LEGAL:
PLAN OF SURVEY OF PROPOSED LOT A, FORMERLY STRATAPLAN NW282 AND LOT 22, BLOCK 1, PLAN 55, BOTH OF DISTRICT LOT 202, GROUP 1, NEW WESTMINISTER DISTRICT

BOSAFOODS®

MIXED-USE RESIDENTIAL DEVELOPMENT

2331, 2335 ST. JOHNS STREET
PID(s): 001-257-706

Site Contour
Scale: 1/64" = 1'-0"

Owner
Name: Benedet Properties (StJohns) Ltd
Address: 1465 Kootenay Street
Vancouver, BC V5K4Y3
Phone: 604.253.5578
Contact Bruno Benedet Jr.

Architectural
Name: Cornerstone Architecture
Address: #307 - 611 Alexander Street
Vancouver, BC V6A1E1
Phone: 604.253.8800
Contact Simon Richards (Architect)
Scott Kennedy (CRP)

Contractor
Name: Noble Construction
Address: #200 - 4308 Dawson Sreet
Burnaby, BC V5C4B6
Phone: 604.294.1012
Contact Christian Perizzolo

Building Envelope
Name: BC Building Science Ltd.
Address: 611 Bent Court
New Westminster, BC V3M0J8
Phone: 604.520.5456
Contact: Farshid Bagheri

Surveyor
Name: Ken K. Wong & Associates
Address: 5824 E. Hastings Street
Burnaby BC V5B 1R4
Phone: 604.294.8881
Project#: TGA-773
Contact: Steve Wong

Civil
Name: MPT Engineering Co. Ltd.
Address: #320 - 11120 Horseshoe Way
Richmond, BC V7A5H7
Phone: 604.270.9331
Contact: Al Gerrebos

Geotechnical
Name: Geopacific Consultants Ltd
Address: 1779 W. 75th Ave
Vancouver, BC V6P6P2
Phone: 604.439.0922
Contact: Wyatt Johnson

Landscape
Name: Prospect & Refuge
Address: 102-1661 W 2nd Ave.
Vancouver, BC V6J1H3
Project#: 2023-10
Contact: Samantha Hunt-Weeks

Structural
Name: Weiler Smith Bowers
Address: 118-3855 Henning Dr.
Burnaby, BC V5C6N3
Phone: 604.294.3753
Contact: Jeff Bugg

Mechanical
Name: Rocky Point Engeineering
Address: #208 - 20171 92A Ave
Langley, BC V1M3A5
Phone: 604.888.7779
Contact: Richard Corra

Fire Suppression
Name:
Address:
Phone:
Project#:
Contact:

Electrical
Name:
Address:
Project#:
Contact:

Site Area	19800 sqft
FSR	2.64
Unit Count	48

Unit Type	Quantity	Distribution
Studio	8	17%
1 Bed	1	2%
1 Bed Adaptable	20	42%
2 Bed	12	25%
3 Bed	3	6%
3 Bed Adaptable	4	8%
Total	48	100%
Total adaptable	24	50%

Vehicles	Required	Provided	Acessible Required	Accessible Provided	Notes
Commercial	22	22	1	1	6.3.1- 1 space per 40 sqm
Residential	48	57	2	2	6.8.2- 1 spaces per Dwelling unit
Visitor	10	0			6.8.2- 0.2 visitor per 100 units, 0.1 after
Total	**80**	**79**	**3**	**3**	6.4.1- 3 accessible for 75-124 total stalls

Bikes	Required	Provided	Notes
Long term	72	72	6.10.3- 1.5 spaces per Dwelling unit
Short term	6	6	6.10.3- 6 spaces per 50 Dwelling units

	Total	Gross Floor Area	Commercial	Residential	Common	5.3.4.(b)(ii) Wall ext.	5.3.4.(b)(vi) Garbage ext.	5.3.4.(b)(v) Amenity ext.	5.3.4.(b)(i) Adaptable ext.	5.3.4.(b)(viii) HRV ext.	FSR Area
	Area (sqft)	55834.10	9619.51	37532.99	8681.60	1118.50	299.85	1369.84	516.67	240.00	52292.24
	% of gross	100.0%	17.2%	67.2%	15.5%	2.0%	0.5%	2.5%	0.9%	0.4%	93.7%

Level 1 Commercial	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion	Garbage exclusion	Amenity exclusion	Adaptable exclusion	HRV exclusion
C1	Circulation	178.09			178.09					
C1	Circulation	156.98			156.98					
G1	Garbage	299.85			299.85		299.85			
Retail	Bosa Foods	6939.27	6939.27							

Level 1 Mezzanine	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion
C1	Circulation	1419.56			1419.56	
Mechanical	Bosa Foods	124.21	124.21			
Mezzanine	Bosa Foods	2478.12	2478.12			
Retail	Bosa Foods	77.92	77.92			

Level 2 Parade	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion
C2	Circulation	370.86			370.86	

Level 3 Residential	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion	Adaptable exclusion	HRV exclusion
301	3 Bed Adaptable	1146.69		1146.69		39.56	21.53	5.00
302	Studio	400.00		400.00		7.22	0.00	5.00
303	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
304	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
305	Studio	401.23		401.23		6.81	0.00	5.00
306	1 Bed Adaptable	726.56		726.56		17.77	21.53	5.00
307	2 Bed	991.07		991.07		34.80	0.00	5.00
308	2 Bed	991.36		991.36		34.78	0.00	5.00
309	1 Bed Adaptable	734.25		734.25		22.47	21.53	5.00
310	1 Bed	730.20		730.20		14.00	0.00	5.00
311	1 Bed Adaptable	621.81		621.81		13.06	21.53	5.00
312	2 Bed	1093.60		1093.60		47.79	0.00	5.00
C3	Circulation	1368.52			1368.52	7.37	0.00	

Level 4 Residential	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion	Adaptable exclusion	HRV exclusion
401	3 Bed Adaptable	1146.69		1146.69		39.56	21.53	5.00
402	Studio	400.00		400.00		7.22	0.00	5.00
403	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
404	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
405	Studio	401.22		401.22		6.81	0.00	5.00
406	1 Bed Adaptable	725.89		725.89		17.77	21.53	5.00
407	2 Bed	989.06		989.06		34.80	0.00	5.00
408	2 Bed	989.36		989.36		34.78	0.00	5.00
409	1 Bed Adaptable	729.47		729.47		22.47	21.53	5.00
410	2 Bed	864.05		864.05		16.65	0.00	5.00
411	1 Bed Adaptable	615.84		615.84		13.06	21.53	5.00
412	3 Bed	1378.36		1378.36		52.51	0.00	5.00
C4	Circulation	960.00			960.00	0.00	0.00	

Level 5 Residential	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion	Adaptable exclusion	HRV exclusion
501	3 Bed Adaptable	1146.69		1146.69		39.56	21.53	5.00
502	Studio	400.00		400.00		7.22	0.00	5.00
503	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
504	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
505	Studio	401.22		401.22		6.81	0.00	5.00
506	1 Bed Adaptable	725.89		725.89		17.77	21.53	5.00
507	2 Bed	989.06		989.06		34.80	0.00	5.00
508	2 Bed	989.08		989.08		34.78	0.00	5.00
509	1 Bed Adaptable	729.75		729.75		22.47	21.53	5.00
510	2 Bed	864.03		864.03		16.65	0.00	5.00
511	1 Bed Adaptable	615.84		615.84		13.06	21.53	5.00
512	3 Bed	1378.36		1378.36		52.51	0.00	5.00
C5	Circulation	960.00			960.00	0.00	0.00	

Level 6 Residential	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion	Adaptable exclusion	HRV exclusion
601	3 Bed Adaptable	1146.69		1146.69		39.56	21.53	5.00
602	Studio	400.00		400.00		7.22	0.00	5.00
603	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
604	1 Bed Adaptable	621.16		621.16		11.38	21.53	5.00
605	Studio	401.14		401.14		6.81	0.00	5.00
606	1 Bed Adaptable	726.33		726.33		17.77	21.53	5.00
607	2 Bed	991.07		991.07		34.80	0.00	5.00
608	2 Bed	986.97		986.97		34.78	0.00	5.00
609	1 Bed Adaptable	736.59		736.59		22.47	21.53	5.00
610	2 Bed	864.05		864.05		16.65	0.00	5.00
611	1 Bed Adaptable	615.84		615.84		13.06	21.53	5.00
612	3 Bed	1378.36		1378.36		52.51	0.00	5.00
C6	Circulation	960.08			960.08	0.00	0.00	

Roof Residential	Unit type	Area (sqft)	Commercial	Residential	Common	Wall exclusion	Garbage exclusion	Amenity exclusion	Adaptable exclusion	HRV exclusion
A6	Amenity	1369.84			1369.84	0.00		1369.84	0.00	
C6	Circulation	215.11			215.11	16.24			0.00	
C6	Circulation	422.70			422.70	25.71			0.00	

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Drawing List:

A0.0	Cover / Statistics
A1.0	Site Plan
A1.1	Building Survey
A2.1	Level 1
A2.2	Level 1 Mezzanine
A2.3	Level 2 Parking
A2.4	Level 3
A2.5	Level 4
A2.6	Level 5
A2.7	Level 6
A2.8	Roof
A2.9	Upper Roof
A3.1	North Elevation
A3.2	East Elevation
A3.3	South Elevation
A3.4	West Elevation
A4.1	Building SectionA
A4.2	Building SectionB
A4.3	Building SectionC
A4.4	Building SectionD
A4.5	Building SectionE
A4.6	Building SectionF
A4.7	Building SectionG
A4.8	Section ContextG
A5.1	Shadow Analysis
A5.2	Level 1 Code
A5.3	Level 1 Mezzanine Code
A5.4	Level 2 Code
A5.5	Level 3 Code
A5.6	Level 4 Code
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A5.8	Level 6 Code
A5.9	Roof Code
A5.10	Section Code
A6.0	Material Board
A6.1	Site Photos
A6.2	Site Photos
A6.3	Perspective view
A6.4	Perspective view
A6.5	Perspective view
A6.6	Perspective view

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2	2022-11-07	Issue for Preliminary DP Application
1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Cover Sheet and Statistics

Unless signed & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.

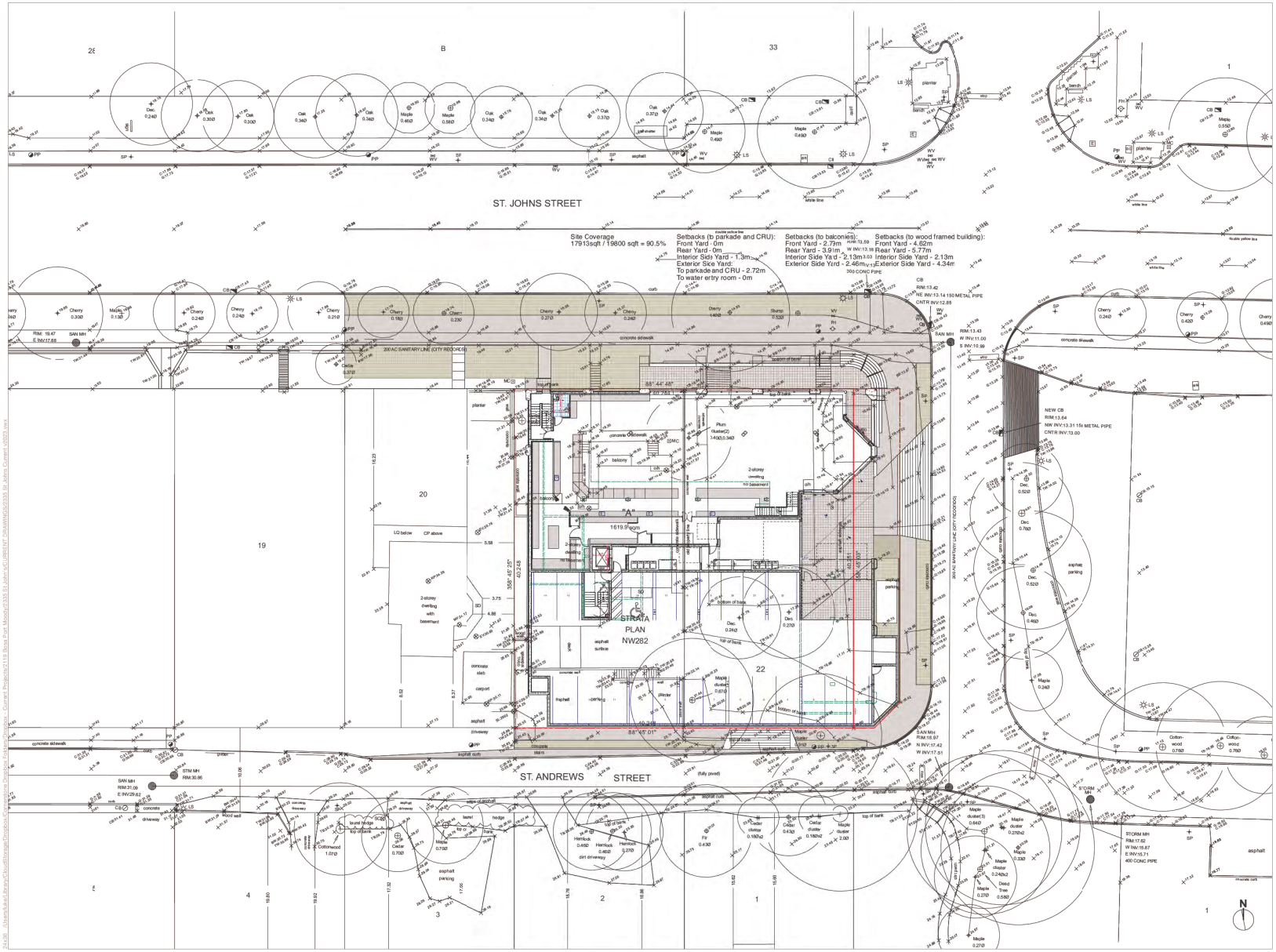
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A0.0**

Attachment 7



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PROJECT

Bosa Foods

2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING

Site Plan

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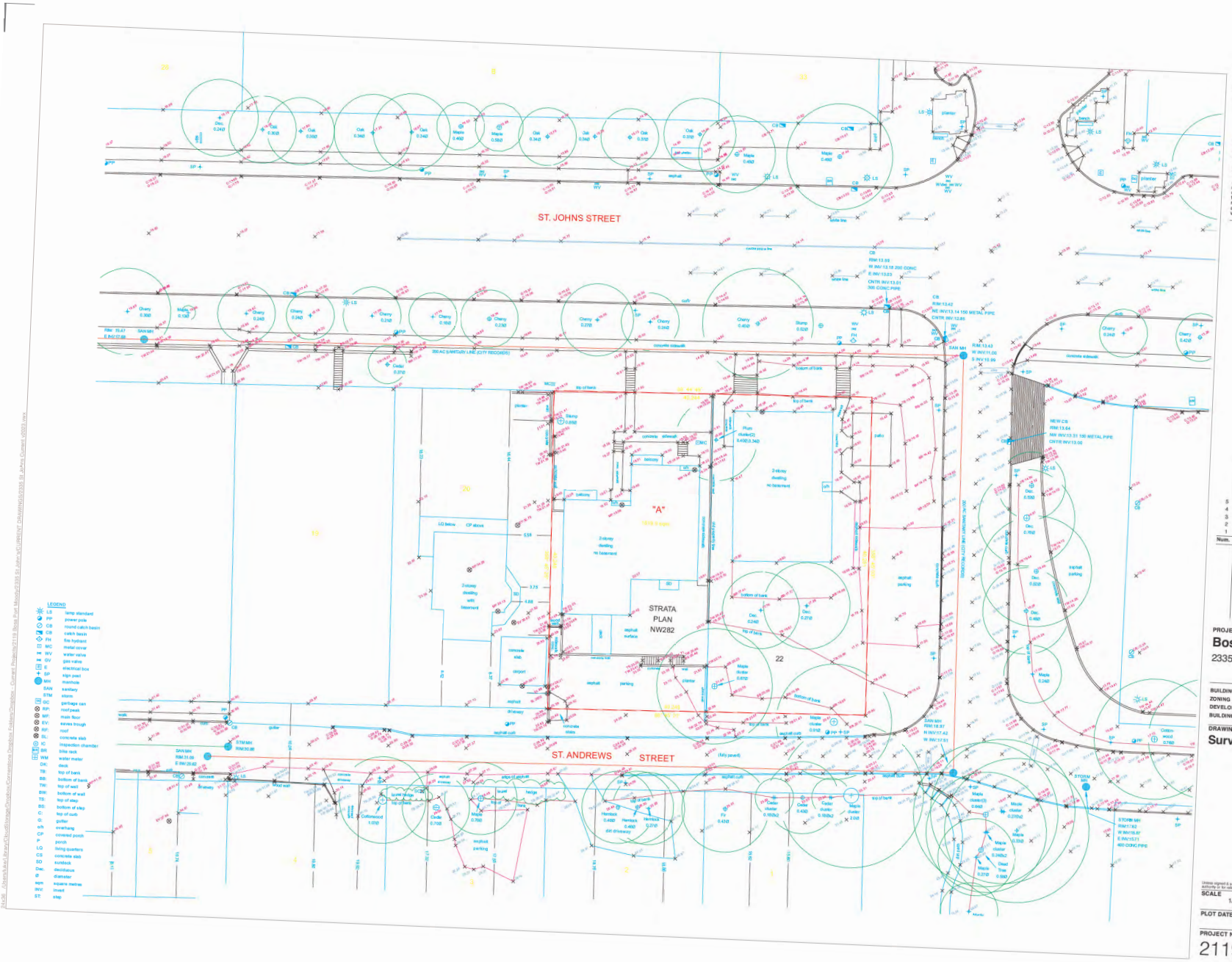
SCALE
1/16" = 1'-0"" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A1.0**

Attachment 7



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1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, CS
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Survey

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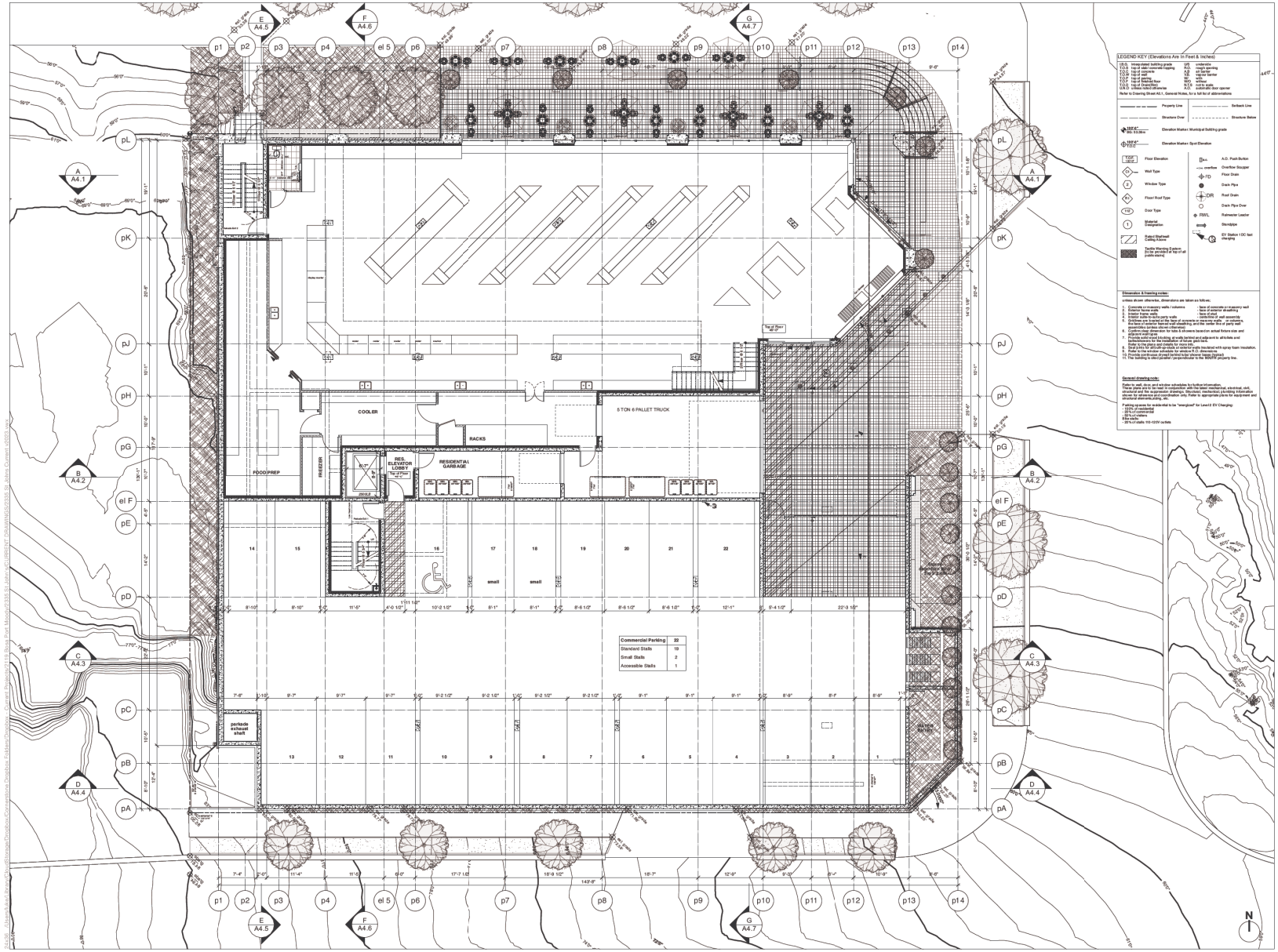
PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A1.1**

Attachment 7



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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Level 1

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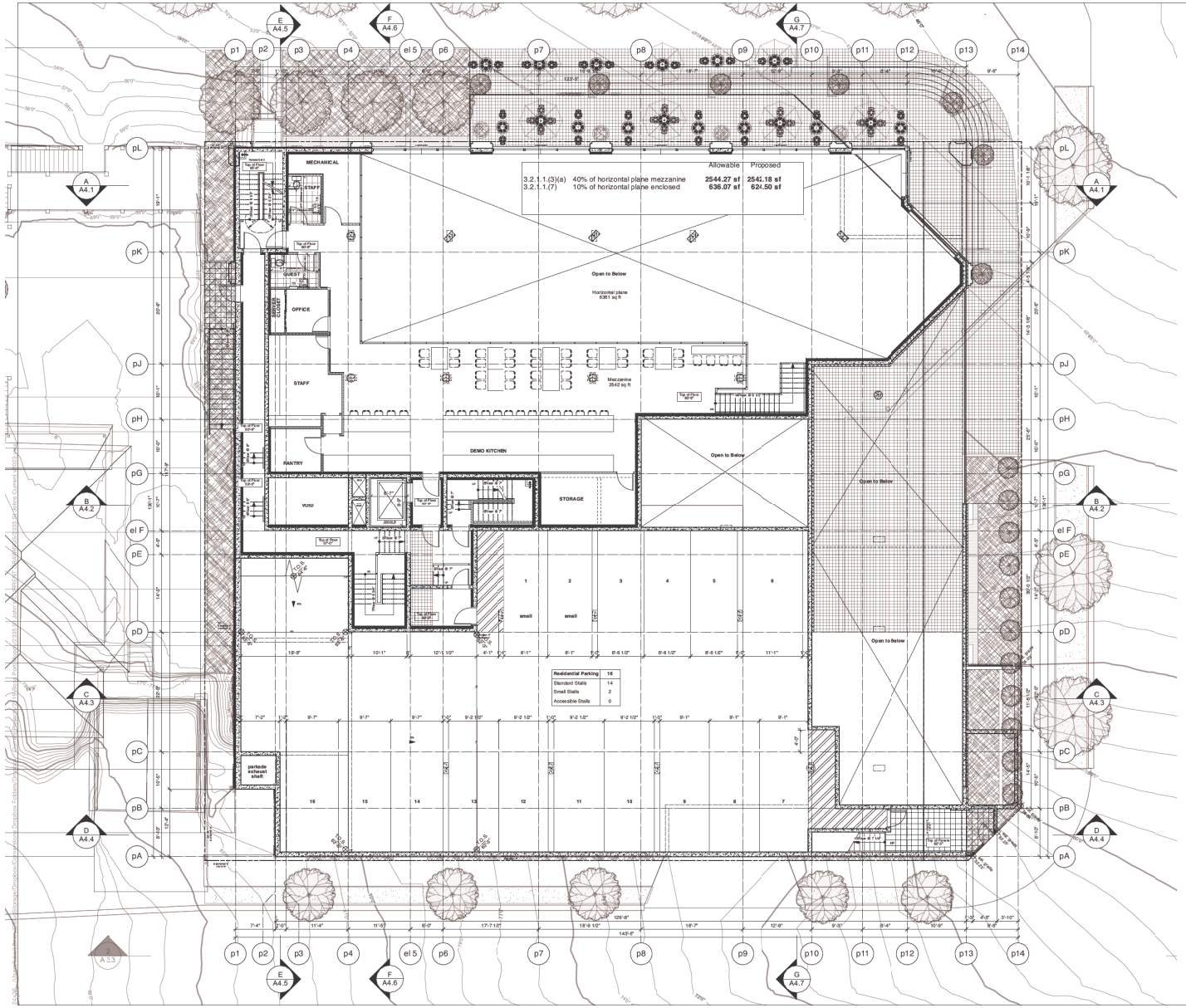
SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO.
2119

DRAWING NO.
A2.1

Attachment 7



LEGEND KEY (Elevations Are In Feet & Inches)

U.S.	Interpolated building grade	U/S	underside
T.O.C.	top of concrete topping	U.O.S.	unless otherwise
T.O.S.	top of concrete	A.B.	air barrier
T.O.W.	top of wall	V.B.	vapour barrier
T.O.P.	top of parapet	W.C.	water
T.O.F.	top of finished floor	W.L.	water line
T.O.R.	top of roof	W.P.	waterproofing
U.N.O.	unless noted otherwise	A.O.	automatic door opener

Refer to Drawing Sheet A0.1, General Notes, for a full list of abbreviations.

Property Line
Setback Line
Structure Over
Structure Below
Elevation Marker: Municipal building grade
Elevation Marker: Spot Elevation
Floor Elevation
Wall Type
Window Type
Floor/ Roof Type
Door Type
Material Designation
Raised Starwell Ceiling Above
Textile Warning System (to be provided at top of all public stairs)
A.O. Push Button
Overflow Scupper
Floor Drain
Drain Pipe
Roof Drain
Drain Pipe Over
Rainwater Leader
Standpipe
EV Station 100 fast charging

Dimension & framing notes:

unless shown otherwise, dimensions are taken as follows:

1. Concrete or masonry walls / columns - face of concrete or masonry wall
2. Exterior frame walls - face of exterior sheathing
3. Interior frame walls - face of stud
4. Interior suite-to-suite party walls - centerline of wall assembly
5. Interior corridor walls - face of corridor side of wall assembly
6. Interior suite-to-corridor walls - the face of exterior frame wall sheathing, and the center line of party wall assemblies (unless shown otherwise)
7. Ceiling heights - are measured between beam or actual fixture size and adjacent soffit/grid
8. Ceiling heights - in all cases, ceiling grids located and adjusted to attic/bins and hatches/covers for the installation of future grab bars
9. Stud walls - are dimensioned to face of stud
10. Stud walls for sprinkled - are dimensioned to face of stud with spray foam insulation.
11. Refer to the window schedule for window R.O. dimensions
12. Refer to the door schedule for door R.O. dimensions (typ. unless noted otherwise)
13. The building is sited parallel (or perpendicular to the SRW/R property line.

General drawing note:

Refer to wall, door, and window schedules for further information.
Refer to the Mechanical, Electrical, Structural, Civil, Landscape Architectural, structural, and fire suppression drawings. Mechanical, mechanical, plumbing information shown for reference and coordination only. Refer to appropriate plans for equipment and structural elements,ducting, etc.

Parking spaces for residential to be "energized" for Level 2 EV Charging:
- 20% of residential
- 20% of commercial
- 50% of visitors
- 100% of
- 20% of stalls 110-120V outlets

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Level 1 Mezzanine

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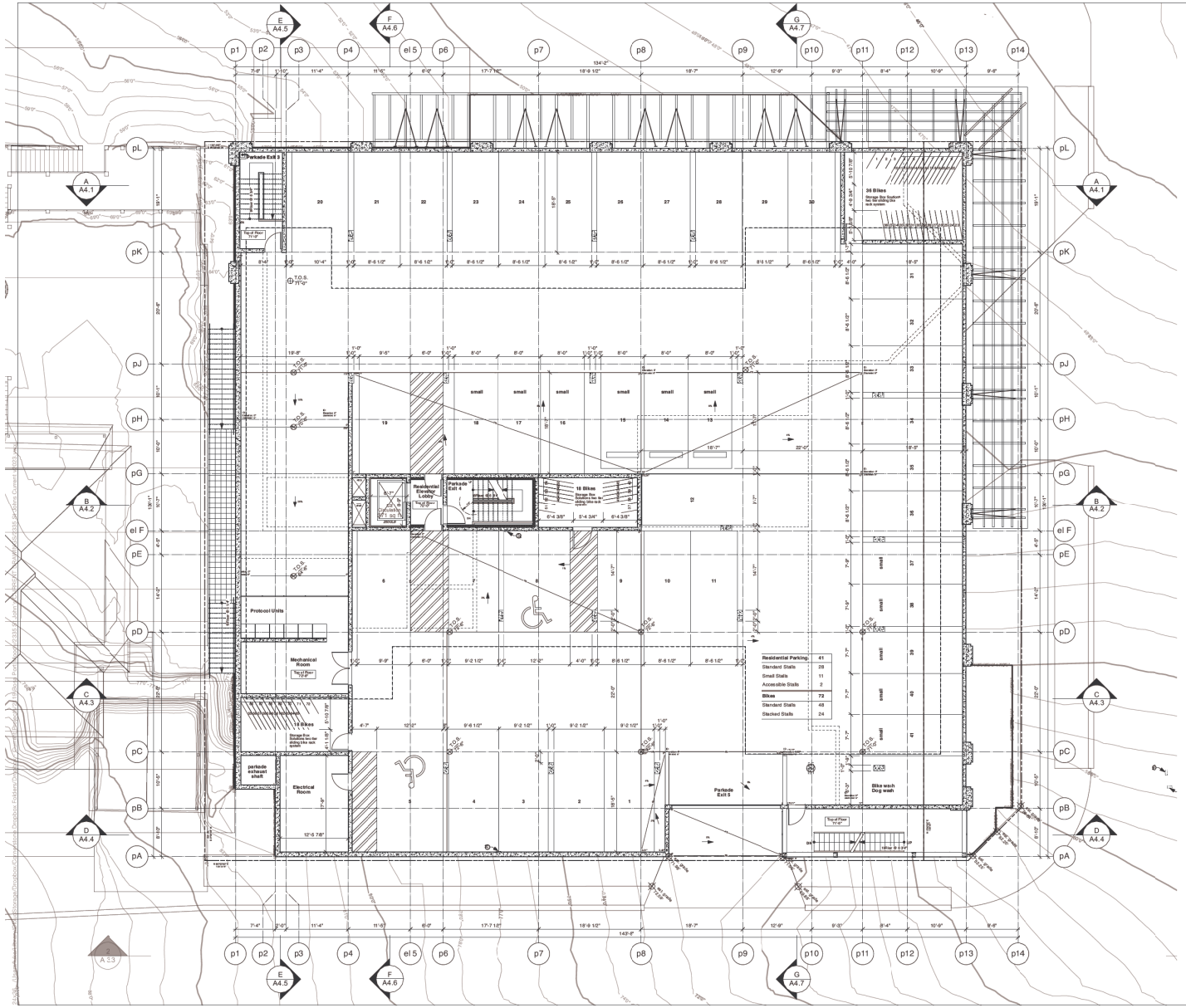
SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A2.2**

Attachment 7



LEGEND KEY (Elevations Are In Feet & Inches)

U.G.	Interpolated building grade	U/S	underside
T.O.C.	top of concrete topping	D/S	top of decking
T.O.S.	top of concrete	A.B.	air barrier
T.O.P.	top of parapet	V.B.	vapour barrier
T.O.F.	top of decking	W.P.	waterproofing
T.O.R.	top of roof/roof floor	W.C.	water closet
T.O.W.	top of wall/curb	S.W.A.	shear wall
U.N.O.	unless noted otherwise	A.O.	automatic door opener

Refer to Drawing Sheet A0.1, General Notes, for a full list of abbreviations.

Property Line — Setback Line
Structure Over — Structure Below
Elevation Marker: Municipal building grade
Elevation Marker: Spot Elevation
Floor Elevation — A.O. Push Button
Wall Type — overflow Overflow Scupper
Window Type — RD Floor Drain
Floor/Roof Type — Drain Pipe
Door Type — DR Roof Drain
Material Designation — Drain Pipe Over
Raised Starwell Ceiling Above — RWL Rainwater Leader
Textile Warning System (to be provided at top of all public stairs) — Standpipe
EV Station 100 fast charging

Dimension & framing notes:

unless shown otherwise, dimensions are taken as follows;

1. Concrete or masonry walls / columns - face of concrete or masonry wall
2. Exterior frame walls - face of exterior sheathing
3. Interior frame walls - face of stud
4. Interior suite-to-suite party walls - centerline of wall assembly
5. Exterior frame walls adjacent to suite-to-suite party walls - the face of exterior frame wall sheathing, and the center line of party wall assemblies (unless shown otherwise)
6. Ceiling heights are taken as the vertical distance between beam/on actual fixture size and adjacent ceiling/grid.
7. Ceiling heights are measuring gravity bottom and adjacent to attachers and hatches/covers for the installation of future gas/land.
8. Ceiling heights are measuring to bottom of joist.
9. Stud jacks for sprinkler pipe shall be kept to a minimum and shall be installed with spray foam insulation.
10. Refer to the window schedule for window R.O. dimensions
11. Refer to the door schedule for door R.O. dimensions (unless shown on plan)
12. The building is oriented parallel perpendicular to the SOUTH property line.

General drawing note:

Refer to wall, door, and window schedules for further information.
Refer to the A0.1 series of drawings for general notes, typical detail, and/or, structural and fire suppression drawings. Mechanical, mechanical, plumbing information shown for reference and coordination only. Refer to appropriate plans for equipment and structural elements,ducting, etc.

Parking spaces for residential to be "energized" for Level2 EV Charging:
- 100% of residential
- 20% of commercial
- 50% of visitors
- 100% of bikes
- 20% of stalls 110-120V outlets

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Num.	YY MM DD	▲ISSUE / REVISION▼
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-10	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Level 2 Parkade

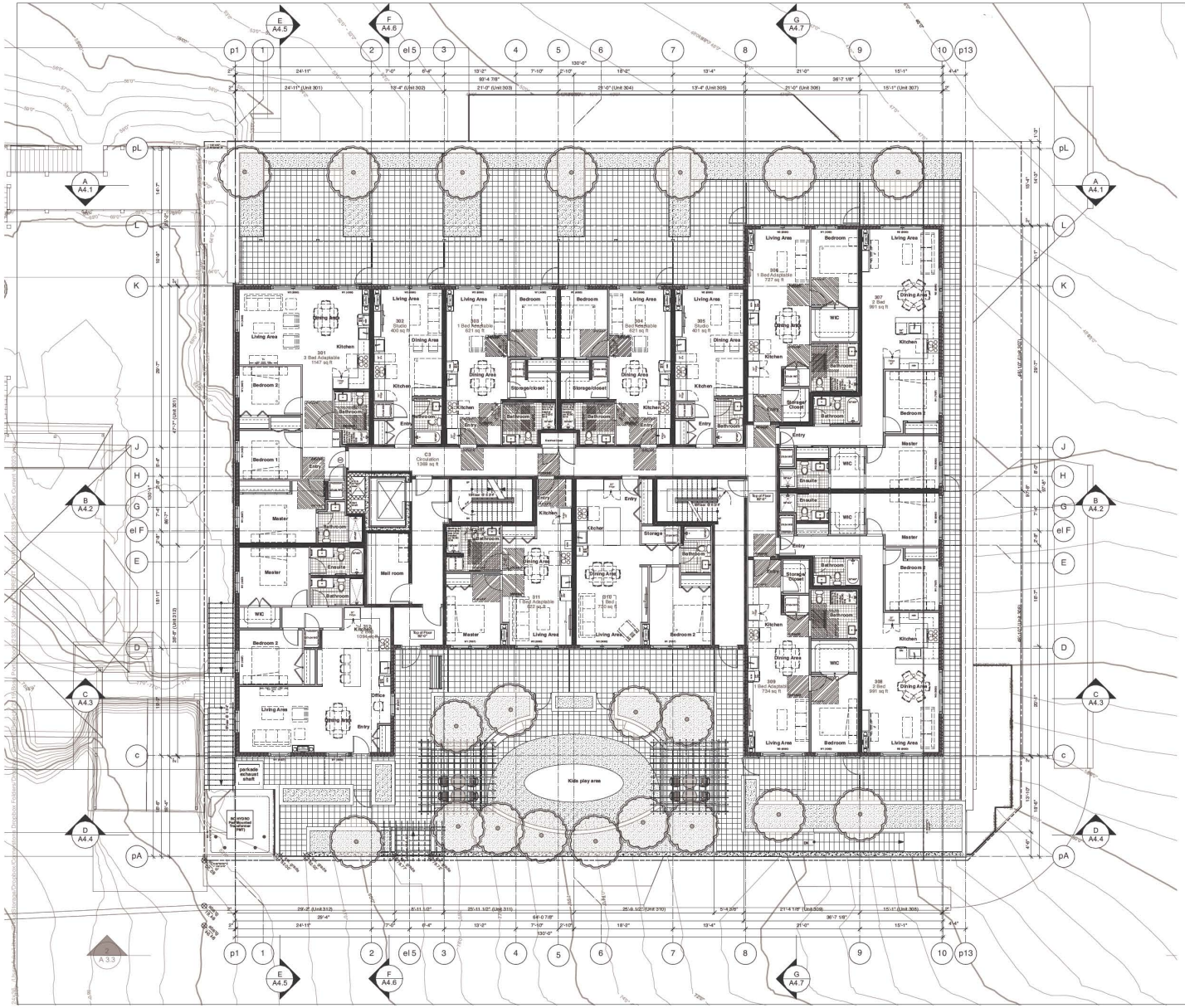
Unless signed & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.

SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A2.3**



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1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE: BCBC 2018
ZONING: RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 3

Unless signed & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.

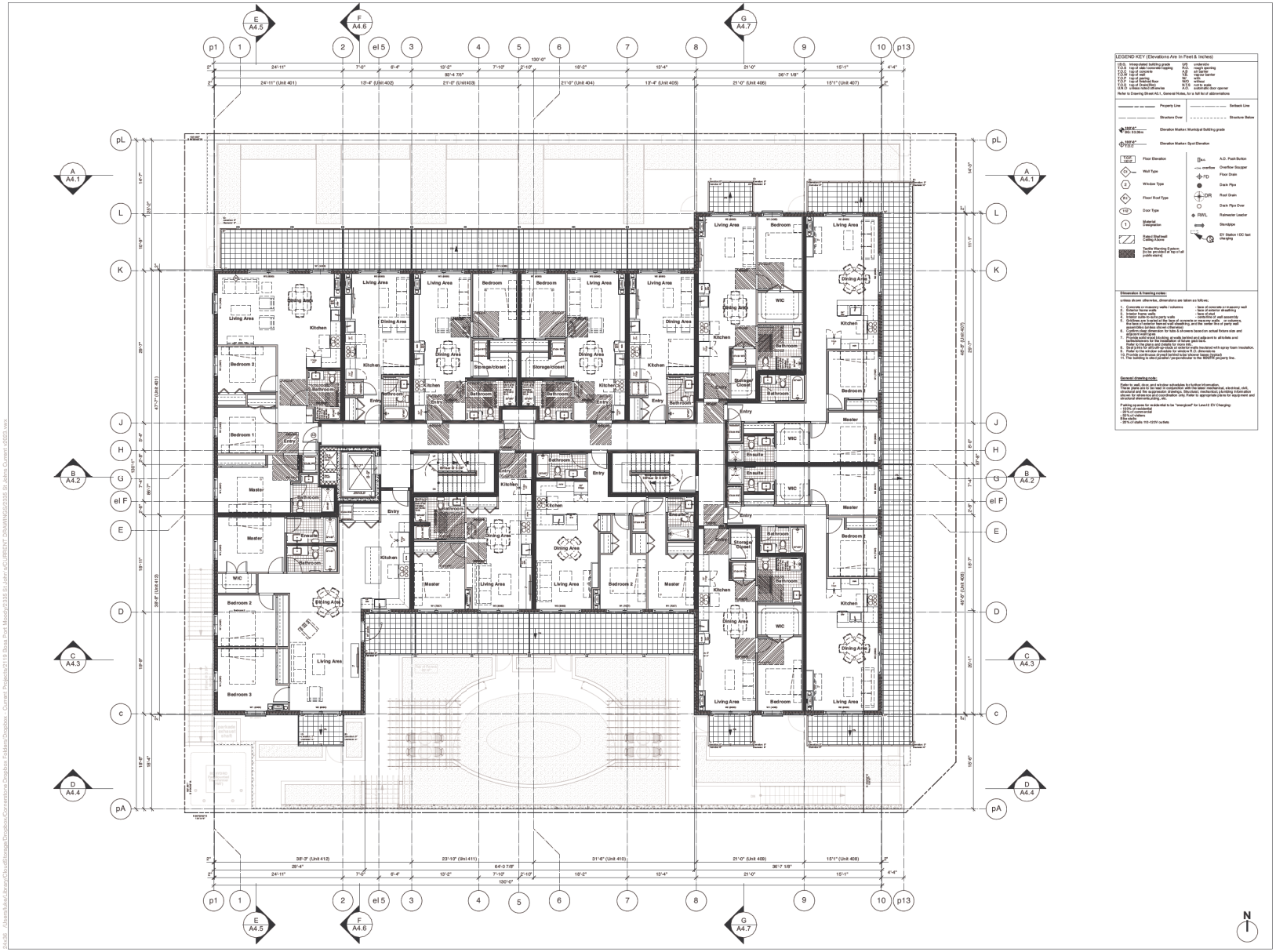
SCALE: 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE: Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A2.4**

Attachment 7



LEGEND KEY (Elevations Are In Feet & Inches)

U.B.G.	Interpolated building grade	U/S	underside
T.O.C.	top of concrete capping	U.O.S.	unless otherwise
T.O.C.	top of concrete	A.S.	air barrier
T.O.P.	top of parapet	V.B.	vapour barrier
T.O.P.	top of railing	W.C.	water closet
T.O.F.	top of finished floor	W.S.	wet seal
T.O.S.	top of structure	W.W.	working walls
U.N.O.	unless noted otherwise	A.O.	automatic door opener

Refer to Drawing Sheet A0.1, General Notes, for a full list of abbreviations.

Property Line — Setback Line
Structure Over — Structure Below
Elevation Marker: Municipal Building grade
Elevation Marker: Spot Elevation
Floor Elevation — A.O. Push Button
Wall Type — Overflow Scupper
Window Type — Floor Drain
Floor/ Roof Type — Drain Pipe
Door Type — Roof Drain
Material Designation — Drain Pipe Over
Raised Shelfwall Ceiling Above — Rainwater Leader
Textile Warning System (to be provided at top of all public stairs) — Standpipe
EV Station 100 fast charging

Dimension & framing notes:

unless shown otherwise, dimensions are taken as follows:

1. Concrete or masonry walls / columns - face of concrete or masonry wall
2. Exterior frame walls - face of exterior sheathing
3. Interior frame walls - face of stud
4. Interior suite-to-suite party walls - centerline of wall assembly
5. Interior suite-to-corridor walls - face of corridor side of wall assembly, the face of exterior frame wall sheathing, and the center line of party wall assemblies (unless shown otherwise)
6. Ceiling heights - floor to ceiling, between beam/on actual fixture size and underside soffit/grid
7. Ceiling heights - floor to ceiling, proofs backed and adjacent to ductwork and bulkheadcovers for the installation of future grab bars
8. Stud walls - centerline of stud (typical U.N.O.)
9. Stud walls for sprinkler stacks at corner/tub walls backed with spray foam insulation.
10. Refer to the window schedule for window R.O. dimensions
11. Refer to the door schedule for door R.O. dimensions (typical U.N.O.)
12. The building is oriented parallel/perpendicular to the SW/NW property line.

General drawing note:

Refer to wall, door, and window schedules for further information.
Refer to the A0.1 series of drawings for the architectural, structural, electrical, civil, structural and fire suppression drawings. Mechanical, mechanical, plumbing information shown for reference and coordination only. Refer to appropriate plans for equipment and structural elements,ducting, etc.

Parking spaces for residential to be "energized" for Level 2 EV Charging:
- 100% of residential
- 20% of commercial
- 50% of visitors
- 100% of ...
- 20% of stalls 110-120V outlets

CORNERSTONE architecture

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Vancouver, British Columbia,
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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Level 4

Unless signed & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.

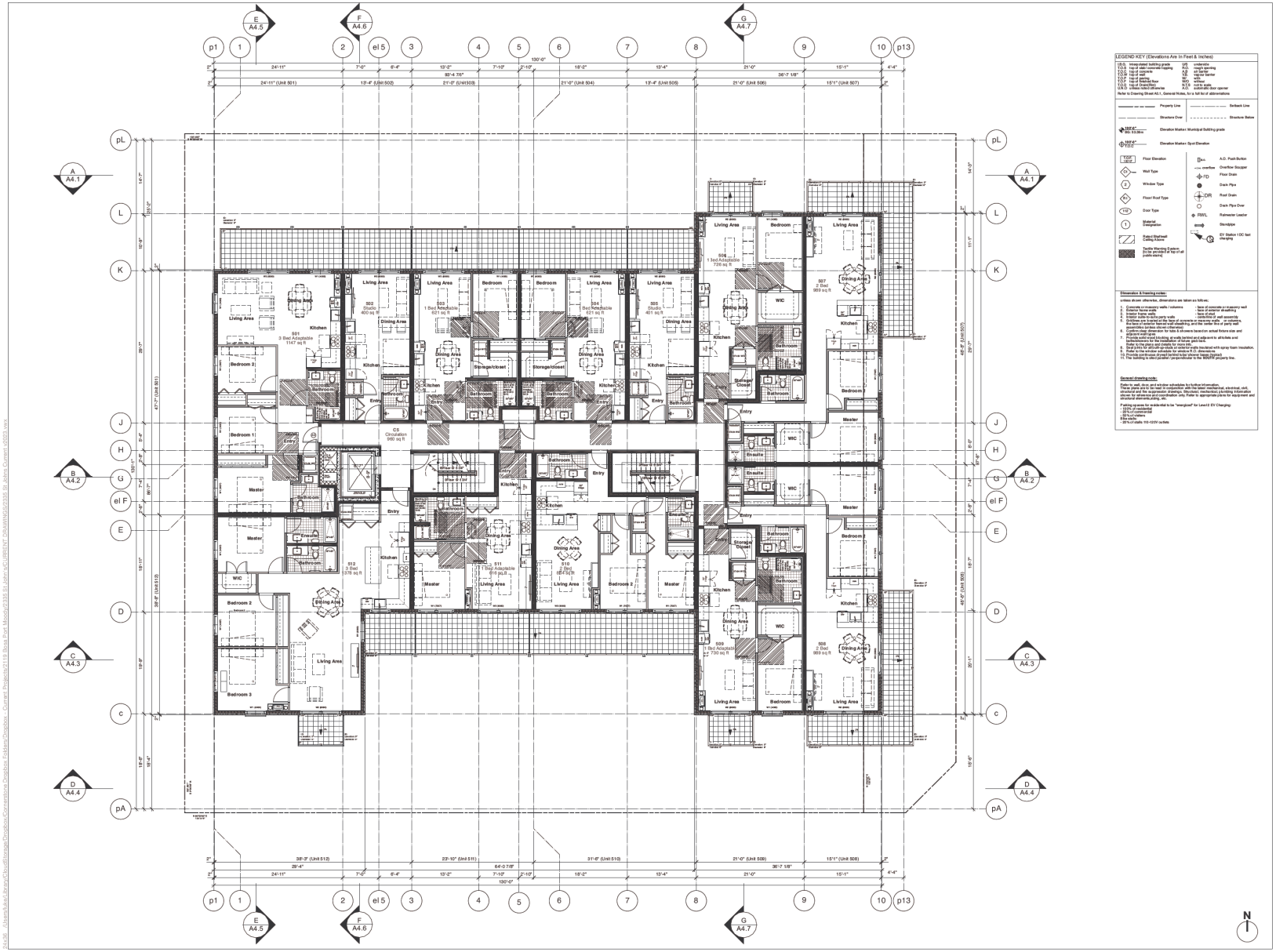
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A2.5**

Attachment 7



LEGEND KEY (Elevations Are In Feet & Inches)

U.S.	Interpolated building grade	U/S	underside
T.O.C.	top of concrete topping	U.O.S.	unless otherwise
T.O.S.	top of concrete	A.S.	air barrier
T.O.W.	top of wall	V.B.	vapour barrier
T.O.P.	top of parapet	W.C.	water closet
T.O.F.	top of finished floor	W.L.	water line
T.O.R.	top of roof deck	W.P.	waterproofing
U.N.O.	unless noted otherwise	A.O.	automatic door operator

Refer to Drawing Sheet A0.1, General Notes, for a full list of abbreviations

Property Line
Setback Line
Structure Over
Structure Below
Elevation Marker: Municipal Building grade
Elevation Marker: Spot Elevation
Floor Elevation
Wall Type
Window Type
Floor/ Roof Type
Door Type
Material Designation
Raised Starfloor/ Ceiling Above
Textile Warning System (to be provided at top of all public stairs)
A.O. Push Button
overflow Overflow Scupper
FD Floor Drain
Drain Pipe
DR Roof Drain
Drain Pipe Over
RWL Rainwater Leader
Standpipe
EV Station 100 fast charging

Dimension & framing notes:

unless shown otherwise, dimensions are taken as follows:

1. Concrete or masonry walls / columns - face of concrete or masonry wall
2. Exterior frame walls - face of exterior sheathing
3. Interior frame walls - face of stud
4. Interior suite-to-suite party walls - centerline of wall assembly
5. Interior corridor walls - face of concrete or masonry wall opposite the face of exterior frame wall sheathing, and the center line of party wall assemblies (unless otherwise shown)
6. Ceiling heights - are taken as the lowest beam/on actual fixture size and adjacent soffit/grid
7. Ceiling heights - are measuring gross to lowest and adjacent to ductwork and hardware/covers for the installation of future grab bars
8. Refer to the structural drawings for all structure
9. Stud jamb for sprinkler riser or valve for walls backed with spray foam insulation.
10. Refer to the window schedule for window R.O. dimensions
11. Refer to the door schedule for door R.O. dimensions (typ. unless noted)
12. The building is sited parallel (or perpendicular) to the SRW/PL property line.

General drawing note:

Refer to wall, door, and window schedules for further information.
Refer to the A0.1 General Notes for a full list of abbreviations. Refer to the structural and fire suppression drawings. Mechanical, mechanical, plumbing information shown for reference and coordination only. Refer to appropriate plans for equipment and structural elements,ducting, etc.

Parking spaces for residential to be "energized" for Level 2 EV Charging:
- 100% of residential
- 20% of commercial
- 50% of visitors
- 100% of
- 20% of visits 110-120V outlets

CORNERSTONE architecture

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1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Level 5

Unless signed & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.

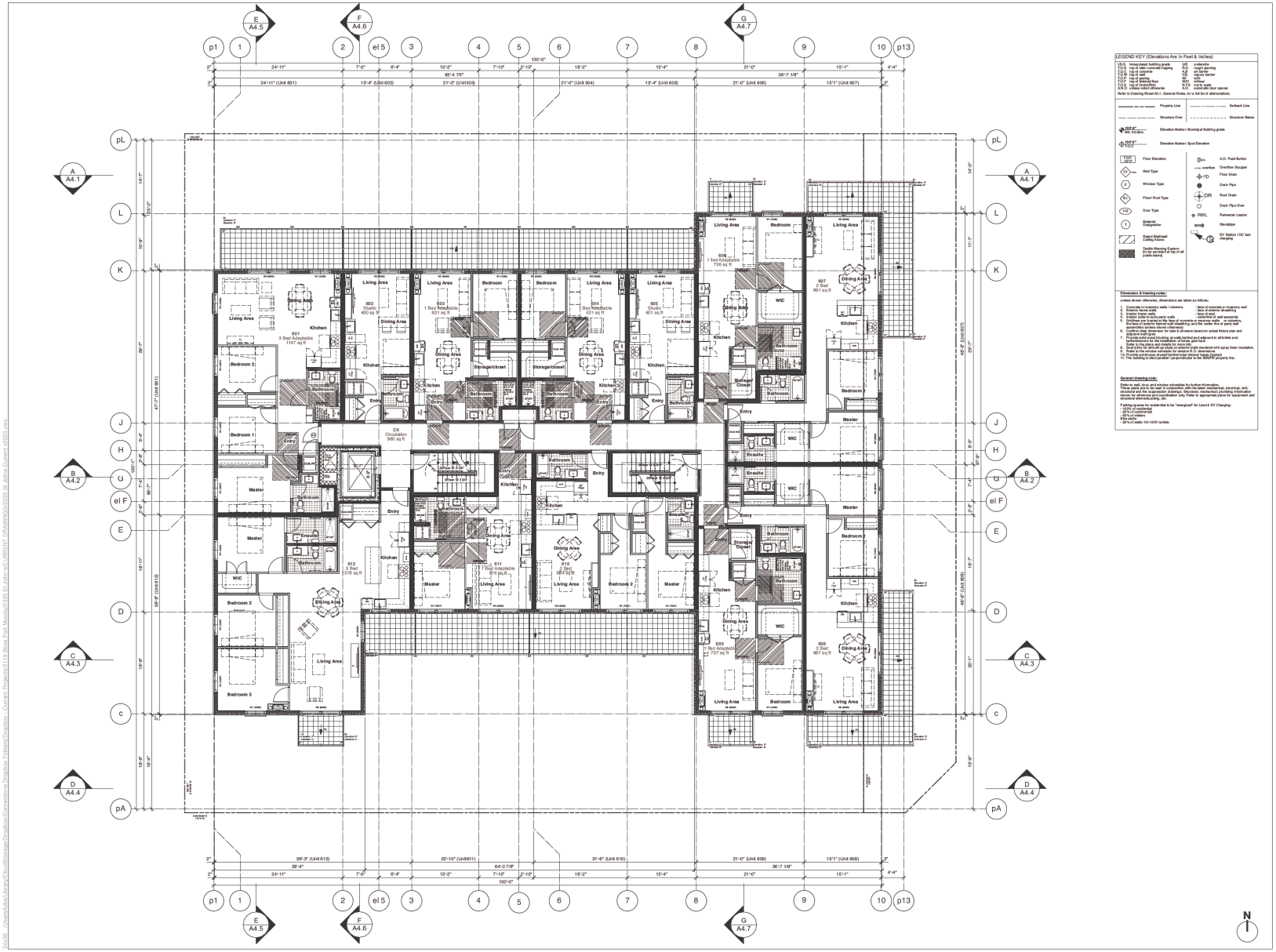
SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO.
2119

DRAWING NO.
A2.6

Attachment 7



LEGEND KEY (Elevations Are In Feet & Inches)

U.B./S.	Interpolated building grade	U/S	underside
T.O.C.	top of concrete topping	U.O.S.	unless otherwise
T.O.S.	top of concrete	A.B.	air barrier
T.O.W.	top of wall	V.B.	vapour barrier
T.O.P.	top of parapet	W.C.	water closet
T.O.F.	top of finished floor	W.L.	water line
T.O.R.	top of roof deck	W.P.S.	wet pipe sprinkler
U.N.O.	unless noted otherwise	A.O.	automatic door opener

Refer to Drawing Sheet A0.1, General Notes, for a full list of abbreviations

	Property Line		Setback Line
	Structure Over		Structure Below
100'-4" BS: 53.3m	Elevation Marker: Municipal Building grade		
100'-4" TYP	Elevation Marker: Spot Elevation		
TOF 100'-4"	Floor Elevation		A.O. Push Button
W1	Wall Type	overflow	Overflow Scupper
W	Window Type	FD	Floor Drain
R1	Floor/ Roof Type		Drain Pipe
H2	Door Type	DR	Roof Drain
1	Material Designation		Drain Pipe Over
	Raised Shelfwall Ceiling Above	RWL	Rainwater Leader
	Textile Warning System (to be provided at top of all public stairs)		Standpipe
		EV	EV Station 100 fast charging

Dimension & framing notes:

unless shown otherwise, dimensions are taken as follows:

1. Concrete or masonry walls / columns - face of concrete or masonry wall
2. Exterior frame walls - face of exterior sheathing
3. Interior frame walls - face of stud
4. Interior suite-to-suite party walls - centreline of wall assembly
5. Interior corridor walls - face of corridor side of wall assembly
6. the face of exterior frame wall sheathing, and the center line of party wall assemblies (unless otherwise shown)
7. Ceiling heights are measured between beam/on actual fixture size and underside of ceiling
8. Ceiling heights are measuring gross to bottom and adjacent to ductwork and hallways/towers for the installation of future gypboard.
9. Refer to the structural drawings for all beam sizes
10. Stud jacks for ductwork are not shown on plans
11. Refer to the window schedule for window R.O. dimensions
12. Refer to the door schedule for door R.O. dimensions (unless noted otherwise)
13. The building is oriented parallel (or perpendicular) to the SRW/PL property line.

General drawing note:

Refer to wall, door, and window schedules for further information.
Refer to the A0.1 series for general notes, typical details, architectural, structural and fire suppression drawings. Mechanical, mechanical, plumbing information shown for reference and coordination only. Refer to appropriate plans for equipment and structural elements,ducting, etc.

Parking spaces for residential to be "energized" for Level 2 EV Charging:
- 100% of residential
- 20% of commercial
- 50% of visitors
- 100% of
- 20% of stalls 110-120V outlets

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Level 6

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SCALE
1/8" = 1'-0" (unless noted otherwise)

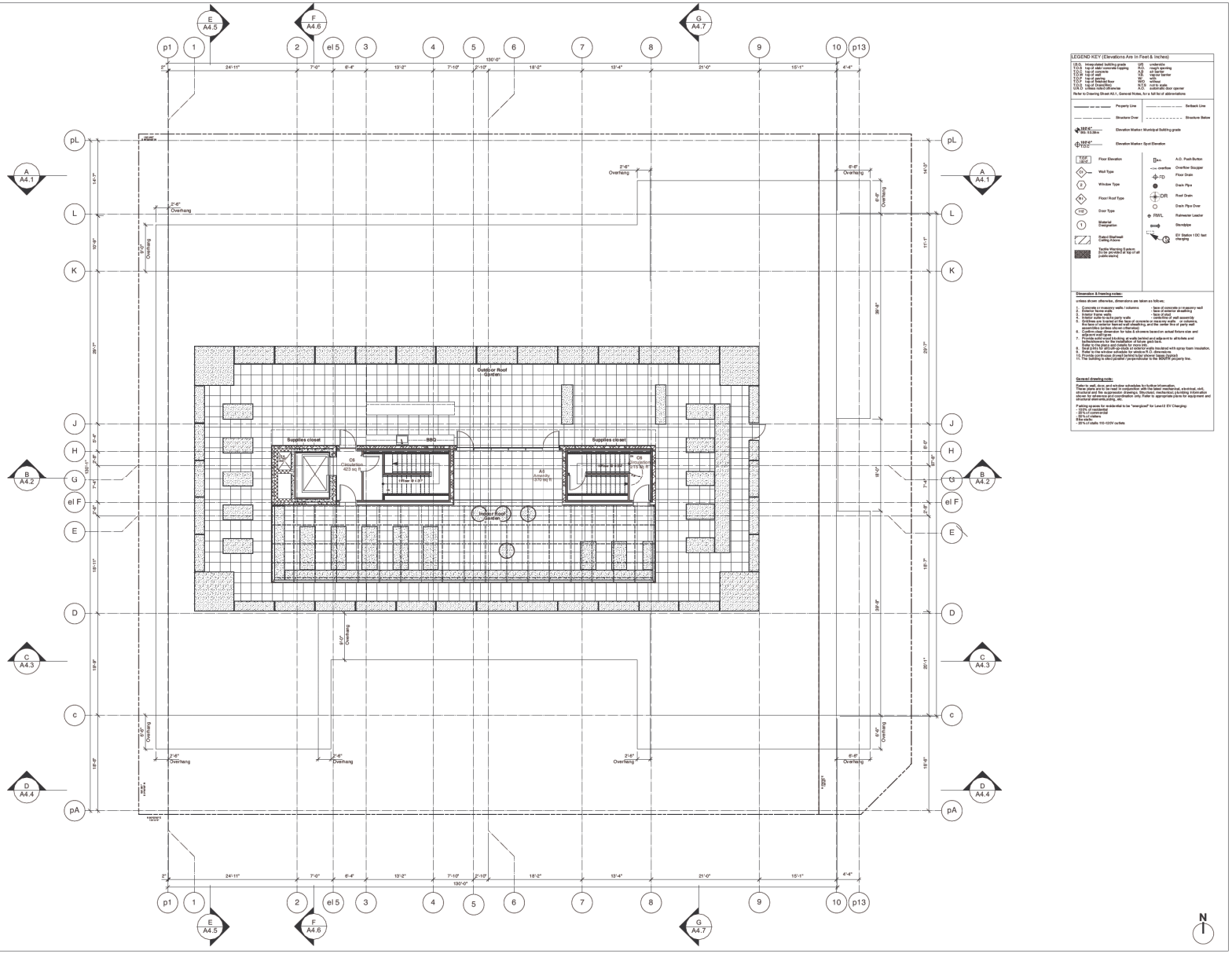
PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A2.7**

A2.0B - J:\Users\Julian\Dropbox\Dropbox\Cornerstone Projects_Folder\Projects_Current Projects\2119 Bosa Foot Mood\2335 St John's\CURRENT DRAWINGS\2335 St John's Current 230523.rvt

Attachment 7


Outdoor Roof Garden
Supplies closet
BBQ
Supplies closet
Indoor Roof Garden
130'-0"
24'-11"
7'-0"
6'-4"
13'-2"
7'-10"
2'-10"
18'-2"
13'-4"
21'-0"
15'-1"
4'-4"
2'-6" Overhang
6'-6" Overhang
8'-6" Overhang
2'-6" Overhang
2'-6" Overhang
2'-6" Overhang
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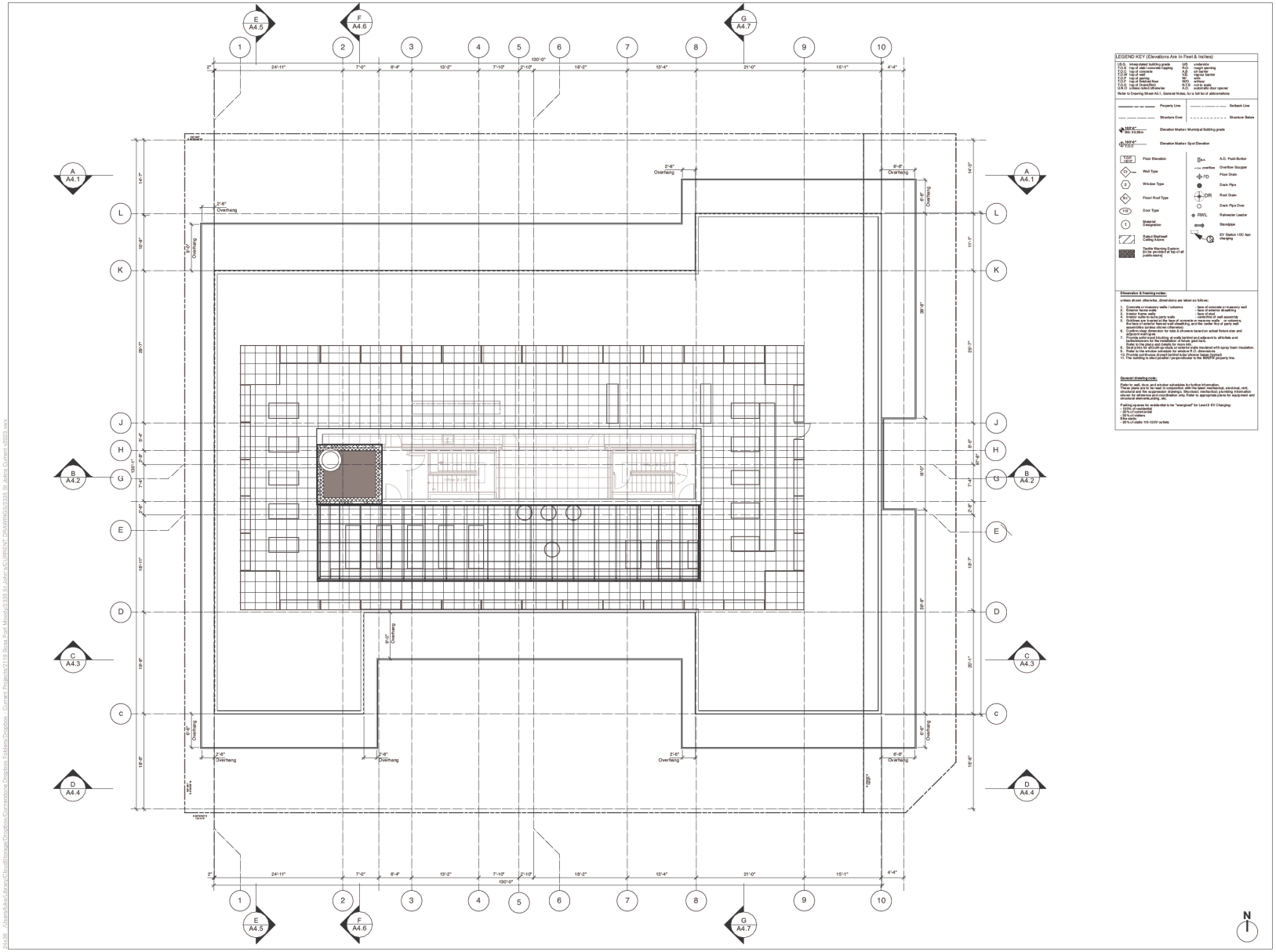
6'-6" Overhang
6



LEGEND KEY (Elevations Are In Feet & Inches)

U.B.G.	Interpolated building grade	U/S	underside
T.O.C.	top of concrete topping	U.O.B.	unless otherwise noted
T.O.S.	top of concrete	A.B.	air barrier
T.O.W.	top of wall	V.B.	vapour barrier
T.O.P.	top of parapet	W/	with
T.O.F.	top of finished floor	W/O	without
T.O.R.	top of roof deck/slab	N.S.W.	new stud wall
U.N.O.	unless noted otherwise	A.O.	auto-roll-up door opener

Refer to Drawing Sheet A0.1, General Notes, for a full list of abbreviations.

	Property Line		Setback Line
	Structure Over		Structure Below
103'-6" 99: 53.36m	Elevation Marker: Municipal building grade		
102'-6" T.O.C.	Elevation Marker: Spot Elevation		
T.O.F. 100'-0"	Floor Elevation		A.O. Push Button
W1	Wall Type	overflow	Overflow Scupper
W	Window Type	FD	Floor Drain
R1	Floor/ Roof Type		Drain Pipe
112	Door Type	DR	Roof Drain
1	Material Designation		Drain Pipe Over
	Raised Shelfwall Ceiling Above	RWL	Rainwater Leader
	Textile Warning System (to be provided at top of all public stairs)		Standpipe
		EV	EV Station 100 feet charging

Dimension & framing notes:

unless shown otherwise, dimensions are taken as follows:

1. Concrete or masonry walls / columns - face of concrete or masonry wall
2. Exterior frame walls - face of stud / centerline of sheathing
3. Interior frame walls - face of stud
4. Interior suite-to-suite party walls - centerline of wall assembly
5. Interior suite-to-corridor walls - face of corridor side of wall assembly
6. the face of exterior frame wall sheathing, and the center line of party wall assemblies (unless shown otherwise)
7. Ceiling heights are measured between beam/on actual fixture size and ductwork soffit/grid
8. Ceiling heights are measuring gross to/next and adjacent to ductwork and bulkheads/covers for the installation of future grab bars
9. Stud walls are typically 152mm (6") thick
10. Stud walls for shaft-up-vents of exterior walls backed with spray foam insulation.
11. Refer to the window schedule for window R.O. dimensions
12. Refer to the door schedule for door R.O. dimensions (typ.)
13. The building is oriented parallel / perpendicular to the SOUTH property line.

General drawing note:

Refer to wall, door, and window schedules for further information.
Refer to the Civil, Structural, Mechanical, Electrical, Landscape, Geotechnical, structural, and the suppression drawings. Mechanical, mechanical, plumbing information shown for reference and coordination only. Refer to appropriate plans for equipment and structural elements,ducting, etc.

Parking spaces for residential to be "energized" for Level 2 EV Charging:
- 100 % of residential
- 20 % of commercial
- 50 % of visitors
- 100 % of EV
- 20 % of visitors 110-120V outlets

CORNERSTONE architecture

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PROJECT

Bosa Foods

2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING

Upper Roof

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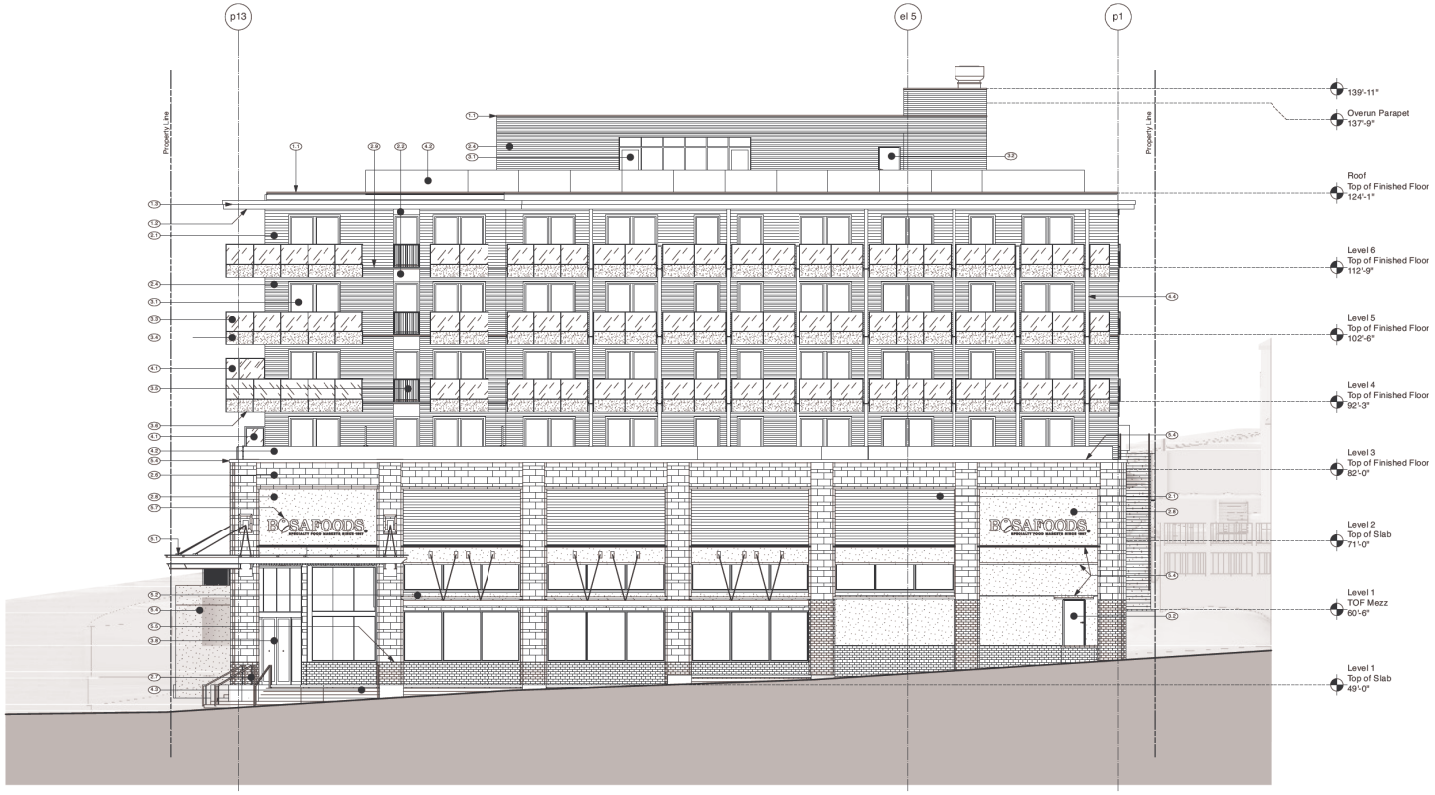
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A2.9**

Attachment 7



1
A 3.1

North Elevation

Scale: 1/8" = 1'-0"

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet c/w prefinished metal counter and cap flashing			Iron Ore
1.2	Metal soffit c/w slot ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Prefinished metal cap flashing over cement board fascia	James Hardie		Charcoal Grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fibre cement panel cladding	James Hardie	Smooth	Iron Gray
2.3	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Smooth	Iron Gray
2.4	Fibre cement horizontal lap siding cladding	James Hardie	Cedarmill	Cobble Stone
2.5	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Cedarmill	Cobble Stone
2.6	Architectural stone c/w grout	Shouldice	Tapestry	Desert Stuff
2.7	Architectural stone c/w grout	Shouldice	Hook	Desert Stuff
2.8	Porcelain slab	Dalthe	Matt finish	Obsidian
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glazed doors residential			Charcoal Grey
3.2	Painted steel entry door			Iron Gray
3.3	Stanchion glass guardrail system c/w glass & cap	AFGD 5mm		Clear
3.4	Stanchion glass guardrail system at base			Opaque
3.5	Aluminium guardrail			Iron Ore
3.6	Prefinished metal counter flashing (fascia) c/w metal soffit & slot ventilation			Iron Ore
3.7	Parkade garage door residential			
3.8	Double-glazed aluminium windows & sliding-glazed doors retail			Charcoal Grey
3.9	Parkade garage door retail			Iron Gray

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
4.1	Aluminium screen & gates c/w opaque glass			Iron Gray
4.2	Aluminium planters			Iron Gray
4.3	Corten steel planters			Rust
4.4	Wood columns c/w metal cladding			Iron Ore
4.5	Heavy timber wood canopy (we recommend treated wood) c/w painted finish metal connections and flat cap where exposed			
4.6	Board formed architectural concrete wall c/w clear elastomeric paint or Allen block planters	- see landscape		
5.1	Wood canopy c/w glass & cables			
5.2	Steel canopy c/w glass & cables			Terra Cotta
5.3	Stone retaining wall	Bateman Architectures		Ash
5.4	Concrete wall, canopy and decorative ledge	Concrete	Sack Rub	
5.5	Aluminium decorative screen			
5.6	Greencable greenery system		Aluminium	
5.7	Aluminium signage		Aluminium	

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PROJECT

Bosa Foods

2335 St Johns St

BUILDING CODE BCBC 2018

ZONING RM4, C3

DEVELOPMENT PERMIT #

BUILDING PERMIT #

DRAWING

North Elevation

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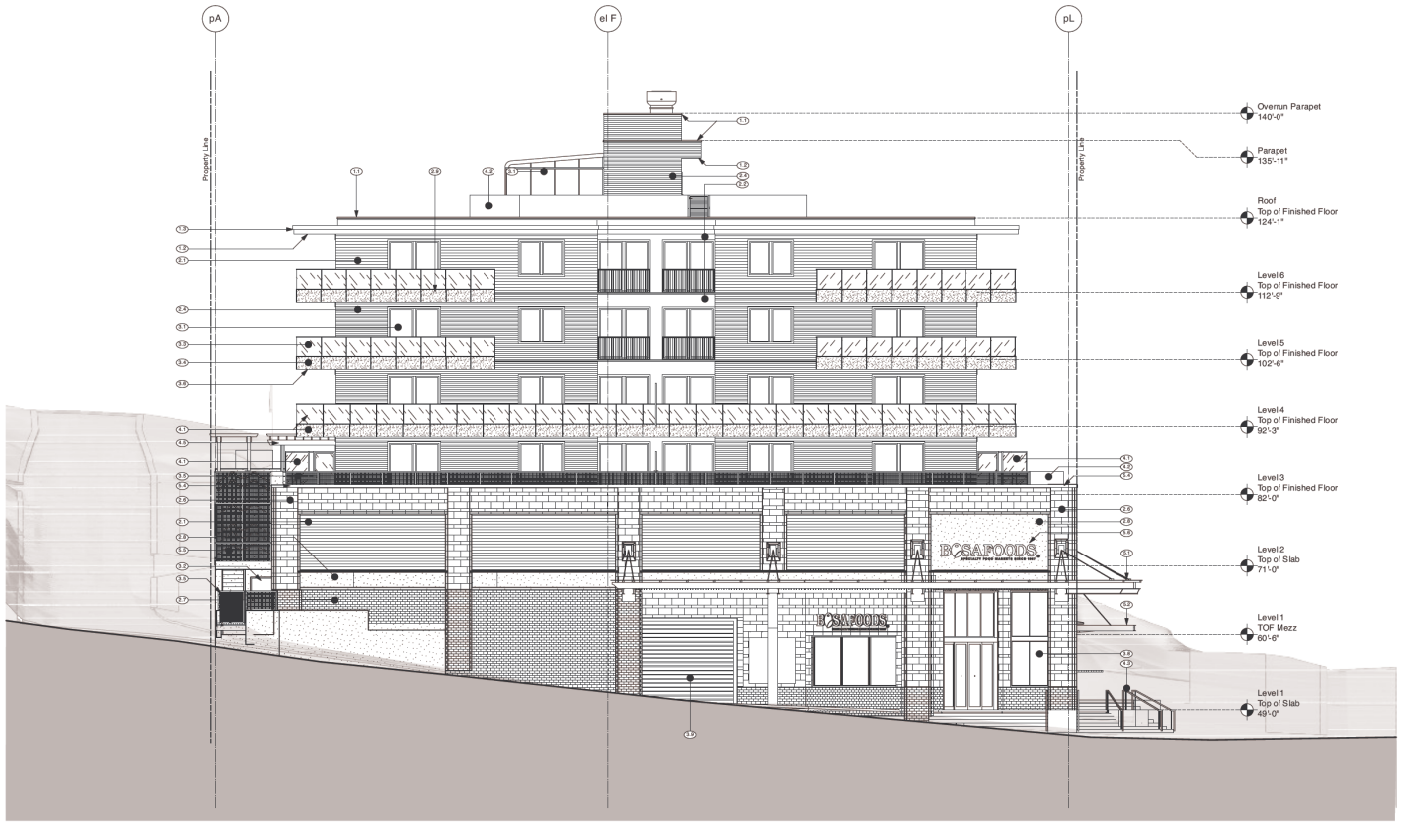
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. A3.1

24.08 - /Users/dave/Library/CloudStorage/Dropbox/Cornerstone Dropbox Folders/Dropbox - Current Projects/2119 Bosa Port Moody/2335 St John st/CURRENT DRAWINGS/2335 St Johns Current v2023.vwx



1 / A 3.2 East Elevation
Scale: 1/8" = 1'-0"

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet c/w prefinished metal counter and cap flashing			Iron Ore
1.2	Metal soffit c/w slot ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Prefinished metal cap flashing over cement board fascia	James Hardie		Charcoal Grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fibre cement panel cladding	James Hardie	Smooth	Iron Gray
2.3	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Smooth	Iron Gray
2.4	Fibre cement horizontal lap siding cladding	James Hardie	Cedarmill	Cobble Stone
2.5	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Cedarmill	Cobble Stone
2.6	Architectural stone c/w grout	Shouldice	Tapestry	Desert Sun
2.7	Architectural stone c/w grout	Shouldice	Rock	Desert Sun
2.8	Porcelain slab	Dalthe	Matt finish	Obsidian
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glazed doors residential			Charcoal Grey
3.2	Painted steel entry door			Iron Gray
3.3	Stanchion glass guardrail system c/w glass & cap	AFGD 5mm		Clear
3.4	Stanchion glass guardrail system at base			Opaque
3.5	Aluminium guardrail			Iron Ore
3.6	Prefinished metal counter flashing (fascia) c/w metal soffit & slot ventilation			Iron Ore
3.7	Parkade garage door residential			
3.8	Double-glazed aluminium windows & sliding-glazed doors retail			Charcoal Grey
3.9	Parkade garage door retail			Iron Gray

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
4.1	Aluminium screen & gates c/w opaque glass			Iron Gray
4.2	Aluminium planters			Iron Gray
4.3	Corten steel planters			Rust
4.4	Wood columns c/w metal cladding			Iron Ore
4.5	Heavy timber wood canopy (we recommend treated wood) c/w painted finish metal connections and flat cap where exposed			
4.6	Board formed architectural concrete wall c/w clear elastomeric paint or Allen block planters	- see landscape		
5.1	Wood canopy c/w glass & cables			
5.2	Steel canopy c/w glass & cables			Terra Cotta
5.3	Stone retaining wall	Bateman Architectures		Ash
5.4	Concrete wall, canopy and decorative ledge	Concrete	Sack Rub	
5.5	Aluminium decorative screen			
5.6	Greencable greenery system		Aluminium	
5.7	Aluminium signage		Aluminium	

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1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
East Elevation

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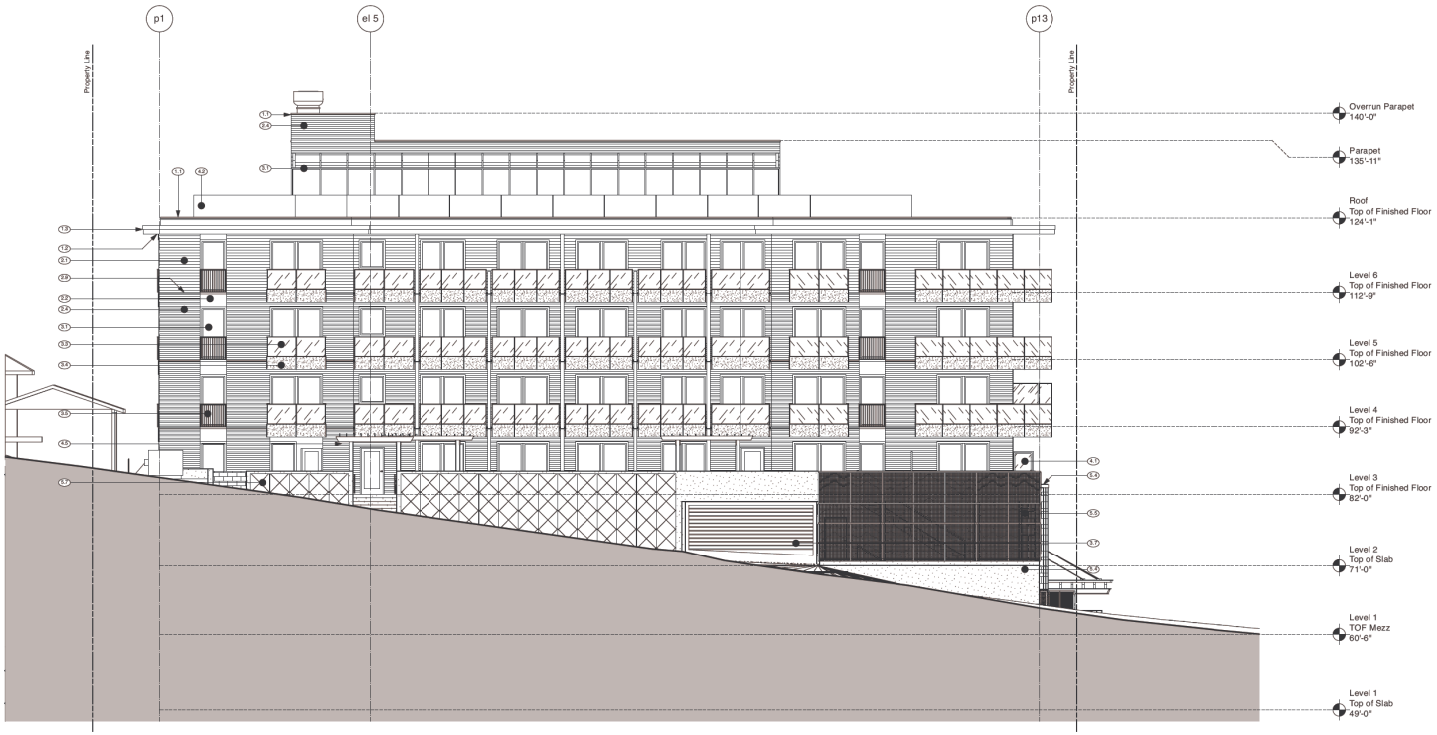
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. A3.2

24x36 - /Users/dave/Library/CloudStorage/Dropbox/Cornerstone Dropbox Folders/Dropbox - Current Projects/2119 Bosa Port Moody/2335 St John's/CURRENT DRAWINGS/2335 St Johns Current v2023.vwx



1
A 3.3

South Elevation

Scale: 1/8" = 1'-0"

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet c/w prefinished metal counter and cap flashing			Iron Ore
1.2	Metal soffit c/w slot ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Prefinished metal cap flashing over cement board fascia	James Hardie		Charcoal Grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fibre cement panel cladding	James Hardie	Smooth	Iron Gray
2.3	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Smooth	Iron Gray
2.4	Fibre cement horizontal lap siding cladding	James Hardie	Cedarmill	Cobble Stone
2.5	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Cedarmill	Cobble Stone
2.6	Architectural stone c/w grout	Shouldice	Tapestry	Desert Stuff
2.7	Architectural stone c/w grout	Shouldice	Rock	Desert Stuff
2.8	Porcelain slab	Dalttile	Matt finish	Obsidian
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glazed doors residential			Charcoal Grey
3.2	Painted steel entry door			Iron Gray
3.3	Stanchion glass guardrail system c/w glass & cap	AFGD 5mm		Clear
3.4	Stanchion glass guardrail system at base			Opaque
3.5	Aluminium guardrail			Iron Ore
3.6	Prefinished metal counter flashing (fascia) c/w metal soffit & slot ventilation			Iron Ore
3.7	Parkade garage door residential			
3.8	Double-glazed aluminium windows & sliding-glazed doors retail			Charcoal Grey
3.9	Parkade garage door retail			Iron Gray

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
4.1	Aluminium screen & gates c/w opaque glass			Iron Gray
4.2	Aluminium planters			Iron Gray
4.3	Corten steel planters			Rust
4.4	Wood columns c/w metal cladding			Iron Ore
4.5	Heavy timber wood canopy (we recommend treated wood) c/w painted finish metal connections and flat cap where exposed			
4.6	Board formed architectural concrete wall c/w clear elastomeric paint or Allen block planters	- see landscape		
5.1	Wood canopy c/w glass & cables			
5.2	Steel canopy c/w glass & cables			Terra Cotta
5.3	Stone retaining wall	Blankman Architectures		Ash
5.4	Concrete wall, canopy and decorative ledge	Concrete	Sack Rub	
5.5	Aluminium decorative screen			
5.6	Greencable greenery system		Aluminium	
5.7	Aluminium signage		Aluminium	

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1	2022-08-05	Issue for Review

PROJECT

Bosa Foods

2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING

South Elevation

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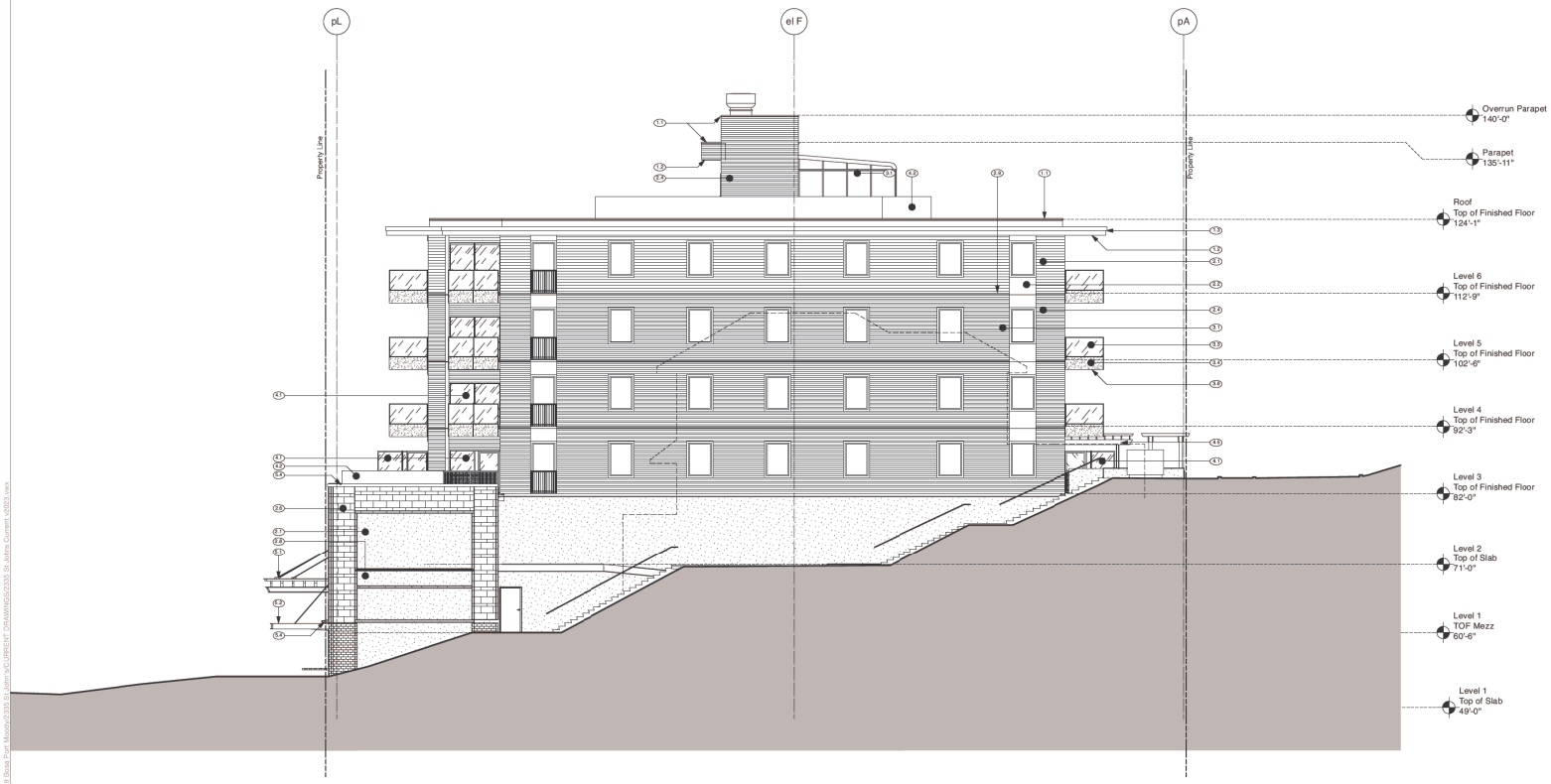
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A3.3**

Attachment 7



1
A 3.4
West Elevation
Scale: 1/8" = 1'-0"

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet c/w prefinished metal counter and cap flashing			Iron Ore
1.2	Metal soffit c/w slot ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Prefinished metal cap flashing over cement board fascia	James Hardie		Charcoal Grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fibre cement panel cladding	James Hardie	Smooth	Iron Gray
2.3	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Smooth	Iron Gray
2.4	Fibre cement horizontal lap siding cladding	James Hardie	Cedarmill	Cobble Stone
2.5	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Cedarmill	Cobble Stone
2.6	Architectural stone c/w grout	Shouldice	Tapestry	Desert Stuff
2.7	Architectural stone c/w grout	Shouldice	Hook	Desert Stuff
2.8	Porcelain slab	Dalttile	Matt finish	Obsidian
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glazed doors residential			Charcoal Grey
3.2	Painted steel entry door			Iron Gray
3.3	Stanchion glass guardrail system c/w glass & cap	AFGD 5mm		Clear
3.4	Stanchion glass guardrail system at base			Opaque
3.5	Aluminium guardrail			Iron Ore
3.6	Prefinished metal counter flashing (fascia) c/w metal soffit & slot ventilation			Iron Ore
3.7	Parkade garage door roll-up			
3.8	Double-glazed aluminium windows & sliding-glazed doors retail			Charcoal Grey
3.9	Parkade garage door retail			Iron Gray

Bosa Foods - St. Johns St.

FINISH SCHEDULE

No.	Material	Manufacturer	Texture	Colour
4.1	Aluminium screen & gates c/w opaque glass			Iron Gray
4.2	Aluminium planters			Iron Gray
4.3	Corten steel planters			Rust
4.4	Wood columns c/w metal cladding			Iron Ore
4.5	Heavy timber wood canopy (we recommend treated wood) c/w painted finish metal connections and flat cap where exposed			
4.6	Board formed architectural concrete wall c/w clear elastomeric paint or Allen block planters	- see landscape		
5.1	Wood canopy c/w glass & cables			
5.2	Steel canopy c/w glass & cables			Terra Cotta
5.3	Stone retaining wall	Bateman Architectures		Ash
5.4	Concrete wall, canopy and decorative ledge	Concrete	Sack Rub	
5.5	Aluminium decorative screen			
5.6	Greencable greenery system		Aluminium	
5.7	Aluminium signage		Aluminium	

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
West Elevation

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SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. A3.4

24x36 - /Users/kevinlangay/CloudStorage/Dropbox/Cornerstone Dropbox/Cornerstone Dropbox - Current Projects/2119 Bosa Foot Mood/2335 St John st/CURRENT DRAWINGS/2335 St Johns Current v2023.rvt

A / A 4.1 Section A-A
Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Building Section A-A

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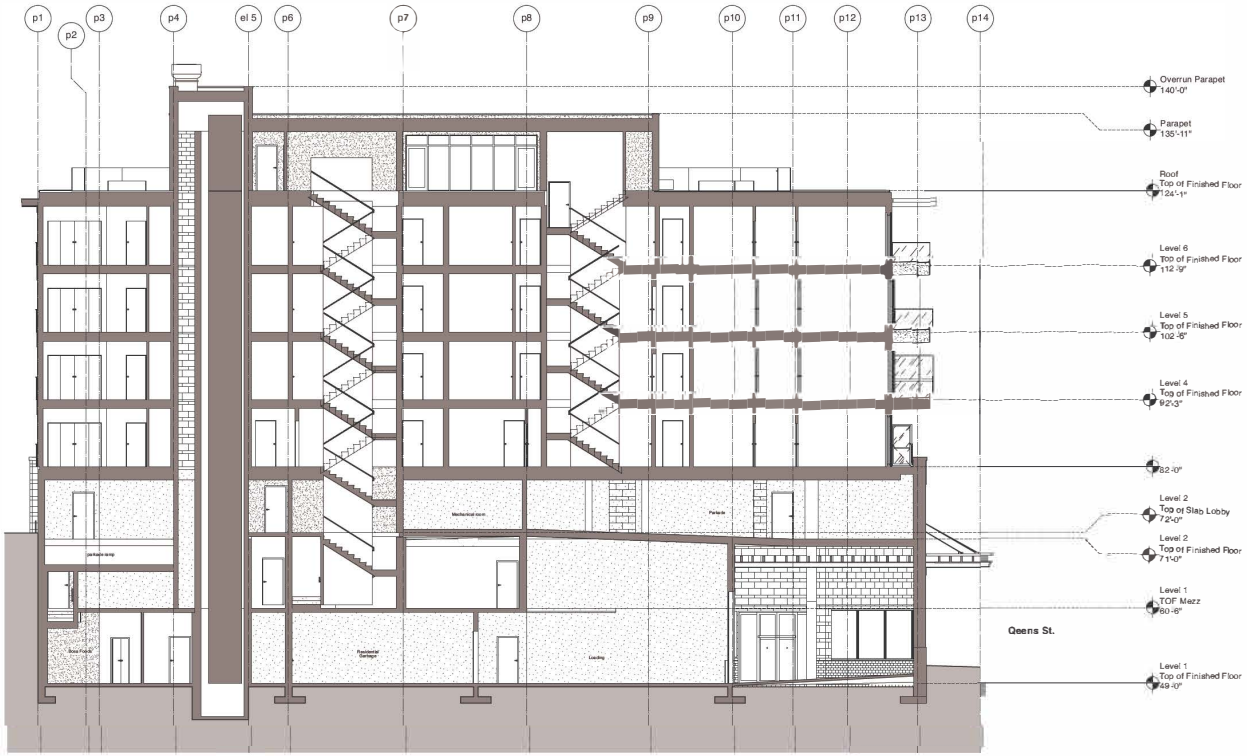
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A4.1**



B / A-4.2 Section B-B
Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Building Section B-B

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SCALE
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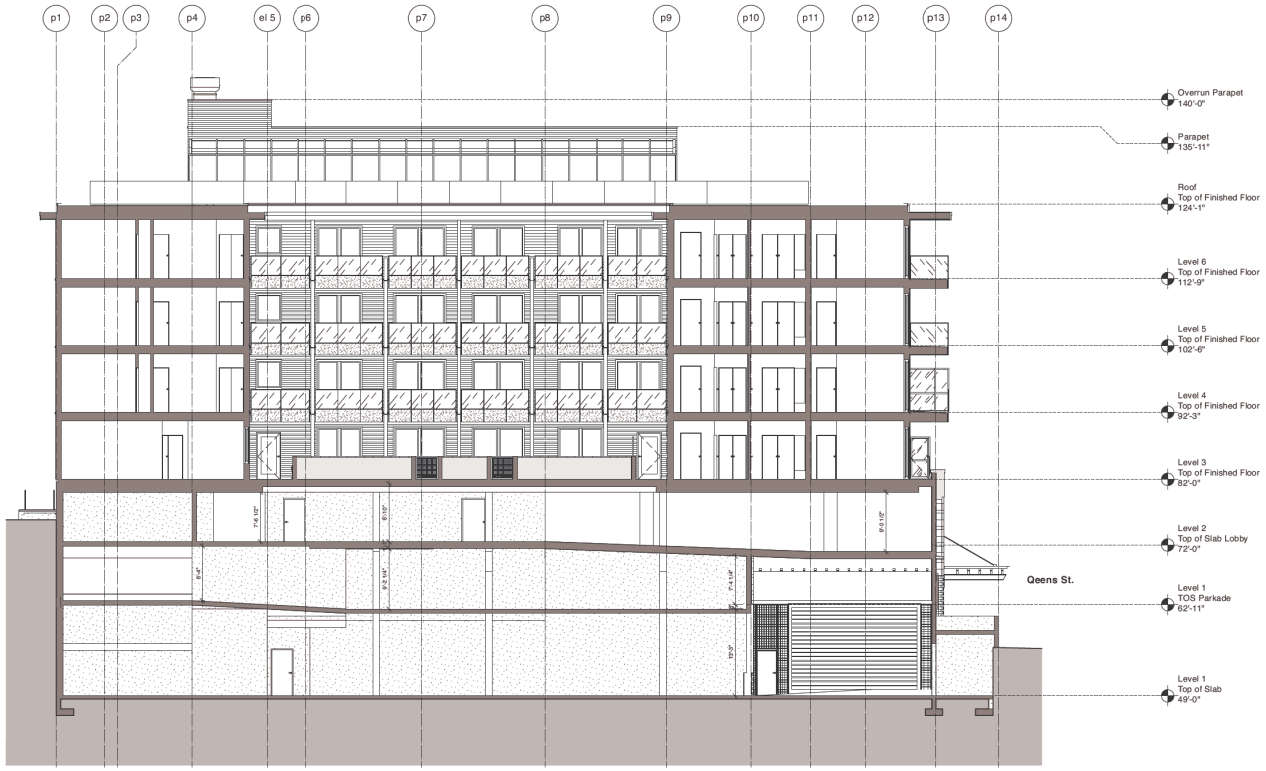
PLOT DATE
Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. **A4.2**



C / A 4.3 Section C-C
Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Building Section C-C

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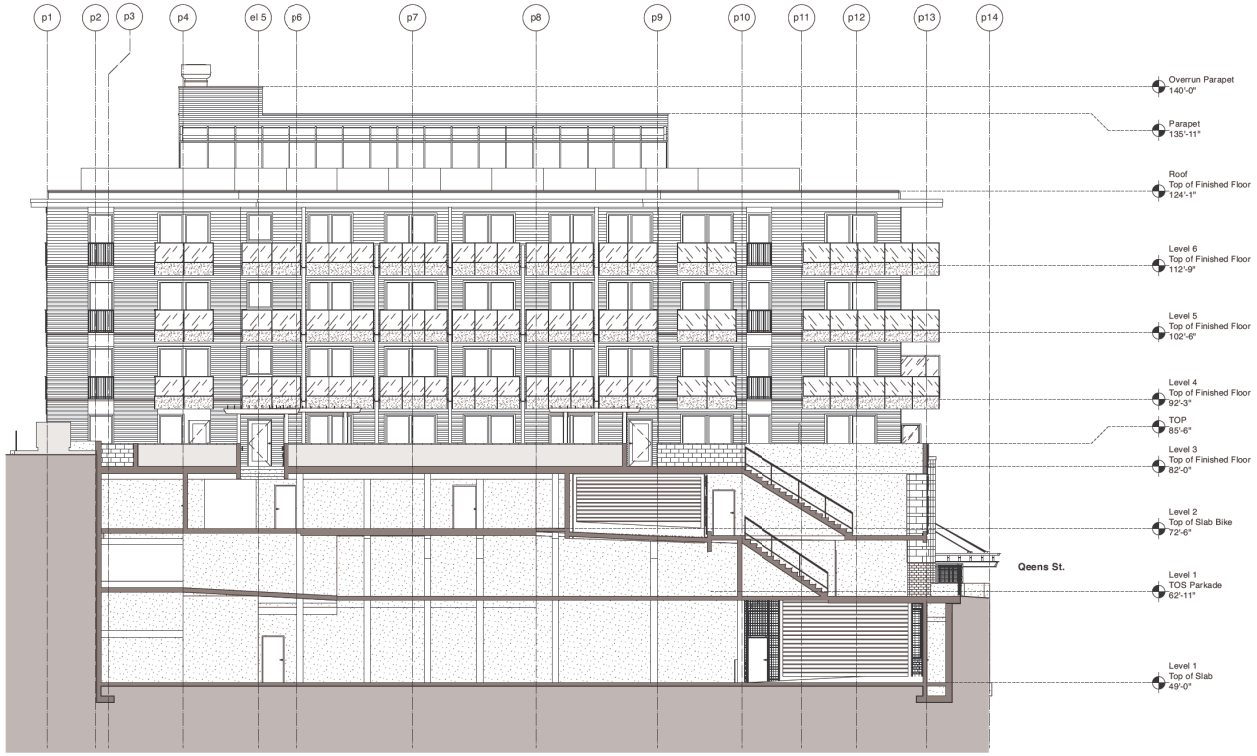
SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO.
2119

DRAWING NO.
A4.3

Attachment 7



D
A 4.4

Section D-D

Scale: 1/8" = 1'-0"

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PROJECT

Bosa Foods

2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING

Building Section D-D

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SCALE

1/8" = 1'-0" (unless noted otherwise)

PLOT DATE

Aug 9, 2023

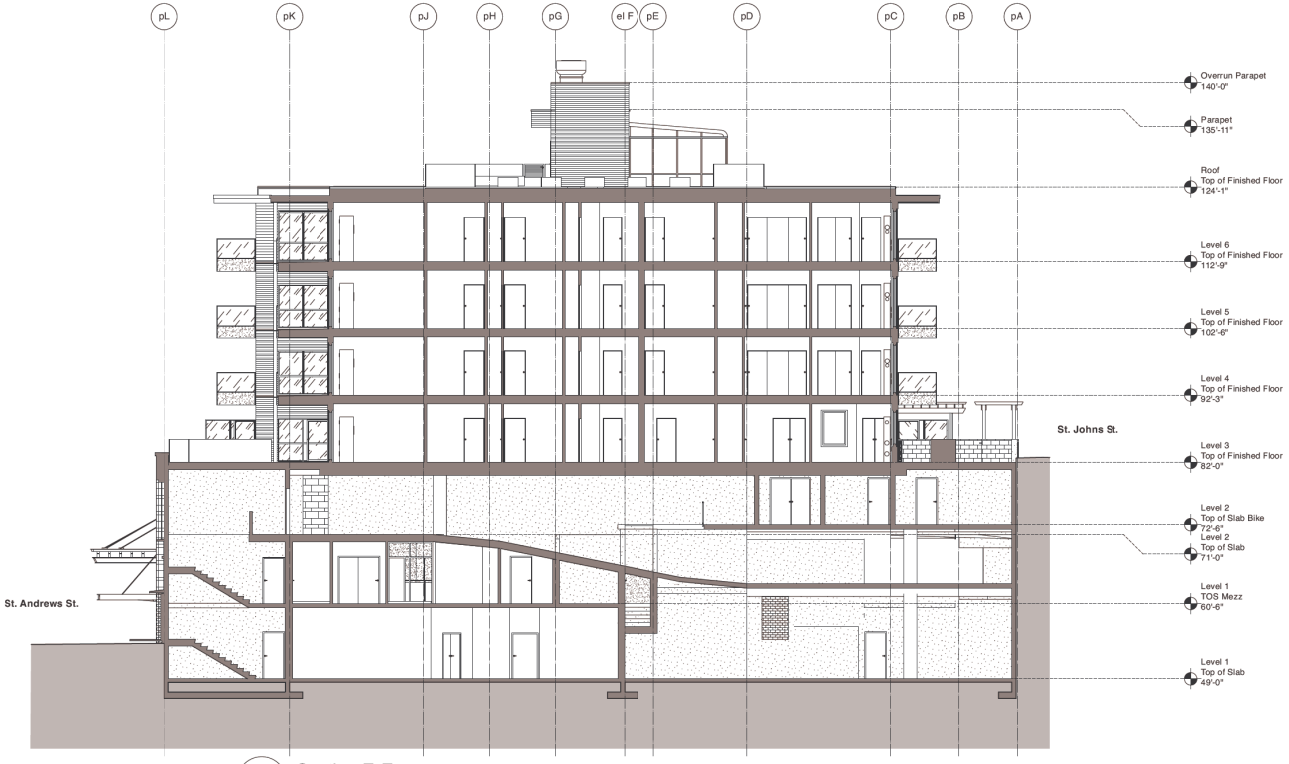
PROJECT NO.

2119

DRAWING NO.

A4.4

Attachment 7



E
A 4.5
Section E-E
Scale: 1/8" = 1'-0"

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PROJECT

Bosa Foods

2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING

Building Section E-E

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SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A4.5**

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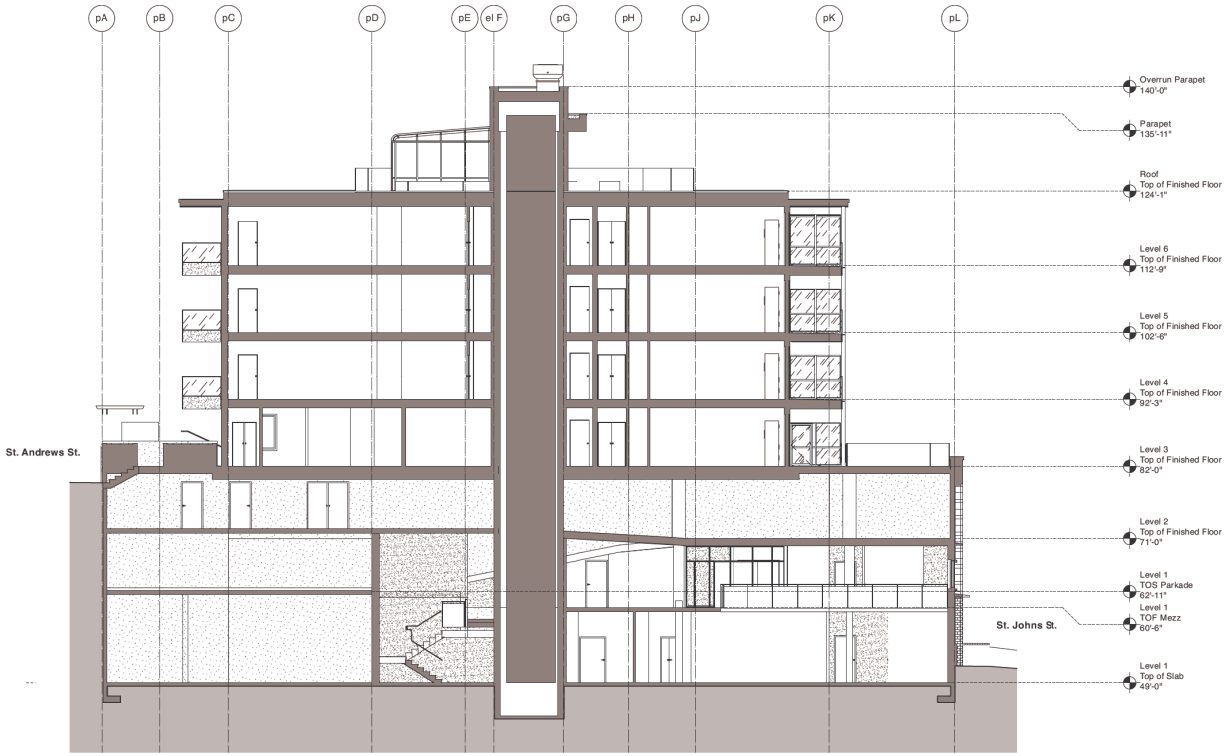

F
A 4.6
Section F-F
Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Building Section F-F

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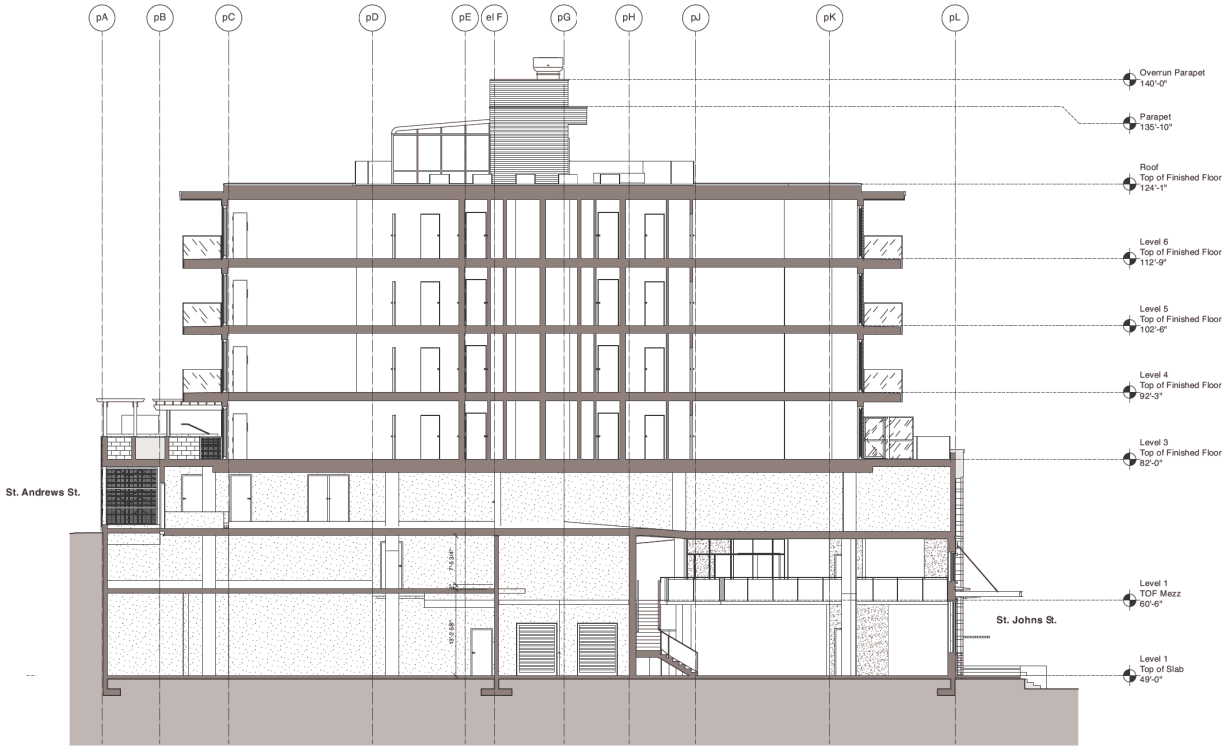
SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO.
2119

DRAWING NO.
A4.6

A4.6B - J:\Users\dave\Dropbox\Dropbox\Cornerstone Dropbox - Folder\Dropbox - Current Projects\2119 Bosa Fort Moody\2335 St John St\CURRENT DRAWINGS\2335 St Johns Current 06023.rvt



G
A 4.7
Section G-G
Scale: 1/8" = 1'-0"

CORNERSTONE
architecture

307 - 611 Alexander Street
Vancouver, British Columbia,
Canada V6A 1E1

www.cornerstoth.com
tel. 604-353-6800

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1	2022-08-05	Issue for Review

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE	BCBC 2018
ZONING	RM4, C3
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Building Section G-G

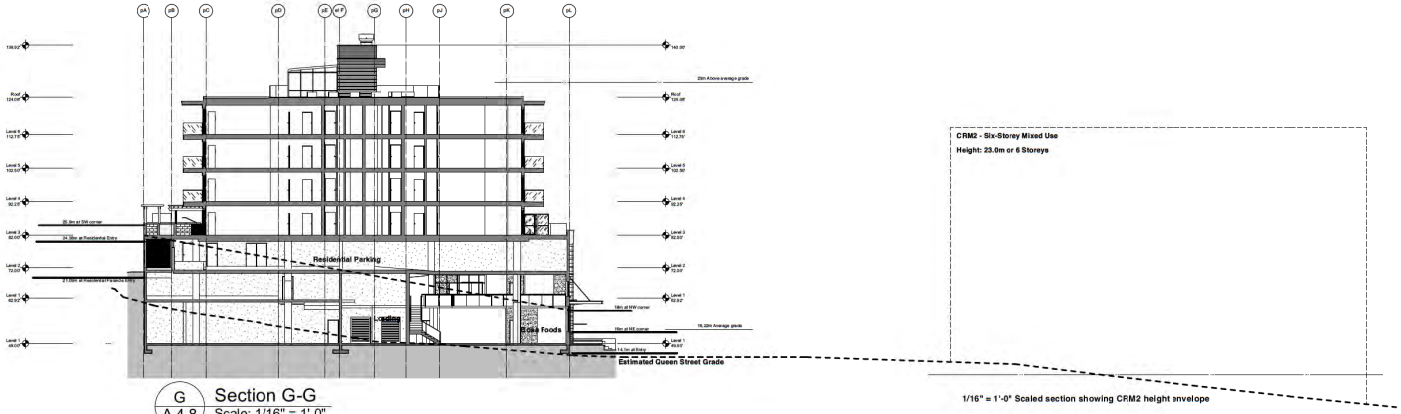
Unless signed & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.

SCALE
1/8" = 1'-0" (unless noted otherwise)

PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. A4.7



G / A 4.8 Section G-G
Scale: 1/16" = 1'-0"

1/16" = 1'-0" Scaled section showing CRM2 height envelope

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PROJECT
Bosa Foods
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BUILDING CODE	BCBC 2018
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DEVELOPMENT PERMIT #	
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DRAWING
Building Section G-G Context

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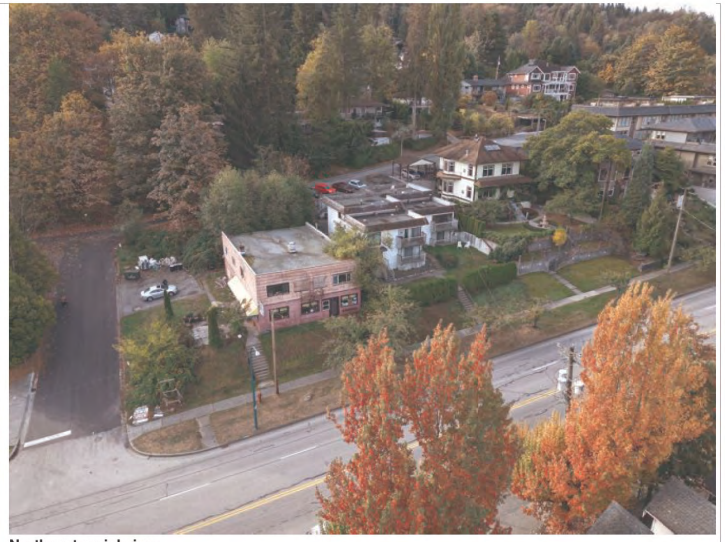
PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A4.8**

Top down view of the site



Northeast aerial view

Northwest aerial view

Southeast aerial view

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PROJECT
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BUILDING CODE	BCBC 2018
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DRAWING
Site Photos

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PLOT DATE
Aug 9, 2023

PROJECT NO.
2119

DRAWING NO.
A6.1

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View across the Northwest intersection from the proposed podium level

View towards the West from the proposed level 6 deck

View towards the East from the proposed level 6 deck

View towards the North from the proposed level 6 deck

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PROJECT
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BUILDING CODE	BCBC 2018
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DRAWING
Site Photos

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SCALE
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PLOT DATE
Aug 9, 2023

PROJECT NO.
2119

DRAWING NO.
A6.2

24x36 - /Users/dave/Library/CloudStorage/Dropbox/Cornerstone Dropbox Folder/Dropbox - Current Projects/2119 Bosa Port Moody/2335 St John's/CURRENT DRAWINGS/2335 St Johns Current v2023.vwx

1 / A 6.3 Northeast View
Scale: 1/4" = 1'-0"

2 / A 6.3 Southeast View
Scale: 1/4" = 1'-0"

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PROJECT
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DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Perspective view

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SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A6.3**

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1 / A 6.4 Northwest View
Scale: 1/4" = 1'-0"

2 / A 6.4 Southwest View
Scale: 1/4" = 1'-0"

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PROJECT
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DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Perspective view

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SCALE
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PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A6.4**

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1 / A 6.5 Main Entry View
Scale: 3/16" = 1'-0"

2 / A 6.5 Retail Parking Entry
Scale: 3/16" = 1'-0"

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PROJECT
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BUILDING PERMIT #	

DRAWING
Perspective view

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SCALE
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PLOT DATE
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PROJECT NO. 2119
DRAWING NO. **A6.5**

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1 / A 6.5 Birds Eye View
Scale: 1/16" = 1'-0"

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PROJECT
Bosa Foods
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BUILDING CODE	BCBC 2018
ZONING	RM4, C2
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

DRAWING
Perspective View

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SCALE
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PLOT DATE
Aug 9, 2023

PROJECT NO. 2119

DRAWING NO. **A6.6**