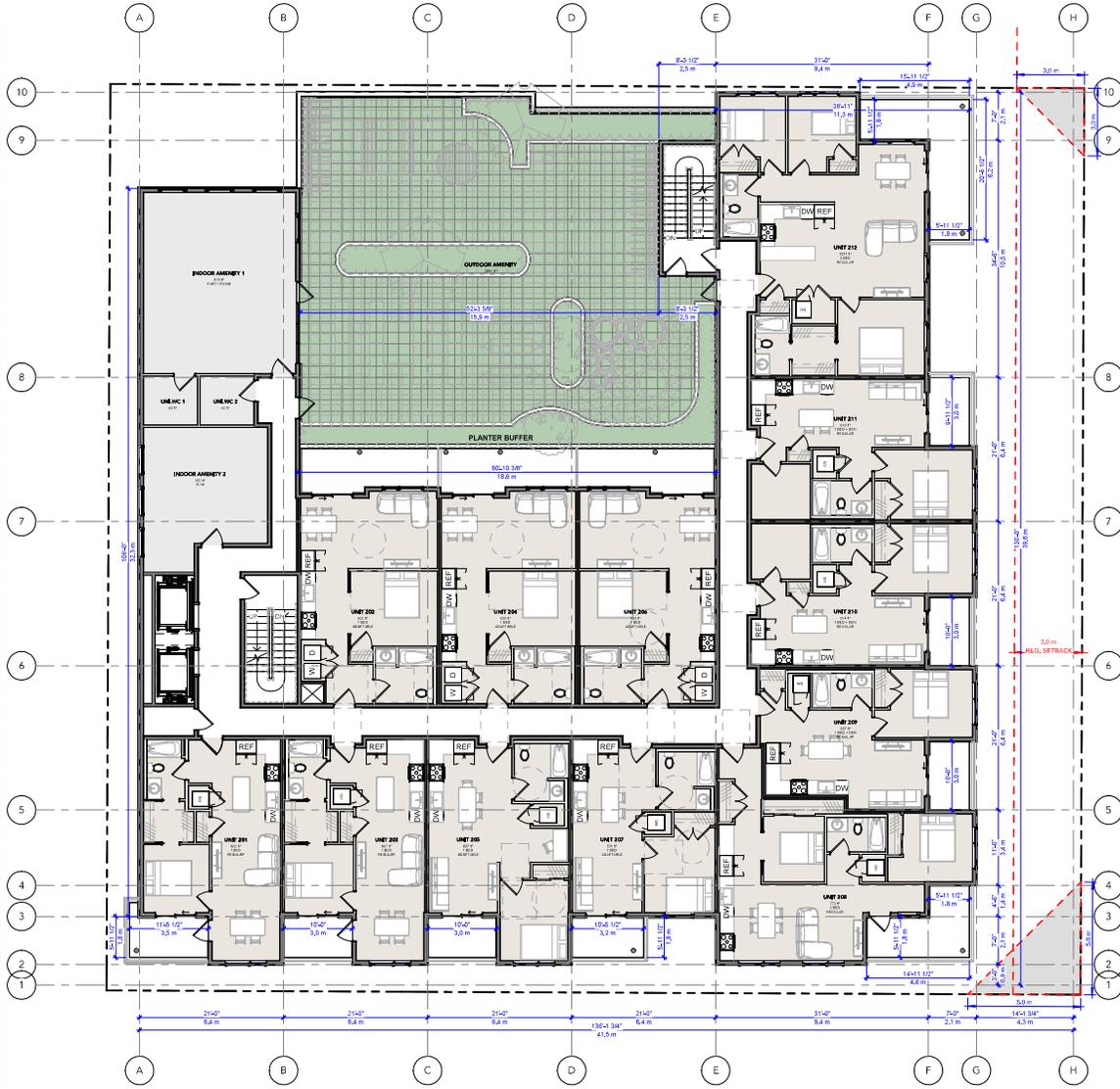
**Mara + Natha**  
ARCHITECTURE

Architect: Robert H. Lee, Architect ABC  
Mara + Natha Architecture Ltd.  
Unit 204 - 130 Brew St., Port Moody, BC V3H 0E3  
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Unit Type Schedule					
Unit #	Strata	Unit Type	Adaptable Unit	Qty	Area
P2					
207	Below Market Rent	1 BED	ADAPTABLE	1	531.4 ft <sup>2</sup>
201	Below Market Rent	1 BED	REGULAR	1	601.6 ft <sup>2</sup>
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204	Below Market Rent	1 BED	ADAPTABLE	1	625.5 ft <sup>2</sup>
206	Below Market Rent	1 BED	ADAPTABLE	1	632.5 ft <sup>2</sup>
209	Below Market Rent	1 BED + DEN	REGULAR	1	656.6 ft <sup>2</sup>
211	Below Market Rent	1 BED + DEN	REGULAR	1	610.3 ft <sup>2</sup>
210	Below Market Rent	1 BED + DEN	REGULAR	1	614.3 ft <sup>2</sup>
208	Below Market Rent	2 BED	REGULAR	1	772.1 ft <sup>2</sup>
212	Below Market Rent	3 BED	REGULAR	1	1,077.3 ft <sup>2</sup>
P3					
308	Market Ownership	1 BED	ADAPTABLE	1	531.4 ft <sup>2</sup>
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311	Rent to Own	1 BED + DEN	REGULAR	1	614.3 ft <sup>2</sup>
309	Rent to Own	2 BED	REGULAR	1	772.1 ft <sup>2</sup>
301	Rent to Own	2 BED + DEN	REGULAR	1	955.1 ft <sup>2</sup>
313	Rent to Own	3 BED	REGULAR	1	1,077.3 ft <sup>2</sup>
P4					
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409	Market Ownership	1 BED	ADAPTABLE	1	625.5 ft <sup>2</sup>
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404	Market Ownership	1 BED + DEN	REGULAR	1	606.6 ft <sup>2</sup>
406	Market Ownership	1 BED + DEN	ADAPTABLE	1	606.6 ft <sup>2</sup>
412	Market Ownership	1 BED + DEN	REGULAR	1	610.3 ft <sup>2</sup>
419	Market Ownership	1 BED + DEN	REGULAR	1	614.3 ft <sup>2</sup>
405	Market Ownership	2 BED	REGULAR	1	772.1 ft <sup>2</sup>
401	Market Ownership	2 BED + DEN	REGULAR	1	955.1 ft <sup>2</sup>
413	Market Ownership	3 BED	REGULAR	1	1,077.3 ft <sup>2</sup>
P5					
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517	Market Ownership	1 BED + DEN	REGULAR	1	601.6 ft <sup>2</sup>
515	Market Ownership	1 BED + DEN	ADAPTABLE	1	606.6 ft <sup>2</sup>
516	Market Ownership	1 BED + DEN	REGULAR	1	606.6 ft <sup>2</sup>
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523	Market Ownership	2 BED + DEN	REGULAR	1	955.1 ft <sup>2</sup>
521	Market Ownership	3 BED	REGULAR	1	1,077.3 ft <sup>2</sup>
P6					
602	Market Ownership	1 BED	ADAPTABLE	1	528.4 ft <sup>2</sup>
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606	Market Ownership	2 BED	ADAPTABLE	1	730.3 ft <sup>2</sup>
601	Market Ownership	2 BED + DEN	REGULAR	1	914.3 ft <sup>2</sup>
611	Market Ownership	3 BED	REGULAR	1	1,077.3 ft <sup>2</sup>
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P7					
702	Market Ownership	1 BED	ADAPTABLE	1	528.4 ft <sup>2</sup>
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706	Market Ownership	2 BED	ADAPTABLE	1	750.3 ft <sup>2</sup>
709	Market Ownership	2 BED	ADAPTABLE	1	812.7 ft <sup>2</sup>
701	Market Ownership	2 BED	ADAPTABLE	1	851.5 ft <sup>2</sup>
708	Market Ownership	3 BED	REGULAR	1	1,032.1 ft <sup>2</sup>
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P8					
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808	Market Ownership	3 BED	REGULAR	1	1,032.1 ft <sup>2</sup>
810	Market Ownership	3 BED	REGULAR	1	1,208.9 ft <sup>2</sup>
Total				10	82



- 1. Based on the Building Act 211/2017
- 2. Based on the Building Act 212/2017
- 3. Based on the Building Act 213/2017
- 4. Based on the Building Act 214/2017
- 5. Based on the Building Act 215/2017
- 6. Based on the Building Act 216/2017
- 7. Based on the Building Act 217/2017
- 8. Based on the Building Act 218/2017
- 9. Based on the Building Act 219/2017
- 10. Based on the Building Act 220/2017



Sign & Seal

Project Title: **8 STOREYS MIX-USED BUILDING**

2024 & 2020 ST., JOHNS STREET, PORT MOODY, BC

Project No. 200903

Project Start Date: SEPT 2020

Sheet Title: **2F FLOORPLAN**

Scale: 1:100

**Proposed Occupancy**

- INDOOR AMENITY
- OUTDOOR AMENITY
- RESIDENTIAL

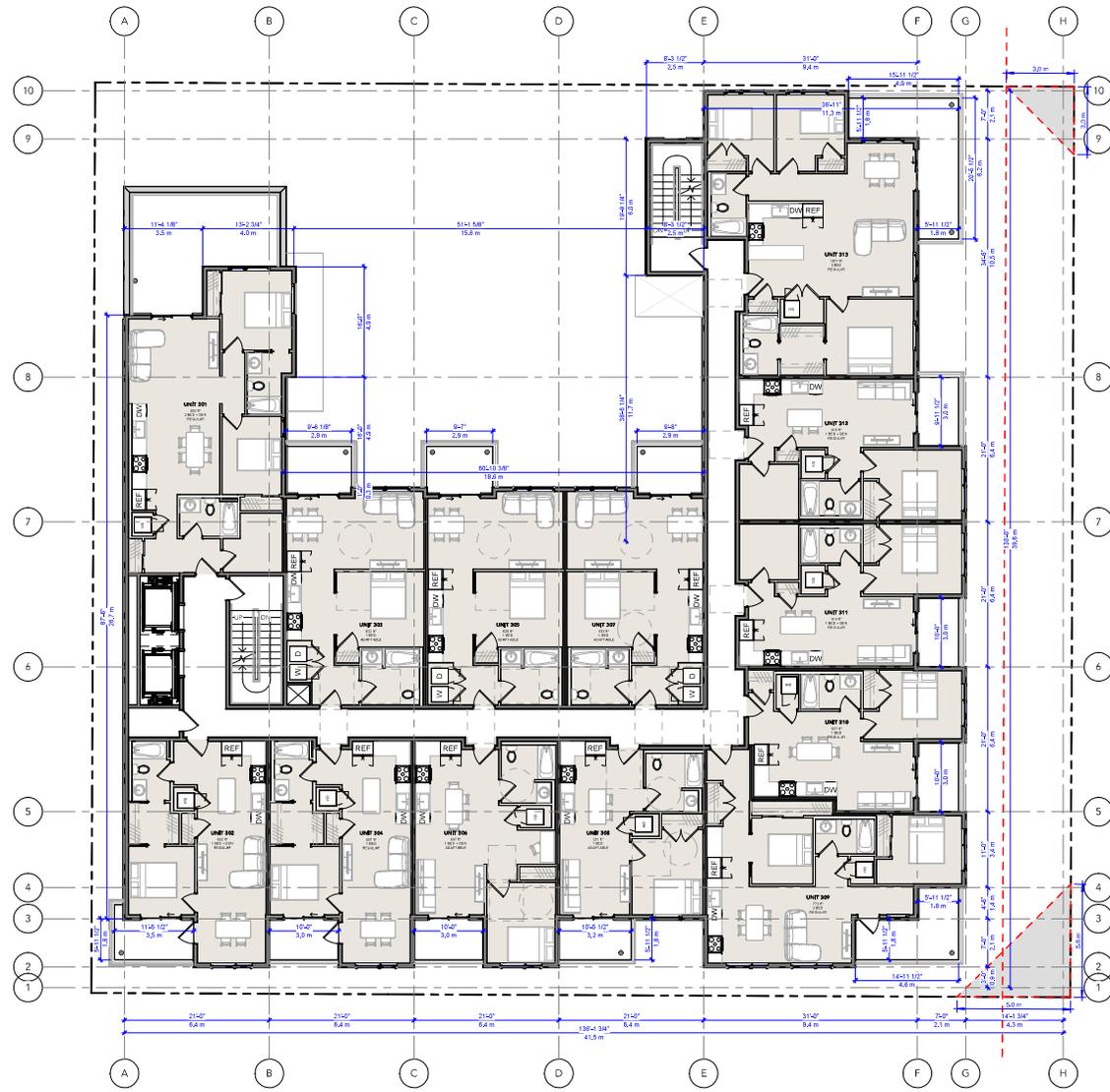
**Mara+ Natha ARCHITECTURE**

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 rlee@maranatha.com  
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Total				10	82



Proposed Occupancy  
 RESIDENTIAL

Revisions	By	Date
11. Based On: (see Revision 09)	211/2021	
10. Based On: (see Revision 09)	211/2021	
9. Based On: (see Revision 09)	211/2021	
8. Based On: (see Revision 09)	211/2021	
7. Based On: (see Revision 09)	211/2021	
6. Based On: (see Revision 09)	211/2021	
5. Based On: (see Revision 09)	211/2021	
4. Based On: (see Revision 09)	211/2021	
3. Based On: (see Revision 09)	211/2021	
2. Based On: (see Revision 09)	211/2021	
1. Based On: (see Revision 09)	211/2021	



Sign & Seal

Project Title: **8 STOREYS MIX-USED BUILDING**

2524 & 2528 ST., JOHNS STREET, PORT MOODY, BC

Project No.: 200903

Project Start Date: SFFT 2020

Sheet Title: **3F FLOORPLAN** Scale: 1:100

**A109**