



City of Port Moody

Bylaw No. 3458

A Bylaw to amend City of Port Moody Zoning Bylaw, 2018, No. 2937 to facilitate rezoning of the properties in the Suter Brook Village neighborhood from General Industrial (M2) and Acreage Reserve (A1) to Comprehensive Development Zone 92 (CD92).

The Council of the City of Port Moody enacts as follows:

1. Citation

- 1.1 This Bylaw may be cited as “City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 92, 2024, No. 3458 (Suter Brook Village) (CD92)”.

2. Amendments

- 2.1 City of Port Moody Zoning Bylaw, 2018, No. 2937 is amended by rezoning the lands shown on the map in Schedule A from General Industrial (M2) and Acreage Reserve (A1) to Comprehensive Development Zone 92 (CD92).
- 2.2 Bylaw No. 2937 is further amended by adding the following section CD92 to Schedule D:

“CD92. Comprehensive Development Zone 92 (CD92)

CD92.1 Intent

The intent of this zone is to provide for higher density, mixed-use Development in the Suter Brook Village neighborhood.

CD92.2 Definitions

For the purposes of the CD92 zone only, the following definitions will apply:

“AFFORDABLE HOUSING UNIT” means a multi-residential unit where the rent is based on the Housing Income Limits (“HILs”) as published by BC Housing on an annual basis, with monthly rents calculated as follows: Thirty (30%) Percent x the applicable HIL/12.

“BUILDING” means a Structure wholly or partly enclosed by a roof and used for the shelter or accommodation of persons, animals, or possessions, and includes a portion of a Building as well as any ancillary parking structures.

For the CD92 zone, the definition applies to any of the Buildings identified in Schedule C, and a reference to “Building 1” or “Building 12”, for example, refers to the particular Building so numbered and identified in Schedule C.

“BUILDING HEIGHT” means the height of Buildings shown in Schedule B.

“MARKET RENTAL HOUSING UNIT” means a multi-residential unit that is made available for rent to a tenant for residential use, and where the monthly rent payable for any unit may be market rent (as determined by the Owner and the respective tenant), subject only to the provisions of the *Residential Tenancy Act* [SBC 2002], c. 78, as amended.

“PARCEL” means any one parcel so designated in Schedule B. Parcel A means the area designated “Parcel A” on the sketch attached as Schedule B hereto and “Parcel B”, “Parcel C”, “Parcel D”, and “Parcel E” each mean the area so designated in Schedule B.

“STRATA HOUSING UNIT” means any Dwelling Unit located in Building 8 and Building 6 on Parcel D.

CD92.3 Uses

The following uses are permitted in the CD92 zone, with the location of the uses as indicated in Schedule C:

Principal Use:

- (1) Commercial – Artist Studio – Type A
- (2) Commercial – Child Care
- (3) Commercial – Commercial Athletic and Recreation
- (4) Commercial – Community Care
- (5) Commercial – Personal Service
- (6) Commercial – Restaurant
- (7) Commercial – Retail
- (8) Commercial – Retail Food Service
- (9) Office
- (10) Multi-Residential

Site Specific Principal Use:

1. One (1) Licensee Retail Store on the property legally described as:

“AIR SPACE PARCEL 10 DISTRICT LOT 233
GROUP 1 NEW WESTMINSTER DISTRICT AIR
SPACE PLAN BCP37032, PID 027-561-992”

Site Specific Principal Use:

2. One (1) Cannabis Retail Use on the property legally described as:

“LOT 2, DISTRICT LOT 233, GROUP 1, NWD, PLAN
BCP25118, EXCEPT PART IN AIR SPACE PLAN
BCP39090, PID 026-759-438”

Secondary Use:

1. Home Occupation – Type A

CD92.4 Building Height, Siting, and Form

- CD92.4.1 Buildings shall not exceed the number of Storeys indicated in Schedule B.
- CD92.4.2 The maximum height of buildings, as measured from Grade to the highest point of the roof, shall exclude all roof top mechanical equipment, elevator run-on shafts and unenclosed roof top amenity structures.
- CD92.4.3 The siting of Buildings and, where applicable, the separation between Buildings shall be in general conformity with Schedule B.
- CD92.4.4 The forms of all Buildings, including Building scale, massing, interrelationship of the built form components and the locations of access points, and open areas shall be in general accordance with Schedule C.

CD92.5 Density

- CD92.5.1 The maximum permitted FAR on each Parcel is established in the below table:

Parcel	Maximum FAR
Parcel A	1.65
Parcel B	3.02
Parcel C	1.96
Parcel D	4.66
Parcel E	3.37

- CD92.5.2 Parcel D is required to include a six (6) Storey, 5,763.9m² (62,042.1ft²) Building, containing fifty (50) Affordable Housing Units and twenty-six (26) Market Rental Housing Units.
- CD92.5.3 A minimum of 10,817.0m² (116,433.3ft²) of Commercial Use space is required and shall be located exclusively on Parcel C and Parcel E.
- CD92.5.4 Further to section CD92.5.3, the permitted location of the minimum required Commercial Use space per Building shall be as outlined in Schedule C.
- CD92.5.5 A minimum of 17,089.4m² (183,948.0ft²) of Office Use is required, and shall be located exclusively on Parcel E.
- CD92.5.6 Further to section CD92.5.5, Building 15 and Building 13, excluding the areas of Commercial Use identified in Schedule C, shall be used generally for Office Use.
- CD92.5.7 The maximum number of dwelling units permitted in the CD92 Zone is 1,472. The number of Dwelling Units permitted per Parcel is established in the table below:

Parcel	Minimum Dwelling Units
Parcel A	129
Parcel B	176
Parcel C	112
Parcel D	512
Parcel E	543

- CD92.5.8 Notwithstanding section CD92.5.7, modifications involving the consolidation or subdivision of Dwelling Units may be considered, so long as the Dwelling Unit is not a designated rental unit and the relevant Parcel's FAR is not affected.
- CD92.5.9 Modifications that impact areas previously exempt from FAR calculations that are considered to be minor in nature by staff, and that do not impact the Building's footprint, use or function, may be considered under a Minor Development Permit.

CD92.6 Setbacks

- CD92.6.1 Buildings in the CD92 zone shall be setback from Lot lines generally in accordance with the following:

92.6.1.1 Where a Lot boundary line abuts the boundary of loco Road or Murray Street the required minimum Setback is 6.5 metres.

92.6.1.2 Notwithstanding section CD92.6.1.1, where indicated as “Variance 3” on Schedule D, the required minimum Setback is 5.5 metres.

92.6.1.3 Where a Lot boundary line abuts the North Boundary of Suter Brook Village Way the required minimum Setback is 1.0 metres.

92.6.1.4 Where a Lot boundary line abuts the South boundary of Suter Brook Village Way the required minimum Setback is 1.0 metres as shown as “Variance 2” in Schedule D.

92.6.1.5 Where a Lot boundary line abuts the West boundary of Morrissey Road the required minimum Setback is 2.5 metres.

92.6.1.6 Where a Lot boundary line abuts the East boundary of Morrissey Road the required minimum Setback is 1.0 metres as shown as “Variance 1” on Schedule D.

92.6.1.7 Where a Lot boundary line abuts Capilano Road the required minimum Setback is 2.5 metres.

CD92.6.2 Where a Lot boundary line abuts another Lot boundary line the required minimum setback is 2.5 metres.

CD92.6.3 No above grade Building wall may be closer than 3.0 meters to the boundary of the Suter Brook Village Greenway.

CD92.6.4 For underground parking structures, the setback from a below grade or partially below grade parking structure to a Lot boundary, shall be a minimum of 0.3 metres.

CD92.6.5 For protrusions (including, but not limited to, balconies, bay windows, Decks, porches, eaves, cornices, leaders, gutters, chimneys, canopies, or Sunlight Control Projections) the minimum distance to an abutting Lot Line as permitted elsewhere in this Bylaw may be reduced by 1.2m to a maximum of 50% of the required Setback.

92.6.5.1 Notwithstanding section CD92.6.5, where a Building’s minimum required Setback is 3.0 metres or less, no protrusions will be permitted.

CD92.7 Parking, Loading, and Bicycle Parking

CD92.7.1 The provision of parking, loading and bicycle parking for Buildings in the CD92 zone shall comply with the applicable regulations in section 6.0 of City of Port Moody Zoning Bylaw, 2018, No. 2937, except where amended by the following regulations.

CD92.7.2 Parking in the CD92 zone shall be provided in accordance with the following requirements:

Type of Use	Required Parking
Multi-Residential	<u>Parcel A</u> 1.5 spaces per Dwelling Unit 0.2 residential visitor spaces per Dwelling Unit
	<u>Parcel B</u> 1.5 spaces per Dwelling Unit 0.2 residential visitor spaces per Dwelling Unit
	<u>Parcel C</u> 1.5 spaces per Dwelling Unit 0.2 residential visitor spaces per Dwelling Unit
	<u>Parcel D</u> 0.80 spaces per Affordable Housing Unit 1.00 spaces per Market Rental Housing Unit 1.33 spaces per Strata Housing Unit 0.12 visitor spaces per Strata Housing Unit, Affordable Housing Unit, and Market Rental Housing Unit 100 spaces for Office Use
	<u>Parcel E</u> 1.24 spaces per Dwelling Unit 0.2 residential visitor spaces per Dwelling Unit
Commercial Use	1 space per 38m ²
Office Use	1 space per 58m ²

CD92.7.3 All Off-Street parking spaces designated for Commercial uses must be located on Parcel E.

CD92.7.4 Long-term off-street bicycle parking spaces shall be provided at a ratio of 1.5 spaces per dwelling unit in Parcel D; in addition, six (6) short-term bicycle parking spaces in proximity to the main entrances are required for each building on Parcel D.

CD92.7.5 Each Parcel shall have a minimum of one non-commercial car wash facility with drains connected to the sanitary sewer system.

CD92.8 Amenity Space

CD92.8.1 Indoor recreation or other amenity space will be provided for the use of the residents at a minimum area of 2.4m² (25.8ft²) per Dwelling Unit.

CD92.9 Conditions of Use

CD92.9.1 Sprinkler protection shall be provided for all unenclosed balconies, Decks, Porches, and patios intended for residential use.

CD92.9.2 Notwithstanding section CD92.5.6, Commercial – Child Care use may be permitted as a Principal use in the second Storey of Building 15.

CD92.9.3 Notwithstanding CD92.5.6, and excluding the second Storey of Building 15, Commercial – Personal Service businesses that are related to human health and wellness, and that are compatible with and do not unduly affect Office uses via offensive noise, vibration, odours, heat, or traffic, are permitted as a Principal Use in Building 15 and Building 13.

3. Attachments and Schedules

3.1 The following schedules are attached to and form part of this Bylaw:

- Schedule A – Location Map;
- Schedule B – Building Siting and Heights;
- Schedule C – Land Use Locations; and
- Schedule D – Setback Variances.

4. Severability

- 4.1 If a portion of this Bylaw is found invalid by a court, it will be severed, and the remainder of the Bylaw will remain in effect.

Read a first time this 11th day of June, 2024.

Read a second time this 11th day of June, 2024.

Read a third time this 11th day of June, 2024.

Adopted this ____ day of _____, 2024.

M. Lahti
Mayor

S. Lam
City Clerk

I hereby certify that the above is a true copy of Bylaw No. 3458 of the City of Port Moody.

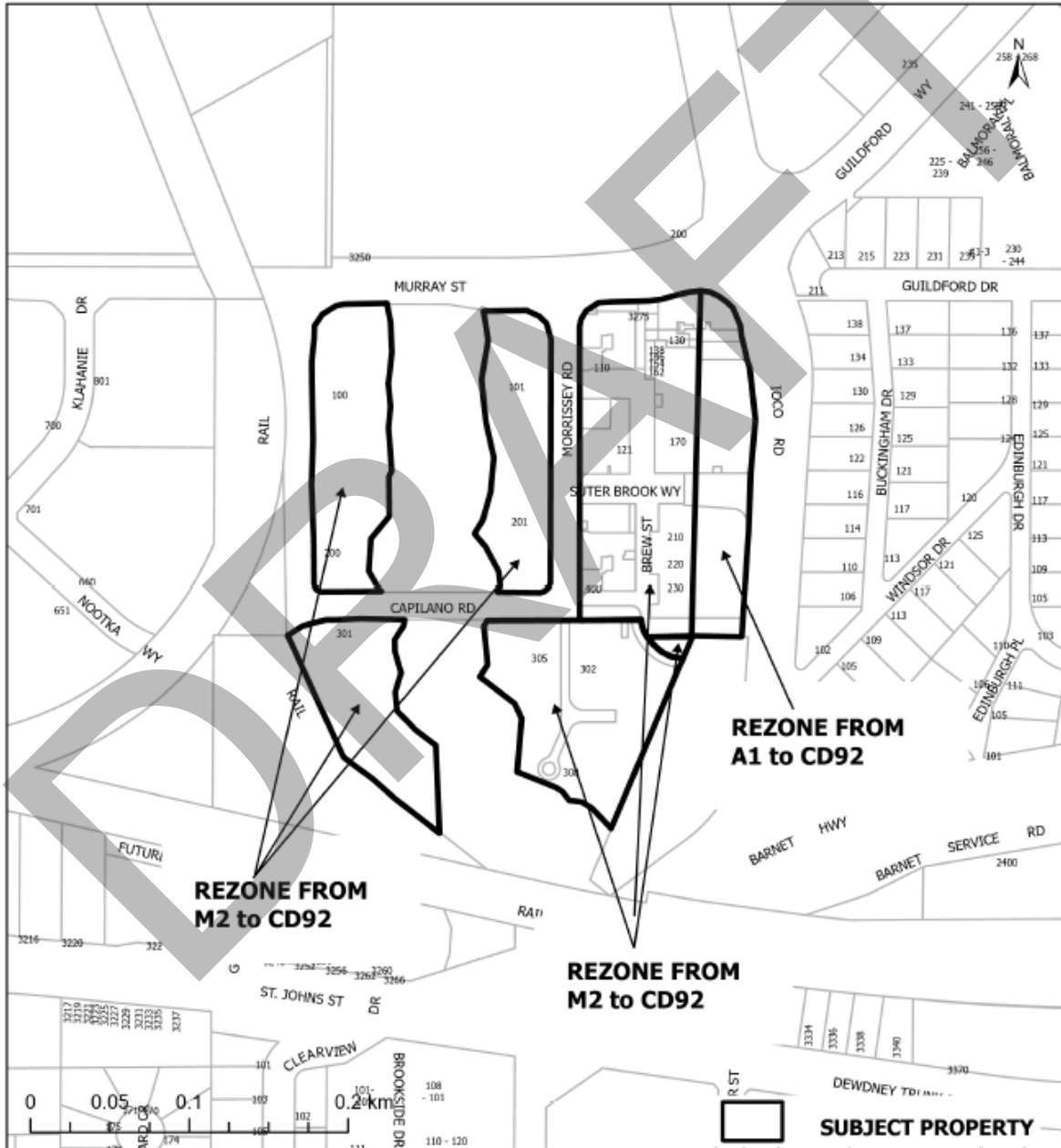
S. Lam
City Clerk

Schedule A – Location Map

This is a certified true copy of the map referred to in section 2 of City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 92, 2024, No. 3458 (Suter Brook Village) (CD92).

Corporate Officer

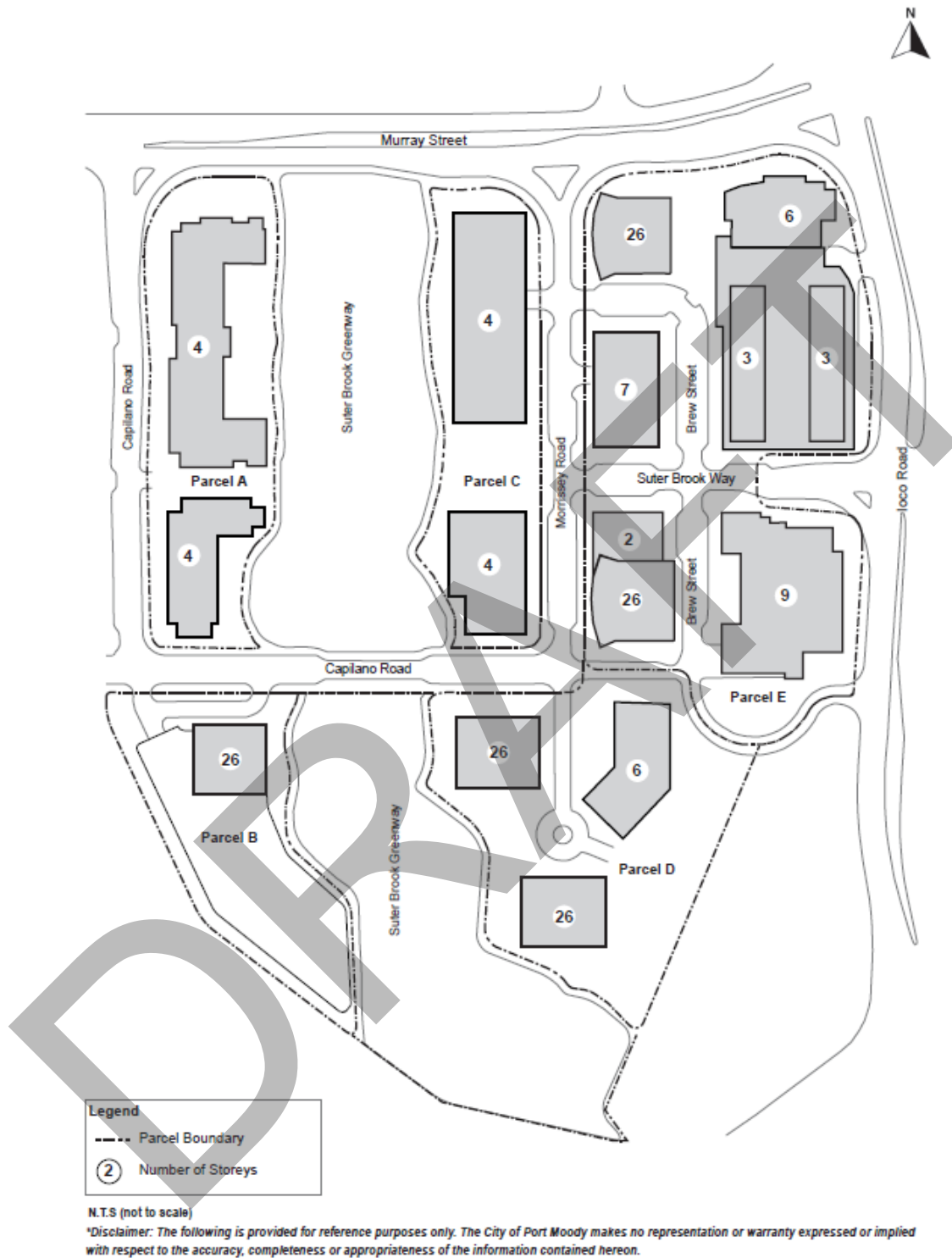
LOCATION MAP - Suter Brook Village



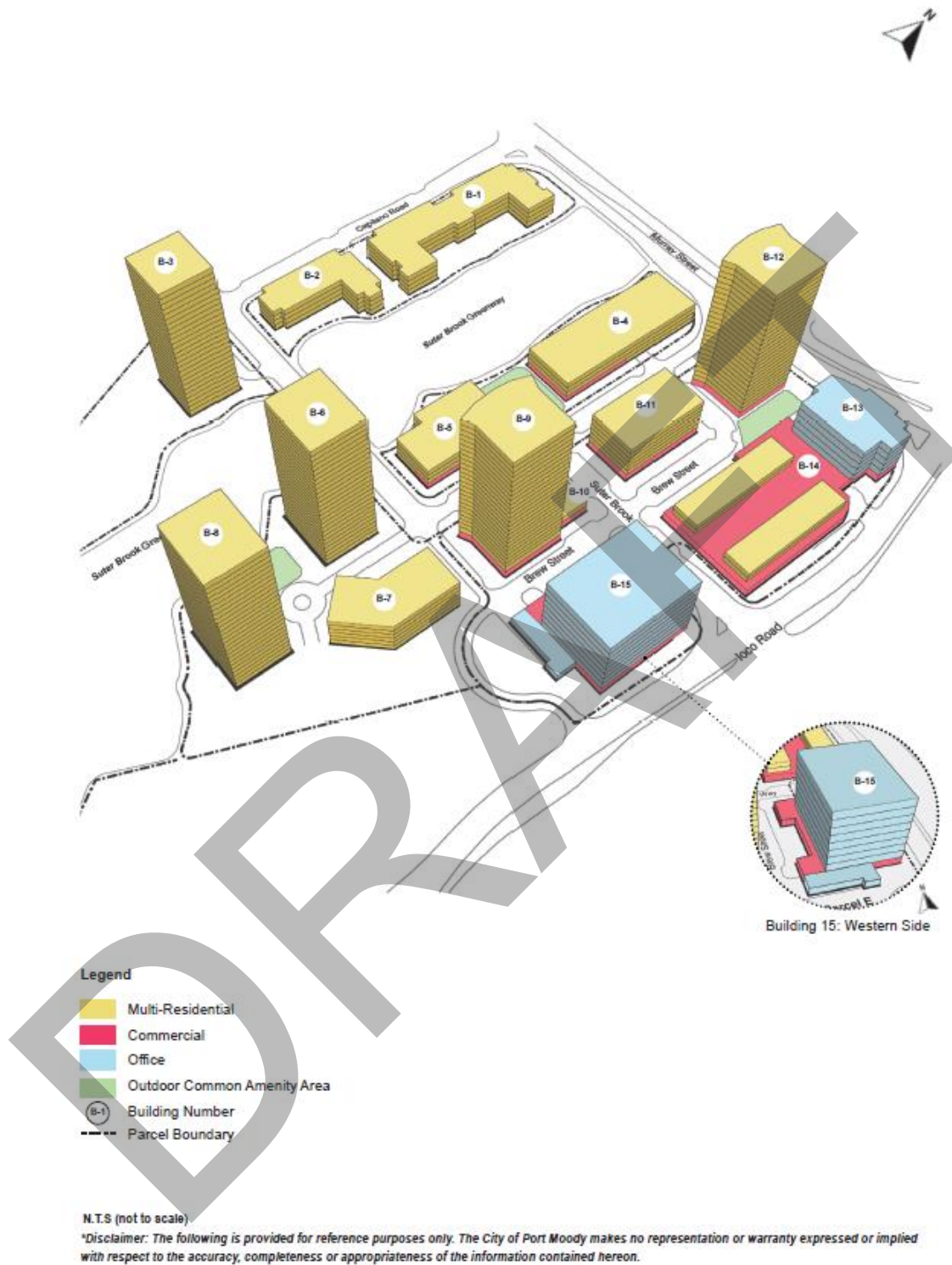
File: H:\Mapping Requests - Internal\ LOCATION MAPS -Suter Brook Greenway\Suter Brook Greenway Bylaw Maps\Suterbrook_Village_bylaw_Map.pdf

Last Modified: 5/10/2024

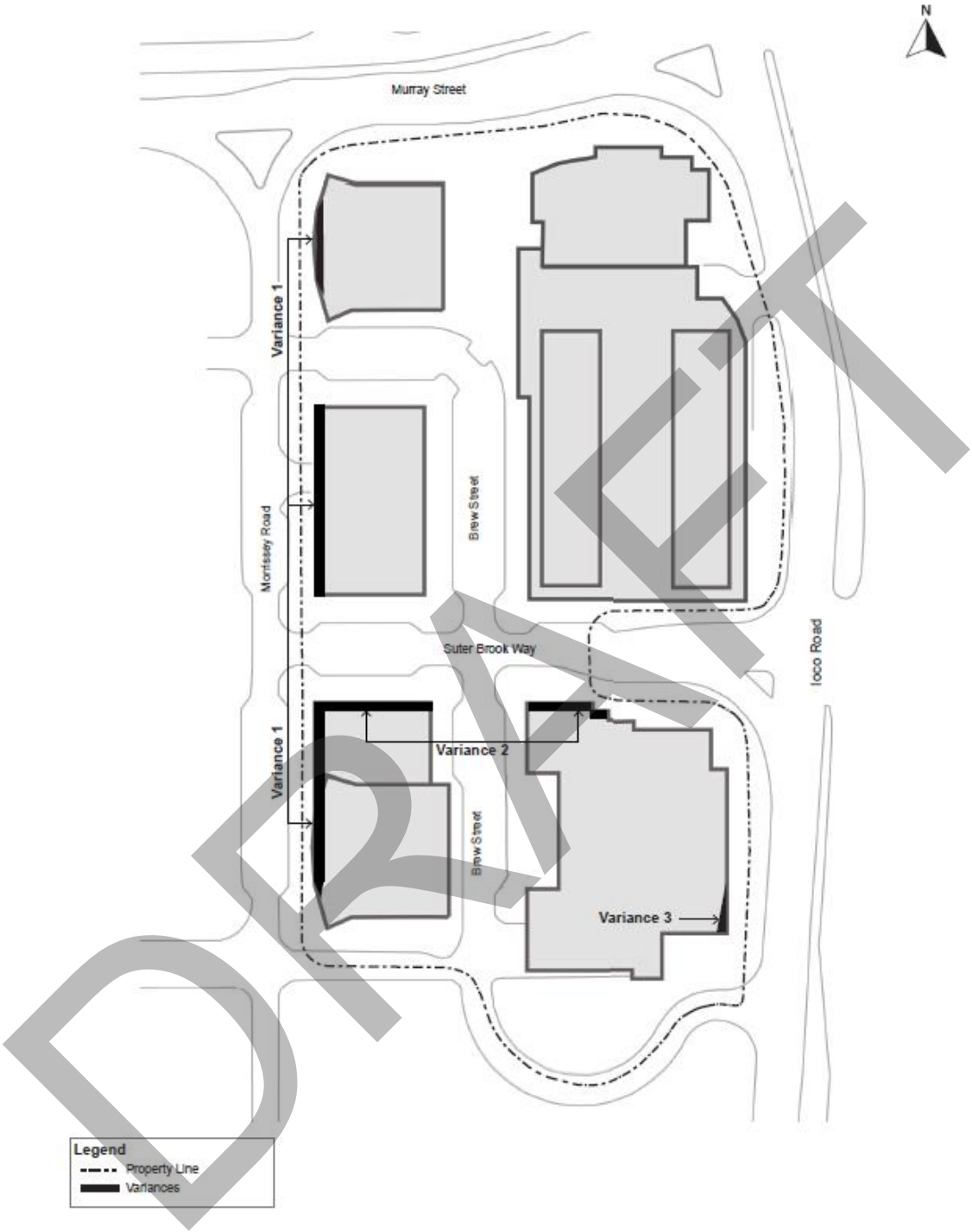
Schedule B – Building Siting and Heights



Schedule C – Land Use Locations



Schedule D – Setback Variances



N.T.S (not to scale)

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