



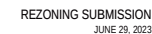
CLIENT	CODE
PCI DEVELOPMENTS 3030 W Georgia #300 Vancouver, BC V6E 2Y3	CFT/Jensen Hughes 1501 Rossar Ave #500 Burnaby, BC V5C 6R4
CONTACT PHONE: (604) 684-1151	CONTACT PHONE: (604) 684-2384
ARCHITECTURAL	GEOTECHNICAL
PERKINS + WILL CANADA ARCHITECTS CO. 1220 HOMER STREET VANCOUVER, BC V6E 2Y5	GEOPACIFIC 1778 W 75th Ave Vancouver, BC V6P 3T1
CONTACT PHONE: (604) 684-5446	CONTACT PHONE: (604) 428-9522
LANDSCAPE	ARBORIST
VAN DER ZALM + ASSOCIATES 102 - 350 KINGSMWAY VANCOUVER, BC V6T 3J7	DIAMOND HEAD 3559 Commercial St Vancouver, BC V6N 4E8
CONTACT PHONE: (604) 882-0024	CONTACT PHONE: (604) 733-4886
COMMUNITY ENGAGEMENT	TRAFFIC
POTTINGER BIRD COMMUNITY RELATIONS 535 Thruway St #502 Vancouver, BC V6E 3L2	BUNT & ASSOCIATES 1050 W Pender St #1550 Vancouver, BC V6E 3S7
CONTACT PHONE: (604) 801-5008	CONTACT PHONE: (604) 885-6427
MECHANICAL	PUBLIC ART
TD SYSTEMS 20295 113th Ave Unit#216 Maple Ridge, BC V2X 4B9	BALLARD FINE ART 450-510 W Pender St Vancouver, BC V6B 1T3
CONTACT PHONE: (604) 504-5460	CONTACT PHONE: (604) 922-6843
ELECTRICAL	SUSTAINABILITY / LEED
NEMETZ & ASSOCIATES 2009 W 4th Ave, Vancouver, BC V6J 1N3	PERKINS + WILL CANADA ARCHITECTS CO. 1220 Homer St Vancouver, BC V6E 2Y5
CONTACT PHONE: (604) 736-6562	CONTACT PHONE: (604) 684-5446
CIVIL	SURVEY
BINNE 300-4940 Canada Way Burnaby, BC V5G 4K6	BUTLER SUNDVICK 19089 94 Ave #4 Surrey, BC V4N 3S4
CONTACT PHONE: (604) 420-1721	CONTACT PHONE: (604) 513-9611
ENVIRONMENTAL	ELEVATOR
KEYSTONE ENVIRONMENTAL 320-4400 Denison St Burnaby, BC V5G 4G3	GUNN 1020 Mainland St #166 Vancouver, BC V6B 2T5
CONTACT PHONE: (604) 430-0671	CONTACT PHONE: (604) 630-2276
STRUCTURE	WELLBEING
GLOTMAN SIMPSON 1561 W 5th Ave Vancouver, BC V6J 1N5	HAPPY CITIES 312 Main St Second floor Vancouver, BC V6A 2T2
CONTACT PHONE: (604) 734-8822	



PCI - SPRING STREET

60 Williams Street and
3006-3022 Spring Street
Port Moody, BC

REZONING SUBMISSION
ARCHITECTURE DRAWING SET
JUNE 29, 2023



PROJECT NUMBER 411833

REVISIONS

TITLE _____

PROJECT STATISTICS

SHEET NUMBER

G-00-01

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PROJECT NAME	60 WILLIAMS STREET AND 3006-3022 SPRING STREET
PROJECT NUMBER	411833
CIVIC ADDRESS	3006, 3008, 3010, 3020, 3022 Spring Street, Port Moody, BC
LEGAL DESCRIPTION	Parcel 1, District Lot 231, Plan BCP35562, Lot 1st District Lots 190 and 201, Plan 50472
CURRENT ZONING	MI (Light Industrial)
PROPOSED ZONING	CD
COMMUNITY PLAN	City of Port Moody Official Community Plan, 2017
PRIMARY APPLICABLE CODES:	City of Port Moody Bylaws, 2017 City of Columbia, Bylaw No. 2018

SITE SIZE		
GROSS SITE AREA (INCLUDING 60 WILLIAMS)		11,611.02 sq ft (24,980 sq)
GROSS PLOT AREA (EXCLUDING 60 WILLIAMS)		3,138.23 sq ft (86,040 sq)
NET PLOT SITE AREA (EXCLUDING EXCLUDING 60 WILLIAMS, EXCLUDING RIPARIAN)		6,992.81sq ft (75,720 sq)
SITE COVERAGE - GROSS PLOT SITE AREA		48.89 %
BUILDING HEIGHT		
	MAX ALLOWED	PROVIDED
BUILDING STOREYS	26	39 + 1 ROOF TOP AMENITY
MAX BUILDING HEIGHT	N/A	134.5 m (439' 8")

DRAWING INDEX - RZ

SHEET NUMBER	SHEET NAME	ISSUED FOR REZONING
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G-00-GENERAL	
G-00-01 PROJECT STATISTICS	
G-00-02 PARKING STATISTICS	
G-00-03 SITE PLAN DIAGRAM	
G-00-04 CONTEXT PLAN	
G-00-05 SITE SURVEY	
G-00-06 AERIAL PHOTO	
G-00-07 SITE SERVICING PLAN	
G-00-08 SITE PLAN - SETBACKS	
G-00-09 SITE PLAN - SITE COVERAGE	
G-00-10 SHADOW STUDY	
00-ARCHITECTURE	
00-0001 SITE PLAN - GRADE	
00-0002 SITE PLAN - ROOF	
00-0003 FLOOR PLAN - PARKING P4	
00-0004 FLOOR PLAN - PARKING P3	
00-0005 FLOOR PLAN - PARKING P2	
00-0006 FLOOR PLAN - PARKING P1	
00-0007 FLOOR PLAN - GROUND LEVEL 01	
00-0008 FLOOR PLAN - POOLUM LEVEL 02	
00-0009 FLOOR PLAN - POOLUM ROOF LEVEL 03	
00-0010 FLOOR PLAN - TOWER TYPICAL LOWER LEVEL	
00-0011 FLOOR PLAN - TOWER E ROOF	
00-0012 FLOOR PLAN - TOWER TYPICAL MID LEVEL	
00-0013 FLOOR PLAN - TOWER TYPICAL UPPER LEVEL	
00-0014 FLOOR PLAN - TOWER ROOF TOP AMENITY	
00-0015 FLOOR PLAN - TOWER ROOF TOP MECH	
00-0016 SECTION N-S	
00-0017 SECTION E-W	
00-0018 BUILDING ELEVATION - SOUTH	
00-0019 BUILDING ELEVATION - EAST & WEST	

03-FAR		
FAR-00-00	COVER SHEET	●
FAR-001	FAR SUMMARY	●
FAR-100	FLOOR PLAN - LEVEL 01	●
FAR-101	FLOOR PLAN - LEVEL 02	●
FAR-102	FLOOR PLAN - LEVEL 03	●
FAR-103	FLOOR PLAN - WEST TOWER	●
FAR-107	FLOOR PLAN - EAST TOWER	●
04-LANDS		
L-00-01	GROUND LEVEL 01	●
L-00-02	PODIUM ROOF LEVEL 03	●
L-00-03	TOWER ROOF TOP LEVEL 40	●

PROVIDED FAR AREA

ARTIST STUDIO	402.93 m²	4337 ₺
CRU	5314.68 m²	57207 ₺
MARKET RENTAL	57646.79 m²	620505 ₺
TOTAL	63364.39 m²	682049 ₺

PROVIDED FAR EXCLUSION AREA

AMENITY	2120.79 m²	22828 sq ft
TOTAL	2120.79 m²	22828 sq ft

FAR CALCULATION

FAR AREA	63364.39 m ²	682049 ft ²
SITE AREA	9108 m ²	98040 ft ²
FSD		6 m

OPEN BALCONY

12% OF ALLOWABLE FSR	7544.45 m ²	81207 ft ²
PROVIDED	7573.27 m ²	81518 ft ²
PROVIDED GFA RATIO		12 %

MARKET RENTAL - UNIT MIX

	RESIDENTIAL UNITS MIX - WEST TOWER				
UNIT TYPE	STUDIO	1BR	2BR	3BR	# UNITS

42	WMR ROOF				
41	ROOF				
40	AMENITY				
39	3	6	3	0	
38	3	6	3	0	
37	3	6	3	0	
36	3	6	3	0	
35	3	6	3	0	
34	3	6	3	0	
33	3	6	3	0	
32	3	6	3	0	
31	3	6	3	0	
30	3	6	3	0	
29	3	6	3	0	
28	3	6	3	0	
27	3	6	3	0	
26	3	6	3	0	
25	3	6	3	0	
24	3	6	3	0	
23	3	6	3	0	
22	3	6	3	0	
21	3	6	3	0	
20	3	6	3	0	
19	3	6	3	0	
18	2	8	2	0	
17	2	8	2	0	
16	2	8	2	0	
15	2	8	2	0	
14	1	6	1	2	
13	1	6	1	2	
12	1	6	1	2	
11	1	6	1	2	
10	1	6	1	2	
9	1	6	1	2	
8	1	6	1	2	
7	1	6	1	2	
6	1	6	1	2	
5	1	6	1	2	
4	1	6	1	2	
3	AMENITY				
2	GROCERY				
1	CRUI.				
# UNITS	82	224	82	22	

WEST TOWER UNITS		BELOW MARKET		MARKET	
S. + 1BR	306	14	70%	292	7%
2 BR	82	4	20%	78	2%
3BR	22	2	10%	20	10%
TOTAL	410	20	100%	390	100%

TOTAL BELOW MARKET UNIT MIX RATIO			
S. + 1BR		29	67%
2 BR		9	21%
3BR		5	12%
TOTAL		43	100%

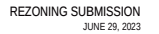
TOTAL MARKET UNIT MIX RATIO			
S. + 1BR		607	75%
2 BR		166	20%
3BR		41	5%
TOTAL		814	100%

TOTAL UNIT MIX RATIO			
S. + 1BR		636	74%
2 BR		175	20%
3BR		46	5%
TOTAL		857	100%

		RESIDENTIAL UNITS MIX - EAST TOWER			
UNIT TYPE	STUDIO	1BR	2BR	3BR	# UNITS

	42	EMR ROOF			
	41	ROOF			
	40	AMENITY			
12	39	3	6	3	0
12	38	3	6	3	0
12	37	3	6	3	0
12	36	3	6	3	0
12	35	3	6	3	0
12	34	3	6	3	0
12	33	3	6	3	0
12	32	3	6	3	0
12	31	3	6	3	0
12	30	3	6	3	0
12	29	3	6	3	0
12	28	3	6	3	0
12	27	3	6	3	0
12	26	3	6	3	0
12	25	3	6	3	0
12	24	3	6	3	0
12	23	3	6	3	0
12	22	3	6	3	0
12	21	3	6	3	0
12	20	3	6	3	0
12	19	3	6	3	0
12	18	2	8	2	0
12	17	2	8	2	0
12	16	2	8	2	0
12	15	2	8	2	0
12	14	2	8	2	0
10	13	2	8	2	0
10	12	1	8	2	0
10	11	1	8	2	3
10	10	1	8	2	3
10	9	1	8	2	3
10	8	1	8	2	3
10	7	1	8	2	3
10	6	1	8	2	3
10	5	1	8	2	3
10	4	1	8	2	3
	3	AMENITY			
	2	GROCERY			
	1	CRUISE			
#	# UNITS	84	246	93	24

	EAST TOWER UNITS		BELOW MARKET		MARKET	
5%	S. + 1BR	330	15	65%	315	74
0%	2 BR	93	5	22%	88	21
5%	3BR	24	3	13%	21	5
0%	TOTAL	447	23	100%	424	100



RESIDENTIAL VISITOR PARKING	BYLAW REFERENCE	DWELLING UNITS	MINIMUM REQUIRED	PROPOSED BY BLUNT *	PROVIDED
	City of Port Moody Zoning By-law 6.3.1				
Market Rental	0.2 / unit for the first 100 units, then 0.1 / unit (0.1 unit proposed*)	814	91	Shared parking *	TOTAL 166 (SHARED)
Below Market Rental	0.1 / unit (0.1 unit proposed*)	43	21	Shared parking *	
	TOTAL		4	Shared parking *	

ARTIST STUDIO PARKING	BYLAW REFERENCE	DWELLING UNITS	MINIMUM REQUIRED	PROPOSED BY BUNT *	PROVIDED
	City of Port Moody Zoning By-law 6.3.1				
Residents	1 / unit (0.5 / unit proposed*)	16	16	8	
Visitors	0.2 / unit (0.1 / unit proposed*)		3	Shared parking *	
			19		
	TOTAL				TOTAL

REQUIRED			PROVIDED	
	BYLAW REFERENCE	GFA (sq' / m²)	MINIMUM REQUIRED	COMMERCIAL PARKING (ACC. PARKING INCLUDING)
MIXED EMPLOYMENT PARKING	CHASING By-law 5.1.1			
GROCERY	1 space per 40m² of Floor Area	45,780 sq' / 3789 m²	95	
RETAIL	1 space per 40m² of Floor Area	16,000 sq' / 1488 m²	37	
	TOTAL		132	166 (SHARED)
ELECTRICAL VEHICLE PARKING			MIN PARKING SPACE REQUIRED	MINIMUM REQUIRED
	BYLAW REFERENCE			COMMERCIAL EV PARKING
EV Parking for commercial use	City of Port Moody Zoning By-law 6.1.1.1		132	28
	Min of 20% of parking spaces			
	TOTAL		28	TOTAL 3

COMMERCIAL LOADING	BYLAW REFERENCE		GFA (sq / m²)	MINIMUM REQUIRED	BUILT MINIMUM SUPPLY *	BUILT PROPOSED PROVISION *	COMMERCIAL LOADING
	City of Port Moody Zoning Bylaw 6.9.5						
	Total GFA of Buildings	Spaces Required					
	Less than 484.5m² (5,000)	1			CLASS A	CLASS A	CLASS A
	484.5m² to 2,322.5m² (25,000)	2	62,100 sq / 5,769.31 m²		CLASS B	CLASS B	CLASS B
	Each additional 2,322.5m² or fraction thereof in excess of 1.142m² (12,210 sq)	1 additional			CLASS C	CLASS C	CLASS C
		TOTAL			5	8	5

REQUIRED			PROVIDED	
ARTIST STUDIO	BYLAW REFERENCE	DWELLING UNITS	MINIMUM REQUIRED	ARTIST STUDIO PARKING
	City of Port Moody Zoning Bylaw 6.10.3			
LONG TERM SPACES	1/unit	16	16	21
SHORT TERM SPACES	None for <750 SM	16	0	0
	TOTAL		16	TOTAL 21

- BICYCLE LOCKERS MIN. 10%
- STACKED / WALL MOUNTED MAX. 60%
- OVERSIZED MIN. 5%

RES BICYCLE PARKING		REQUIRED		PROVIDED																		
		BY-LAW REFERENCE City of Port Moody Zoning By-law 6.10.3	DWELLING UNITS	MINIMUM REQUIRED **	RESIDENTIAL LONG TERM BIK PARKING (LVL P3)																	
LONG TERM SPACES	15 spaces per dwelling unit, centralized			<table><tr><td>TYPE</td><td></td><td></td></tr><tr><td>BICYCLE LOCKERS</td><td>MIN. 10%</td><td>381 (12.27%)</td></tr><tr><td>STACKED / WALL MOUNTED</td><td>MAX. 60%</td><td>760 (57.92%)</td></tr><tr><td>OVERSIDE</td><td>MIN. 5%</td><td>75 (5.72%)</td></tr><tr><td>NORMAL HORIZONTAL</td><td></td><td>334 (25.09%)</td></tr><tr><td>857 TOTAL</td><td>1,585</td><td>TOTAL 1,312 (100%)</td></tr></table>	TYPE			BICYCLE LOCKERS	MIN. 10%	381 (12.27%)	STACKED / WALL MOUNTED	MAX. 60%	760 (57.92%)	OVERSIDE	MIN. 5%	75 (5.72%)	NORMAL HORIZONTAL		334 (25.09%)	857 TOTAL	1,585	TOTAL 1,312 (100%)
TYPE																						
BICYCLE LOCKERS	MIN. 10%	381 (12.27%)																				
STACKED / WALL MOUNTED	MAX. 60%	760 (57.92%)																				
OVERSIDE	MIN. 5%	75 (5.72%)																				
NORMAL HORIZONTAL		334 (25.09%)																				
857 TOTAL	1,585	TOTAL 1,312 (100%)																				
SHORT TERM SPACES	6 spaces for each apartment building on a 6 or 10 dwelling units; not applicable to buildings with less than 10 units.			<table><tr><th colspan="2">PROVIDED</th></tr><tr><th>RESIDENTIAL SHORT TERM BIK PARKING</th><th></th></tr><tr><td>LEVEL L1</td><td>4</td></tr><tr><td>LEVEL L3</td><td>1</td></tr><tr><td>TOTAL</td><td>5</td></tr><tr><td>TOTAL</td><td>10</td></tr></table>	PROVIDED		RESIDENTIAL SHORT TERM BIK PARKING		LEVEL L1	4	LEVEL L3	1	TOTAL	5	TOTAL	10						
PROVIDED																						
RESIDENTIAL SHORT TERM BIK PARKING																						
LEVEL L1	4																					
LEVEL L3	1																					
TOTAL	5																					
TOTAL	10																					

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

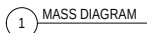
411833

TITLE

PARKING STATISTICS

SHEET NUMBER

G-00-02



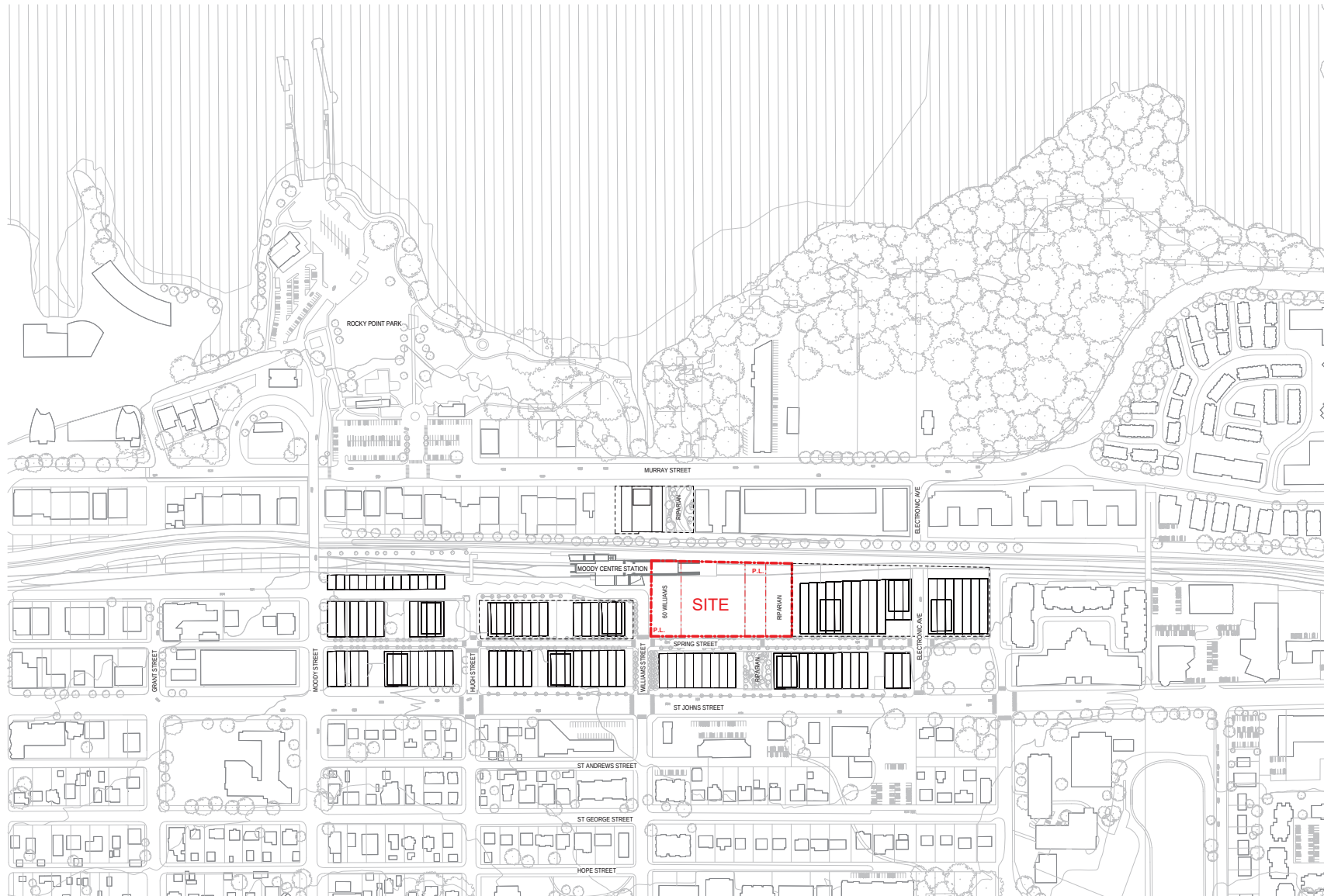
PROGRAM AREA SUMMARY			
PROGRAM	AREA	AREA (SF)	%
AMENITY	2120.79 sf	22828 sf	3.24%
ARTIST	403.20 sf	4340 sf	0.62%
GROCERY	3845.96 sf	41398 sf	5.87%
RESIDENTIAL - RENTAL	57649.69 sf	620536 sf	88.03%
RETAIL	1468.33 sf	15805 sf	2.24%
Grand total	65487.96 sf	704906 sf	100.00%

[illegible]

Category	2000-2001	2001-2002	2002-2003	2003-2004	2004-2005	2005-2006
Employed in Agriculture, Forestry and Fishing	80.7 million	7.2 million	5.084	4.499 million	3.931	3.500
Unemployed	0.15 million	1.0 million	0.9	0.8 million	0.7 million	0.6
Unemployed in Agriculture, Forestry and Fishing	0.15 million	1.0 million	0.9	0.8 million	0.7 million	0.6

Componente	1.º semestre	2.º semestre	Total
1.º semestre	1	0	1
2.º semestre	0	1	1
Total	1	1	2

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1 CONTEXT PLAN
1:2000

Perkins&Will



REZONING SUBMISSION
JUNE 29, 2023



ISSUED

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
411803

REVISIONS

TITLE

CONTEXT PLAN

SHEET NUMBER

G-00-04

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Key Plan



View B: Existing context of Spring St looking east. Source: Google.



View C: Existing context of Spring St looking west. Source: Google.



View D: Looking towards Skytrain station from St. Johns St. Source: Google.



View E: Indicating creek edge with Burrard Inlet. Source: Google.



View A: Looking towards north on Spring St

PROPOSED SITE

Perkins&Will

PCI

REZONING SUBMISSION
JUNE 29, 2023



ISSUED

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3005-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
411833

REVISIONS

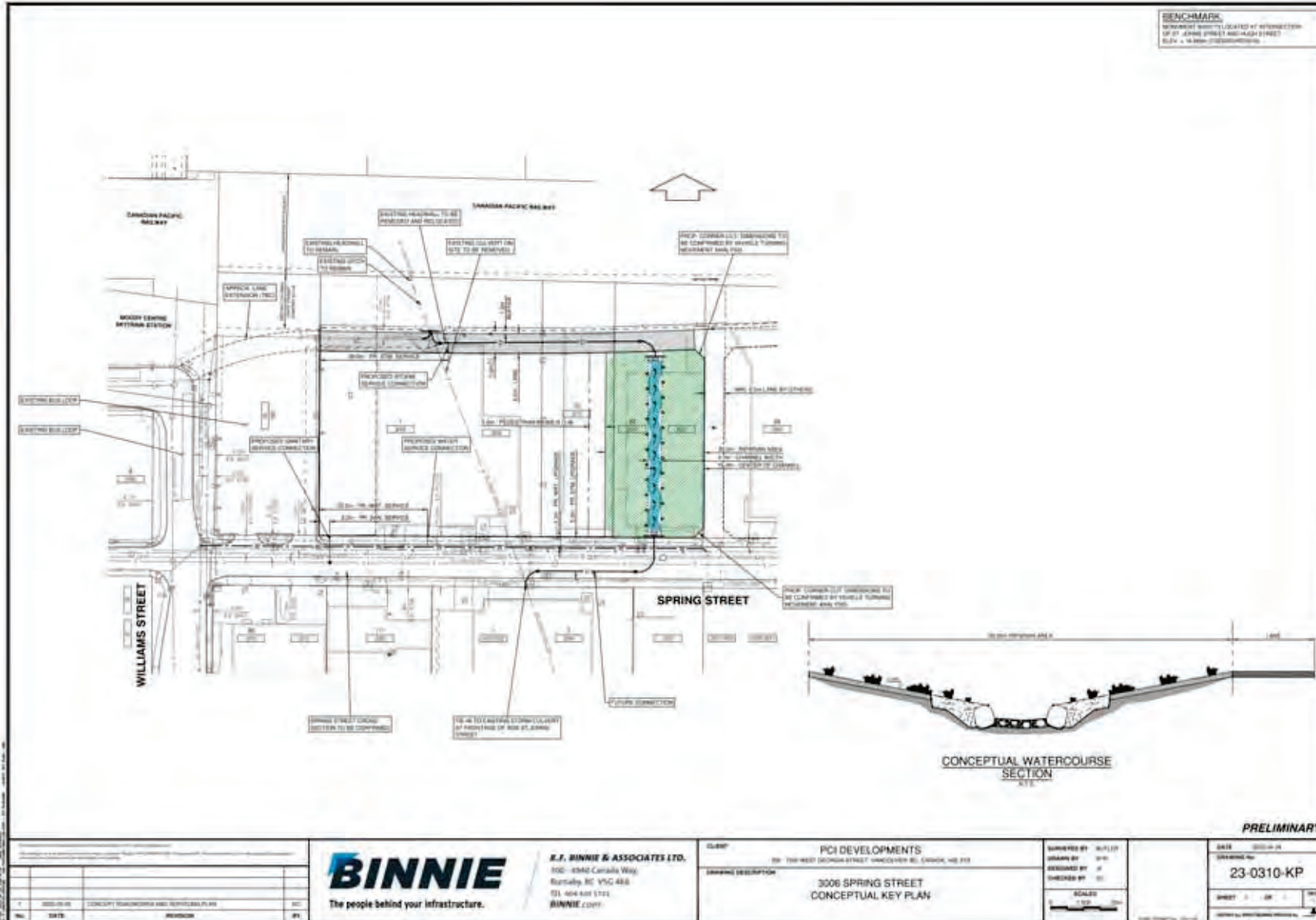
TITLE

CONTEXT PHOTOS

SHEET NUMBER

G-00-06

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PCI

REZONING SUBMISSION
JUNE 29, 2023

ISSUED

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BCPROJECT NUMBER
411803

REVISIONS

TITLE

SITE SERVICING PLAN

SHEET NUMBER

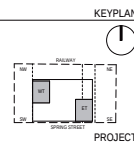
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REZONING SUBMISSION
JUNE 29, 2023

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PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER 411832

REVISIONS

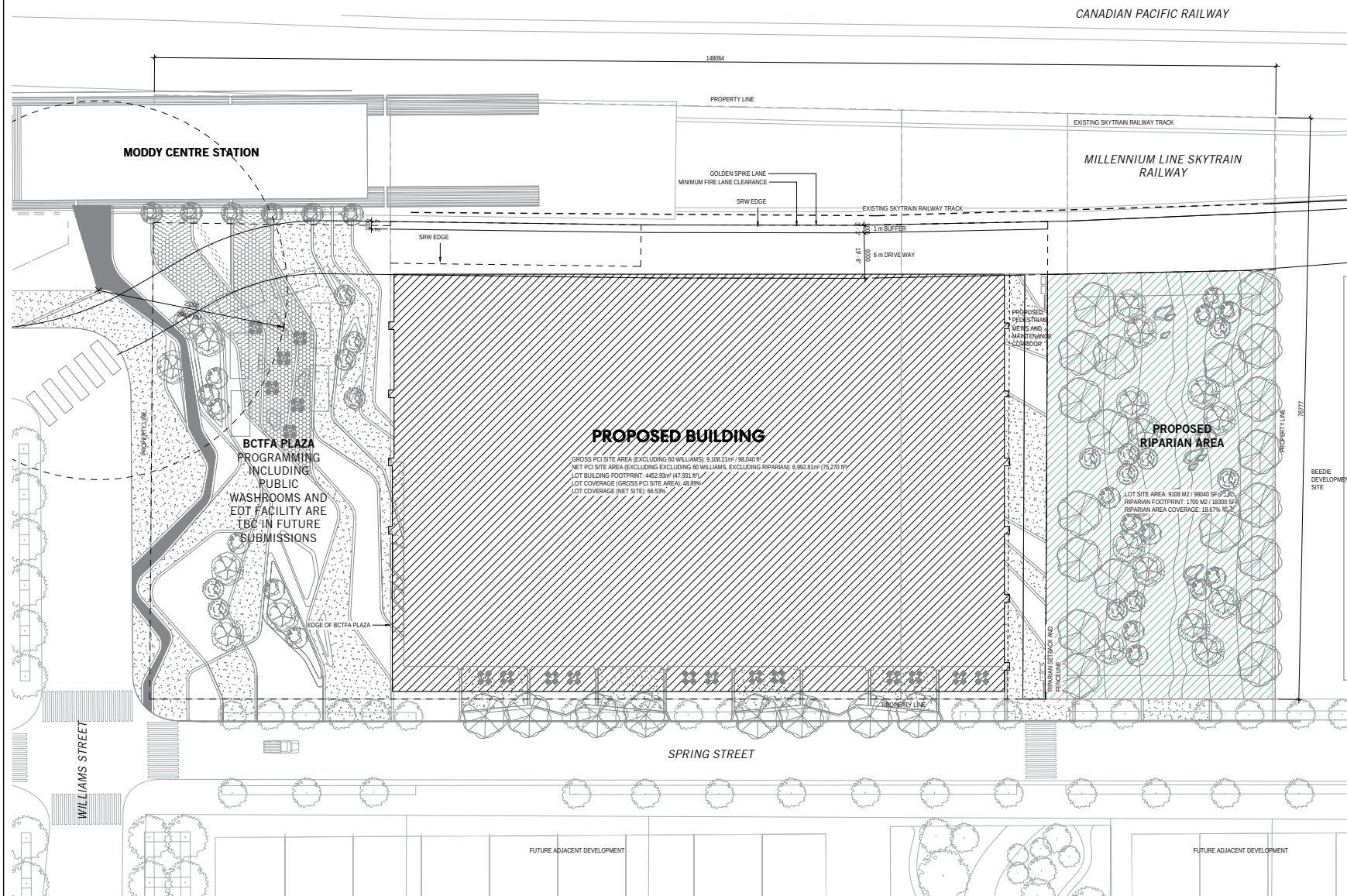
TITLE

SITE PLAN - SITE COVERAGE

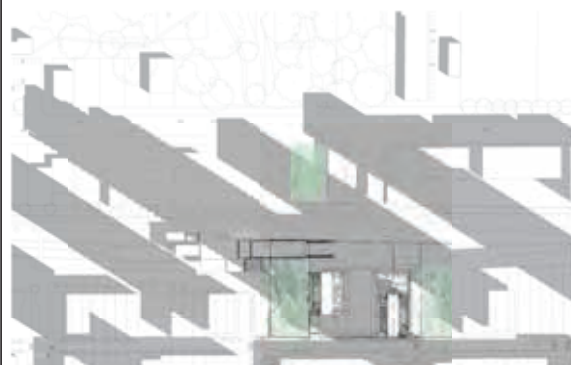
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G-00-09

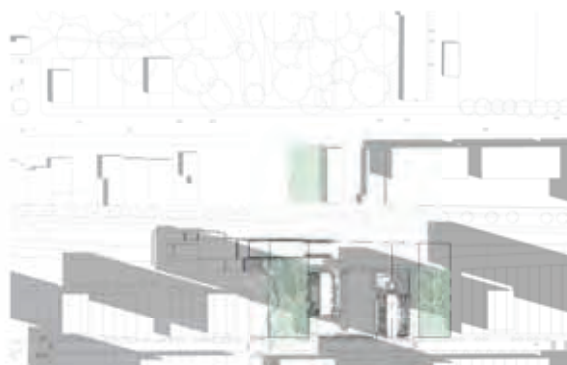
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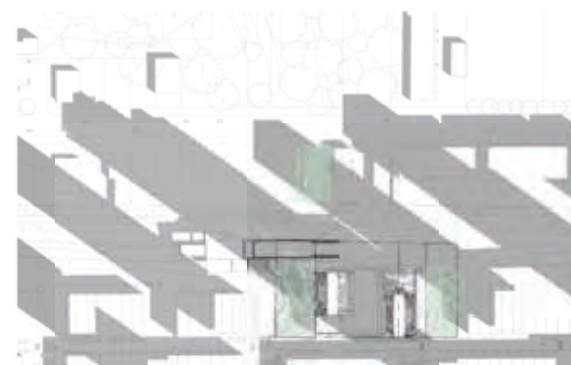
1 SITE PLAN - SITE COVERAGE
1:250



March 21st 10 am



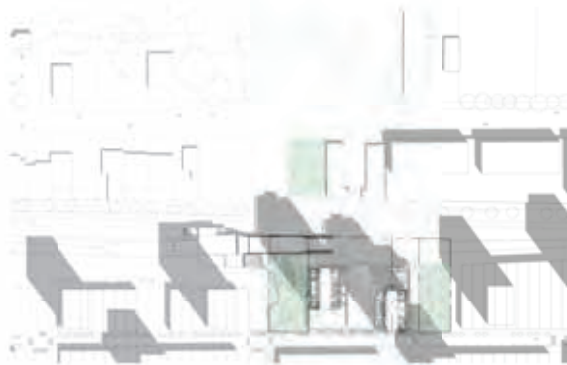
June 21st 10 am



September 21st 10 am



March 21st 12 pm



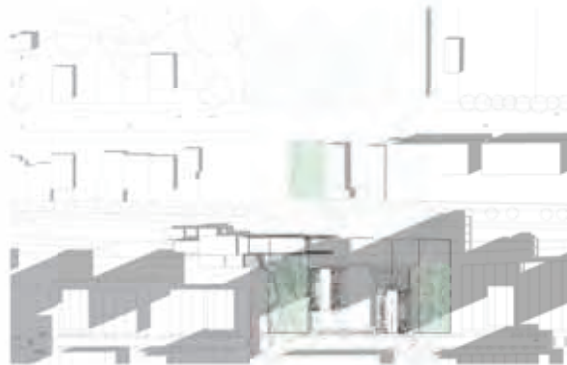
June 21st 12 pm



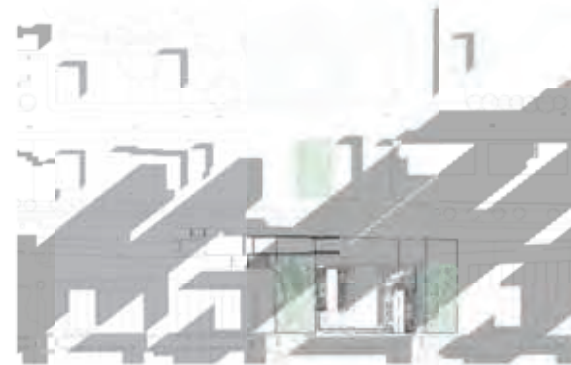
September 21st 12 pm



March 21st 4 pm



June 21st 4 pm



September 21st 4 pm

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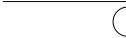


REZONING SUBMISSION
JUNE 29, 2023



ISSUED

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
411833

REVISIONS

TITLE

SHADOW STUDY

SHEET NUMBER

G-00-10

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REZONING SUBMISSION
JUNE 29, 2023

ISSUED

PARKING STALL LEGEND

XX - XX
USE TYPE

USES

R RESIDENTIAL
R V RESIDENTIAL VISITOR
R PL RESIDENTIAL PASSENGER LOADING
R L RESIDENTIAL LOADING
CS CAR SHARE
RT RETAIL
RT PL RETAIL PASSENGER LOADING
RT L RETAIL LOADING
GC GROCERY
GC PL GROCERY PASSENGER LOADING
GC L GROCERY LOADING

TYPES

ST STANDARD
SM SMALL
W WIDE
ACC ACCESSIBLE
A CLASS A
B CLASS B

PARKING STATS SUMMARY - P4

Parking Use	Parking Size	Count
RES ACC		4
RES SM		33
RES STD		154
TOTAL RESIDENTIAL PARKING - P4: 191		

PARKING - SUM - ALL LEVELS

Parking Use	Count
ARTIST	8
MODO	8
RES	423
SHARED	166
Grand total: 605	

COLOR LEGEND

RESIDENTIAL
SHARED PARKING
ARTIST STUDIO
MODO
MECH
BOH

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
411833

REVISIONS

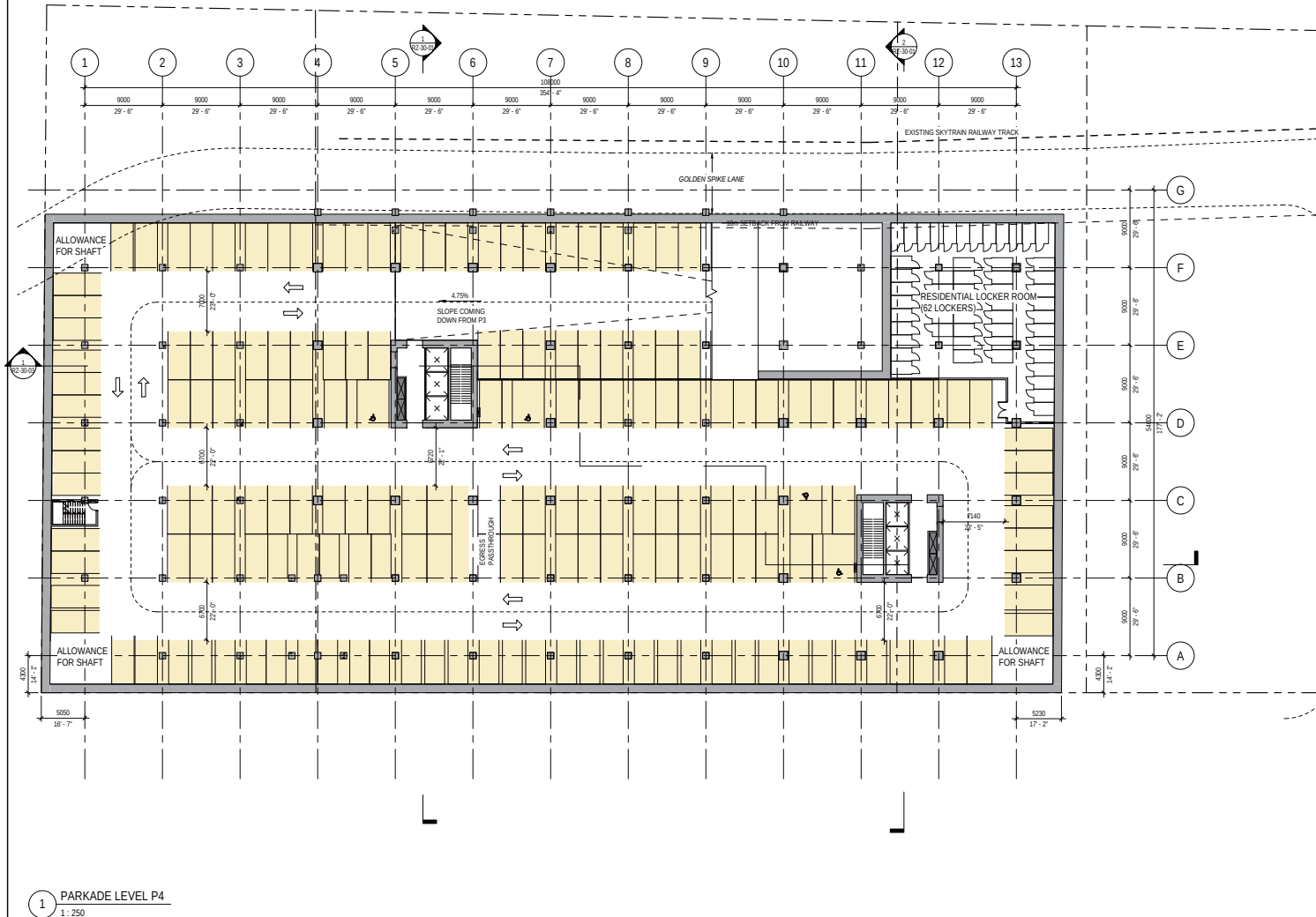
TITLE

FLOOR PLAN - PARKADE
P4

SHEET NUMBER

RZ-00-03

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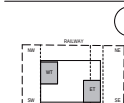
1 PARKADE LEVEL P4
1: 250

Perkins&Will

REZONING SUBMISSION
JUNE 29, 2023

ISSUED

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
411833

REVISIONS

TITLE

FLOOR PLAN - PARKADE
P3

SHEET NUMBER

RZ-00-04

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PARKING STALL LEGEND

XX - XX
USE TYPE

USES

R RESIDENTIAL
R V RESIDENTIAL VISITOR
R PL RESIDENTIAL PASSENGER LOADING
R L RESIDENTIAL LOADING
CS CAR SHARE
RT RETAIL
RT PL RETAIL PASSENGER LOADING
RT L RETAIL LOADING
GC GROCERY
GC PL GROCERY PASSENGER LOADING
GC L GROCERY LOADING

TYPES

ST STANDARD
SM SMALL
W WIDE
ACC ACCESSIBLE
A CLASS A
B CLASS B

PARKING STATS SUMMARY - P3

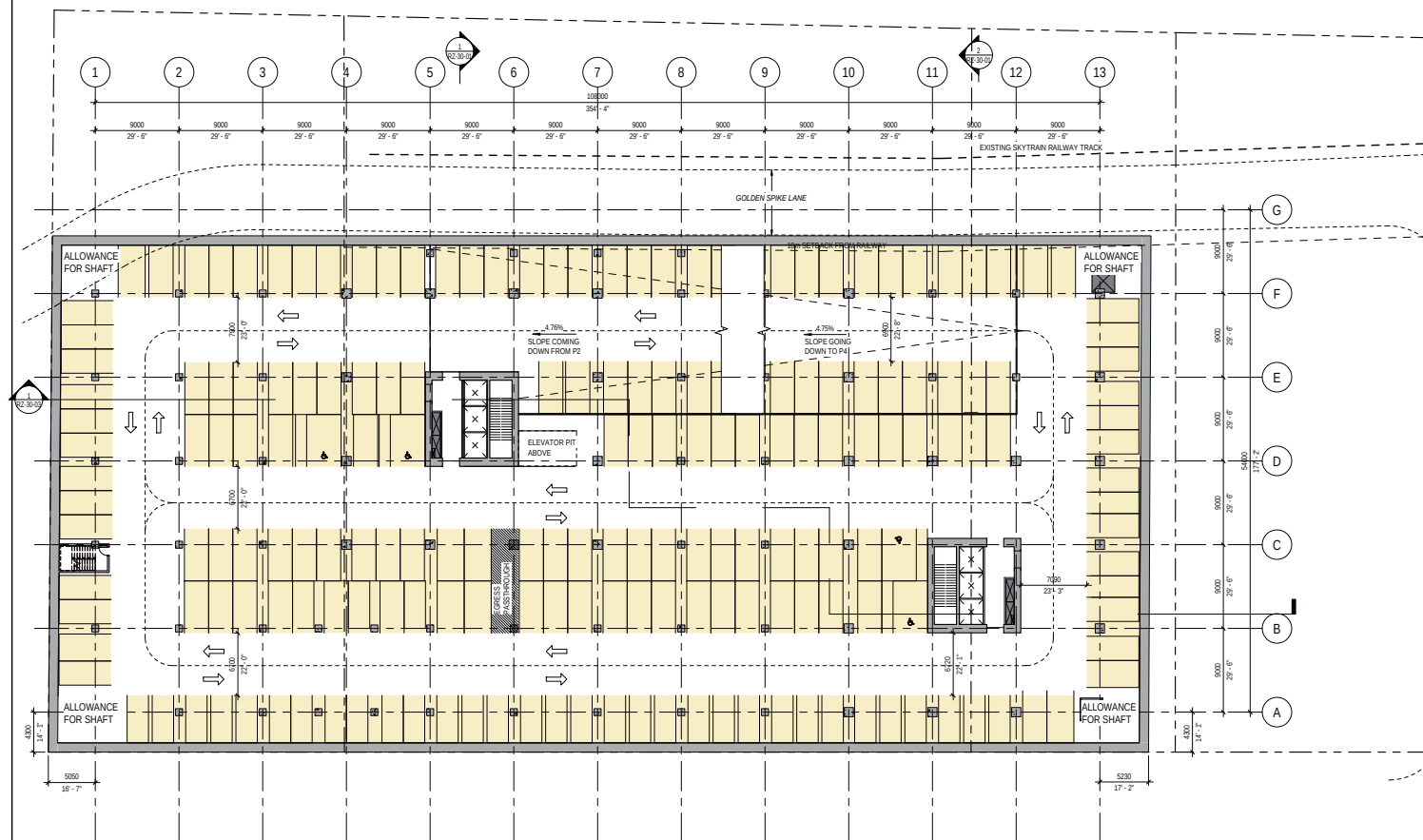
Parking Use	Parking Size	Count
RES ACC	4	
RES SM	37	
RES STD	152	
TOTAL PARKING - P3 193		

PARKING - SUM - ALL LEVELS

Parking Use	Count
ARTIST	8
MODO	8
RES	423
SHARED	166
Grand total	605

COLOR LEGEND

RESIDENTIAL
SHARED PARKING
ARTIST STUDIO
MODO
MECH
BOH



1 PARKADE LEVEL P3
1: 250

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JUNE 29, 2023

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PARKING STALL LEGEND

XX - XX
USE TYPE

USES

R RESIDENTIAL
R V RESIDENTIAL VISITOR
R PL RESIDENTIAL PASSENGER LOADING
R L RESIDENTIAL LOADING
CS CAR SHARE
RT RETAIL
RT PL RETAIL PASSENGER LOADING
RT L RETAIL LOADING
GC GROCERY
GC PL GROCERY PASSENGER LOADING
GC L GROCERY LOADING

TYPES

ST STANDARD
SM SMALL
W WIDE
ACC ACCESSIBLE
A CLASS A
B CLASS B

PARKING STATS SUMMARY - P2

Parking Use	Parking Size	Count
RES	ACC	1
RES	SM	7
RES	STD	131
RES 39		
SHARED	ACC	4
SHARED	SM	30
SHARED	STD	88
SHARED 122		
TOTAL PARKING - P2		161

PARKING - SUM - ALL LEVELS

Parking Use	Count
ARTIST	8
MODO	8
RES	423
SHARED	166
Grand total	605

COLOR LEGEND

RESIDENTIAL
SHARED PARKING
ARTIST STUDIO
MODO
MECH
BOH

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
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REVISIONS

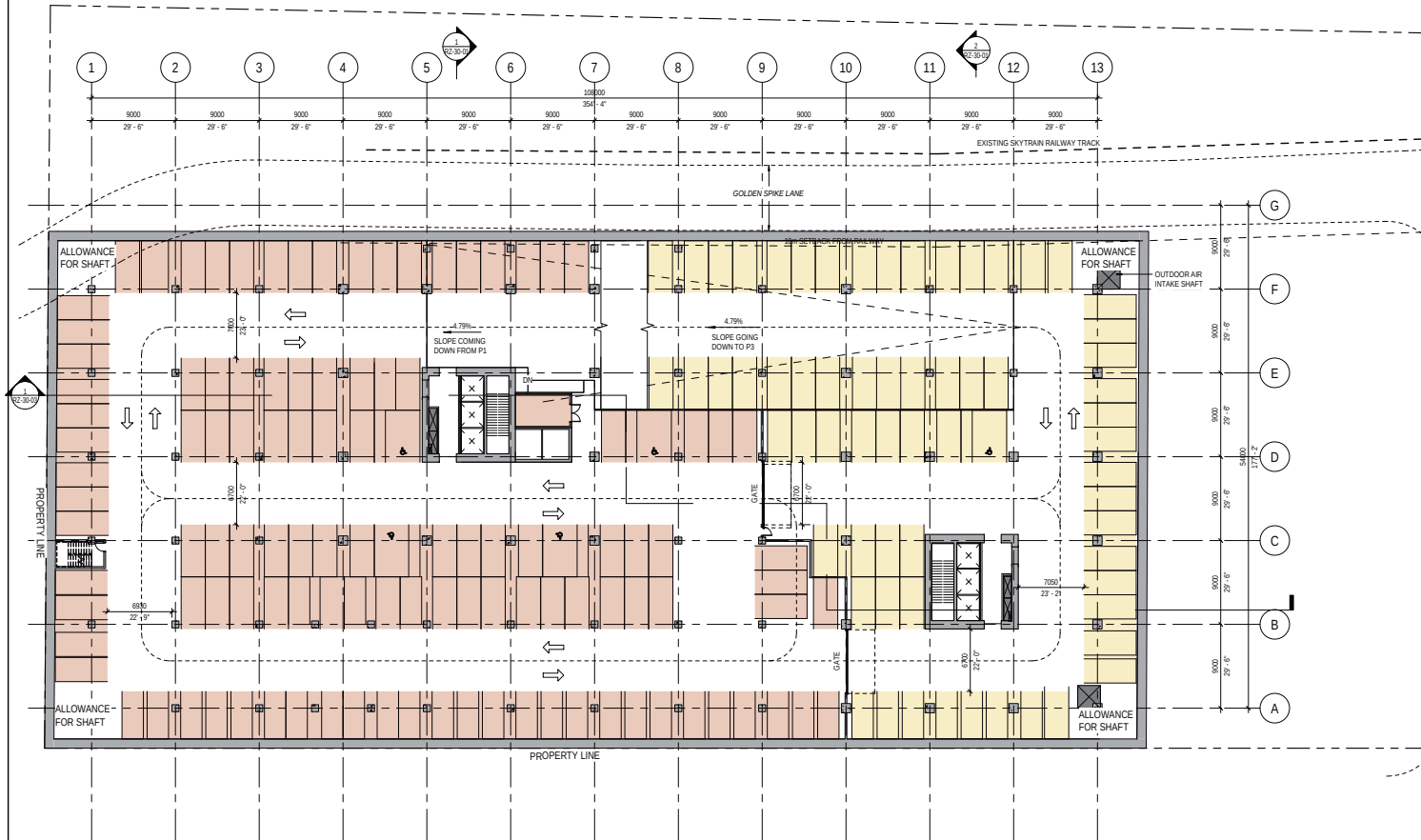
TITLE

FLOOR PLAN - PARKADE
P2

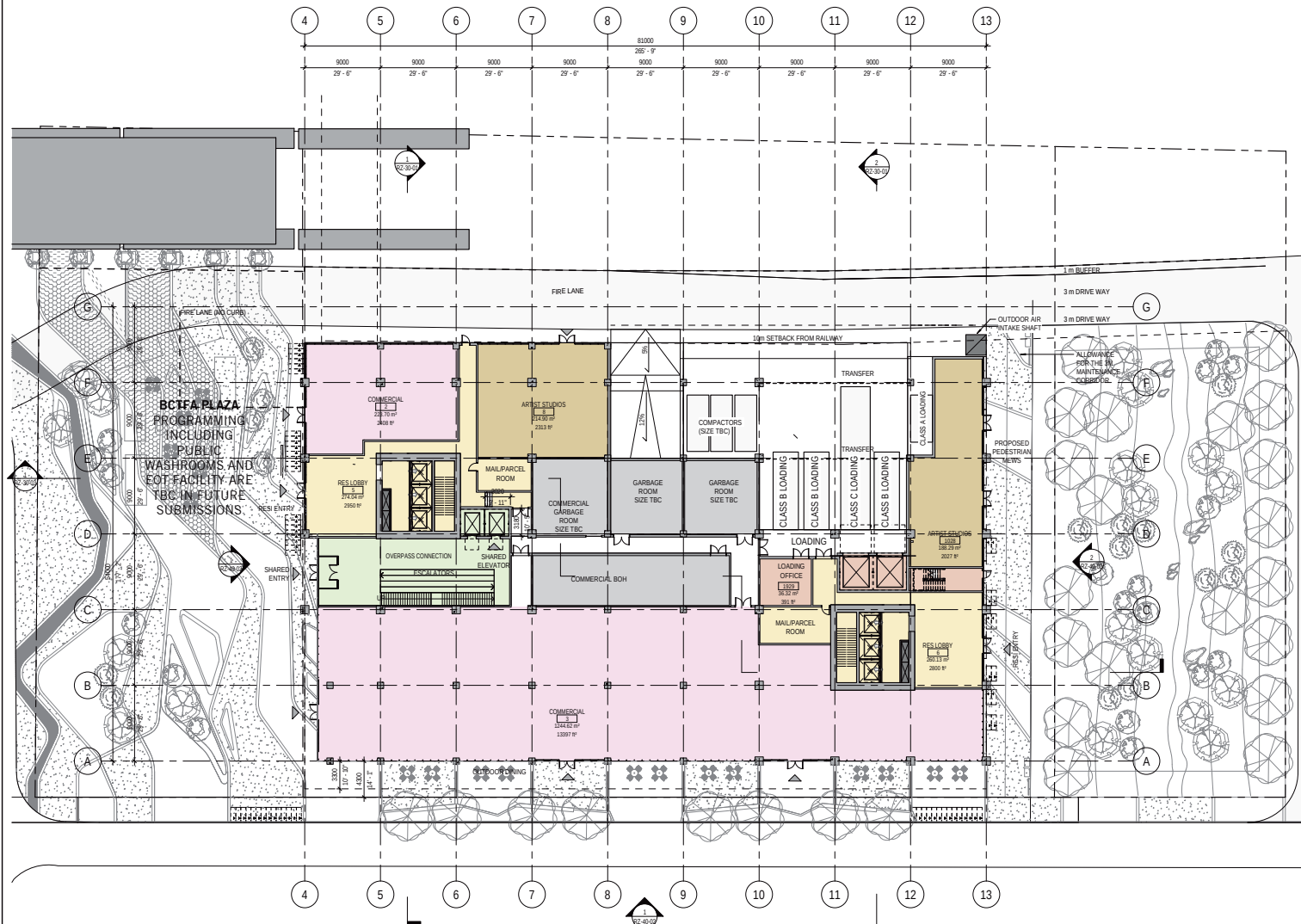
SHEET NUMBER

RZ-00-05

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2 PARKADE LEVEL P2
1: 250



1 LEVEL 01
1:250

COLOR LEGEND	
	RESIDENTIAL
	INDOOR AMENITY
	OUTDOOR AMENITY
	CRU
	GROCERY
	ARTIST STUDIO
	INDOOR OVERPASS SPACE
	OUTDOOR OVERPASS SPACE
	MECH
	BOH

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PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
411883

REVISIONS

TITLE

FLOOR PLAN - GROUND
LEVEL 01

SHEET NUMBER

RZ-00-07

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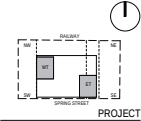


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KEYPLAN



PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
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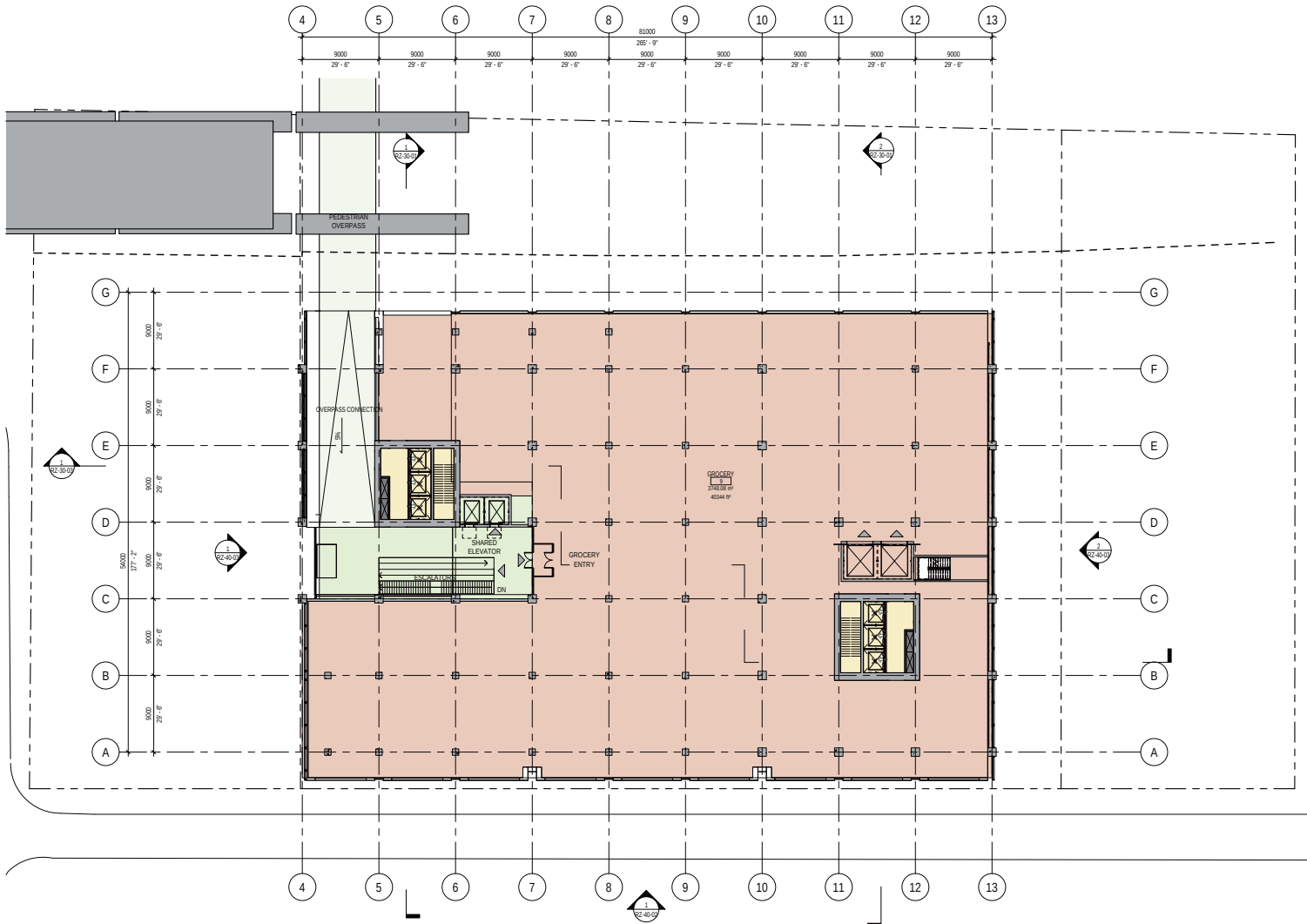
TITLE

FLOOR PLAN - PODIUM
LEVEL 02

SHEET NUMBER

RZ-00-08

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- COLOR LEGEND
- RESIDENTIAL
 - INDOOR AMENITY
 - OUTDOOR AMENITY
 - CRU
 - GROCERY
 - ARTIST STUDIO
 - INDOOR OVERPASS SPACE
 - OUTDOOR OVERPASS SPACE
 - MECH
 - BOH

1 LEVEL 02
1:250

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JUNE 29, 2023



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PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER
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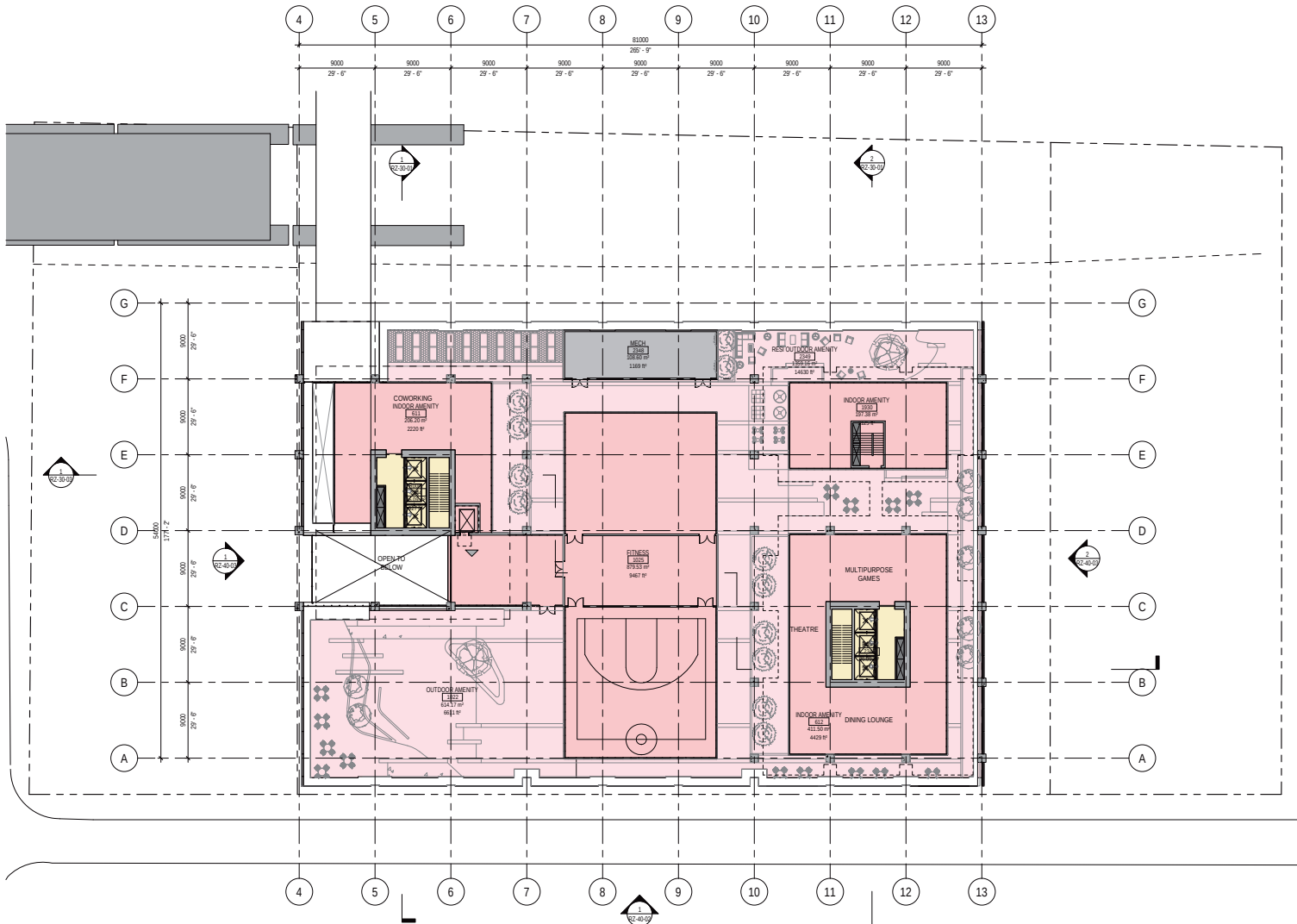
TITLE

FLOOR PLAN - PODIUM
ROOF LEVEL 03

SHEET NUMBER

RZ-00-09

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COLOR LEGEND

 RESIDENTIAL
 INDOOR AMENITY
 OUTDOOR AMENITY
 CRU
 GROCERY
 ARTIST STUDIO
 INDOOR OVERPASS SPACE
 OUTDOOR OVERPASS SPACE
 MECH
 BOH

1 LEVEL 03
1:250

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 JUNE 29, 2023


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KEYPLAN


 PCI - SPRING STREET
 60 Williams Street and 3006-3022
 Spring Street
 Port Moody, BC

 PROJECT NUMBER
 411833

REVISIONS

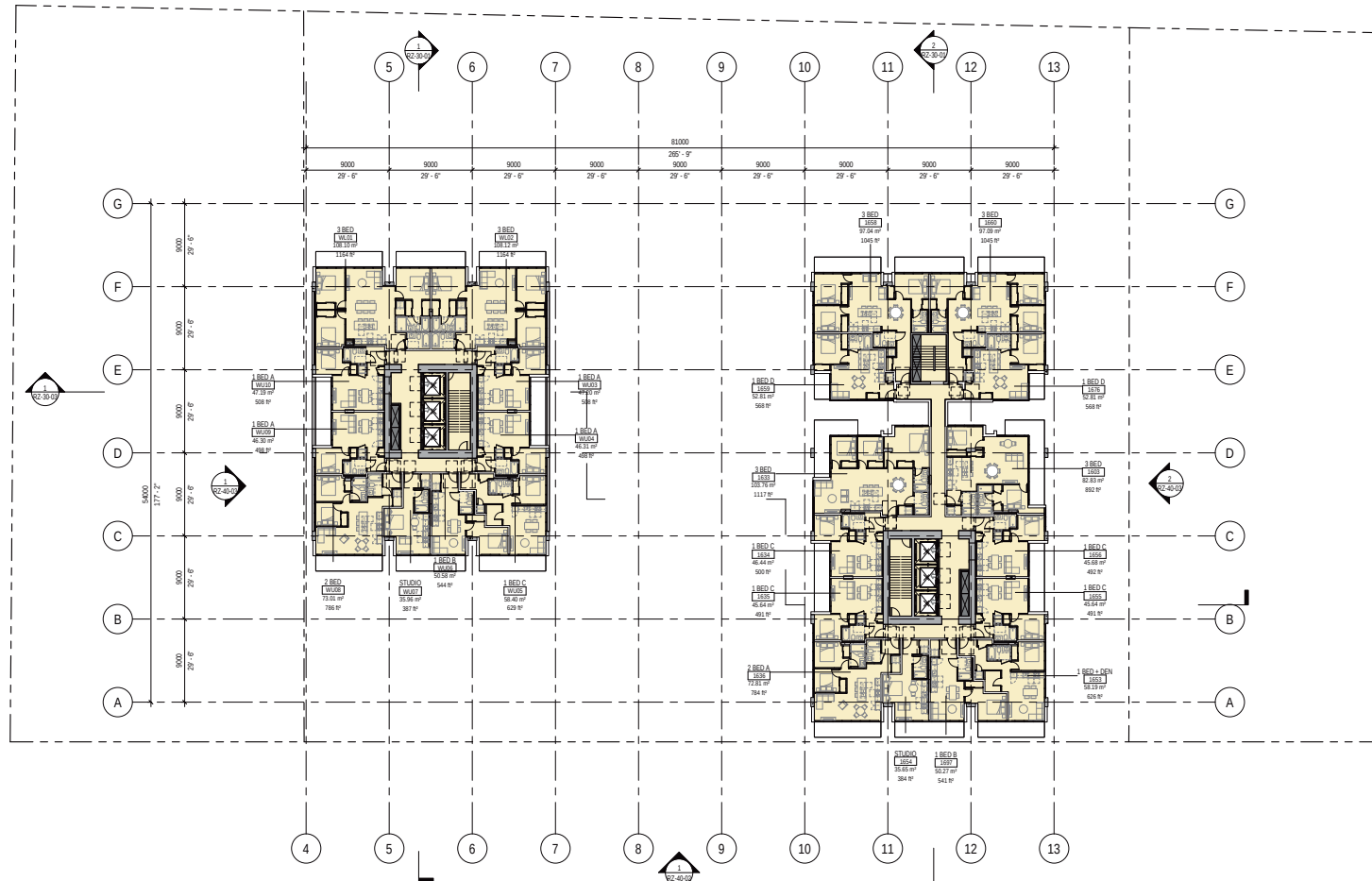
TITLE

 FLOOR PLAN - TOWER
 TYPICAL LOWER LEVEL

SHEET NUMBER

RZ-00-10

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 1 TOWER TYP PLAN - LOWER
 1:250

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KEYPLAN


 PCI - SPRING STREET
 60 Williams Street and 3006-3022
 Spring Street
 Port Moody, BC

 PROJECT NUMBER
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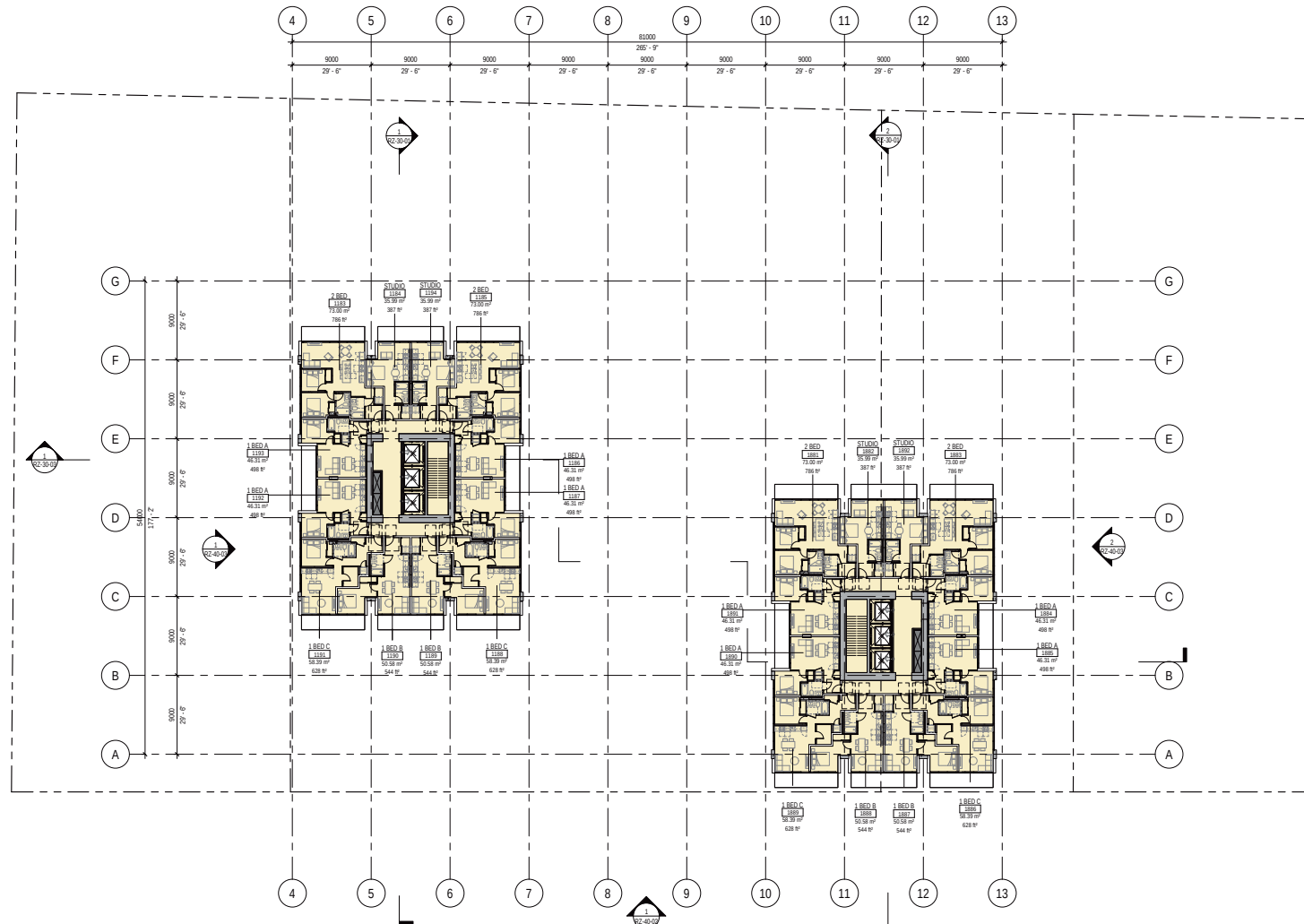
TITLE

 FLOOR PLAN - TOWER
 TYPICAL MID LEVEL

SHEET NUMBER

RZ-00-12

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 1 TOWER TYP PLAN - MIDDLE
 1" = 250'

COLOR LEGEND

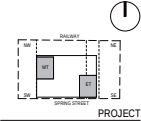
- RESIDENTIAL
- INDOOR AMENITY
- OUTDOOR AMENITY
- CRU
- GROCERY
- ARTIST STUDIO
- INDOOR OVERPASS SPACE
- OUTDOOR OVERPASS SPACE
- MECH
- BOH

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 JUNE 29, 2023


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KEYPLAN


 PCI - SPRING STREET
 60 Williams Street and 3006-3022
 Spring Street
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REVISIONS

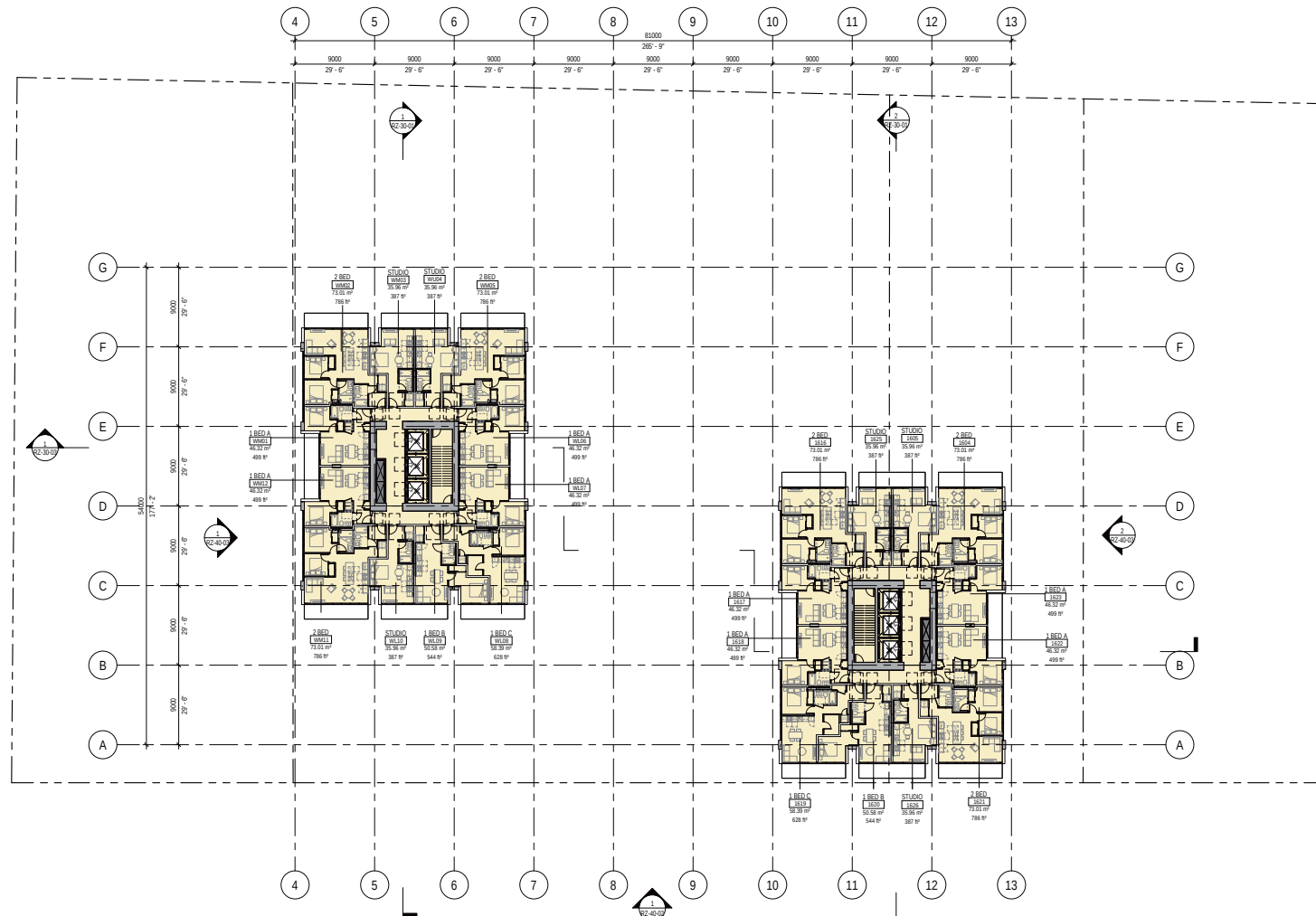
TITLE

 FLOOR PLAN - TOWER
 TYPICAL UPPER LEVEL

SHEET NUMBER

RZ-00-13

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COLOR LEGEND

- RESIDENTIAL
- INDOOR AMENITY
- OUTDOOR AMENITY
- CRU
- GROCERY
- ARTIST STUDIO
- INDOOR OVERPASS SPACE
- OUTDOOR OVERPASS SPACE
- MECH
- BOH

 1 TOWER TYP PLAN - UPPER
 1:250

ISSUED

KEYPLAN



PROJECT

PCI - SPRING STREET
60 Williams Street and 3006-3022
Spring Street
Port Moody, BC

PROJECT NUMBER 411833

REVISIONS

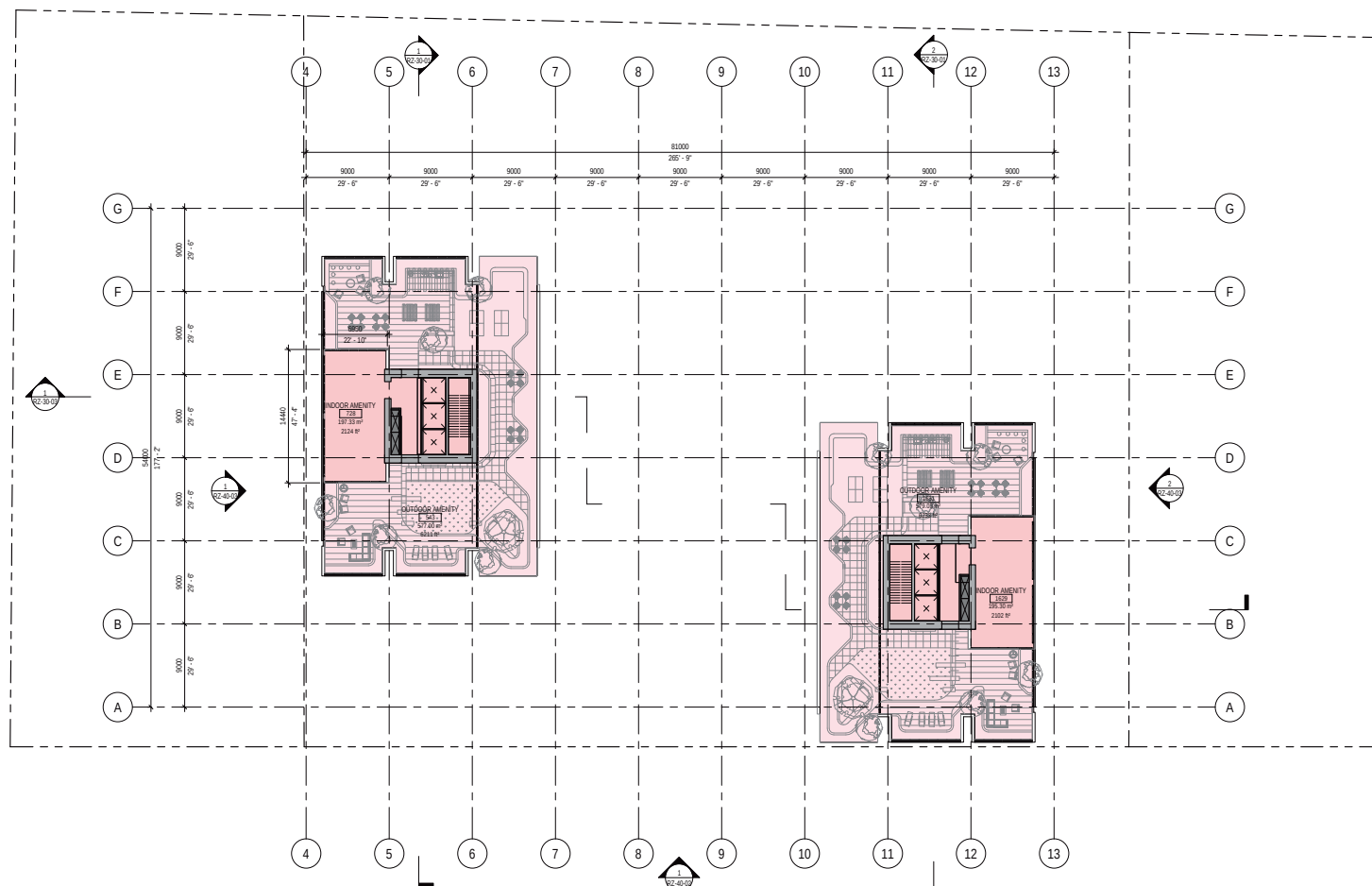
TITLE

FLOOR PLAN - TOWER
ROOF TOP AMENITY

SHEET NUMBER

RZ-00-14

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COLOR LEGEND

 RESIDENTIAL

INDOOR AMENITY

 OUTDOOR AMENITY

 CR

GROCERY

ARTIST STUDIO

 INDOOR OVERPASS SPACE

 OUTDOOR OVERPASS SPACE

MECH

BOH