

LEGAL:
PLAN OF SURVEY OF PROPOSED LOT A,
FORMERLY STRATAPLAN NW282 AND LOT 22,
BLOCK 1, PLAN 55, BOTH OF DISTRICT LOT 202,
GROUP 1, NEW WESTMINSTER DISTRICT



MIXED-USE RESIDENTIAL DEVELOPMENT

2331, 2335 ST. JOHNS STREET
PID(s): 001-257-706



Site Contour
Scale: 1/64" = 1'-0"

Owner Name: Benedet Properties (St Johns) Ltd
Address: 1465 Kootenay Street
Phone: 604.253.5578
Contact: Bruno Benedet Jr.
Architectural Name: Cornerstone Architecture
Address: #307 - 611 Alexander Street
Phone: 604.253.8800
Contact: Simon Richards (Architect)
Contractor Name: Noble Construction
Address: #200 - 4308 Dawson Street
Phone: 604.294.1012
Contact: Christian Perizolo

Summary table with columns: Unit Type, Quantity, Distribution, Vehicle Required/Provided, Accessible, Notes, Total Area (gfr), Floor Area (gfr), % of gross, Commercial, Residential, Common, Wall exclusion, Garbage exclusion, Amenity exclusion, Adaptable exclusion, HRV exclusion

CORNERSTONE architecture
307 - 611 Alexander Street
Vancouver, British Columbia, Canada V6A 1E1
www.cornerstonearch.com
tel: 604.253.8800

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Drawing List table with columns: No., Description, Date, Issued For

Revision Log table with columns: No., Date, Description, Issued For

PROJECT
Bosa Foods
2335 St Johns St

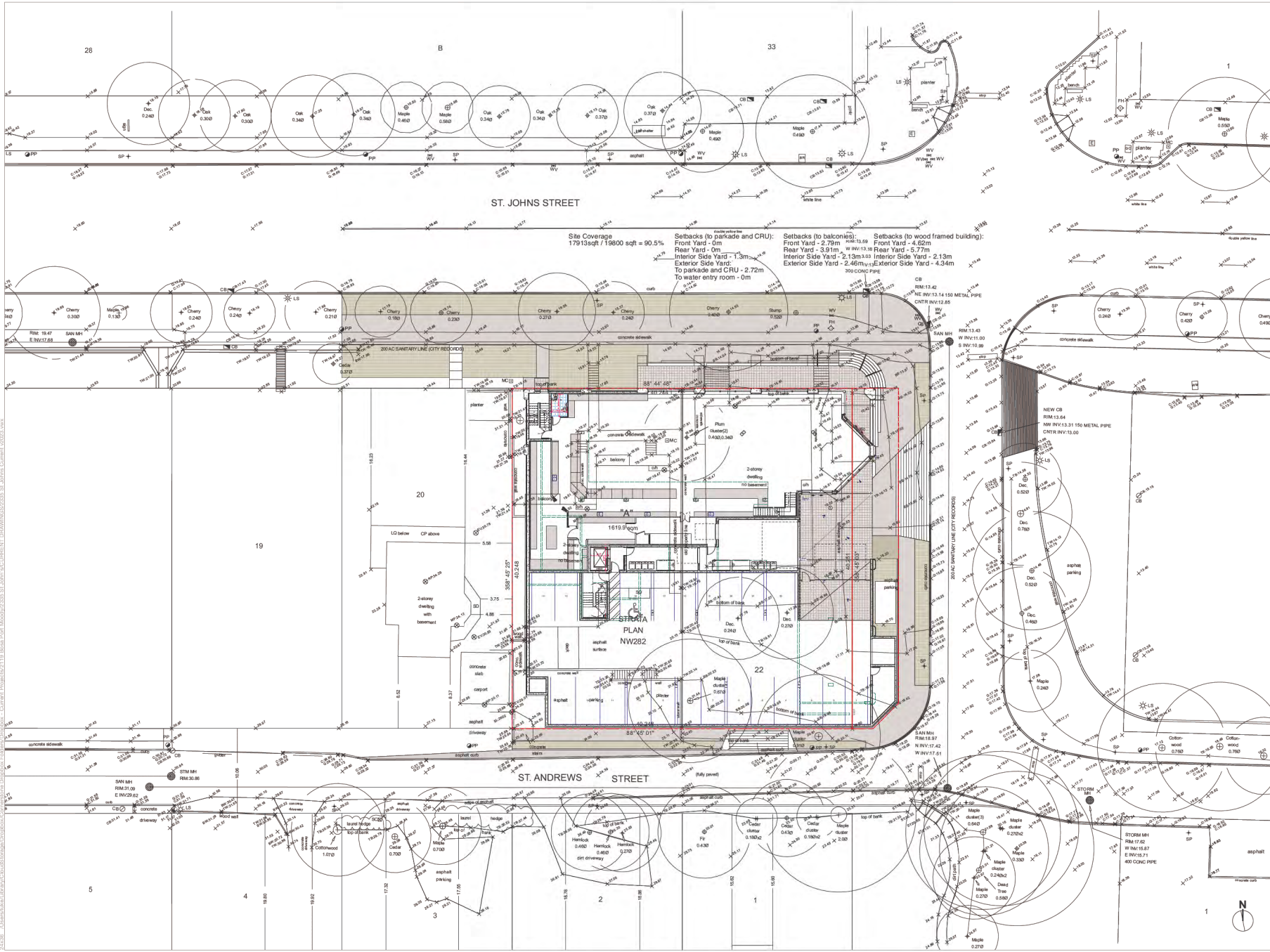
BUILDING CODE: BCBC 2018
ZONING: RM4, C3

DRAWING
Cover Sheet and Statistics

Scale: 1/8" = 1'-0" (unless noted otherwise)
PLOT DATE: Aug 9, 2023
PROJECT NO: 2119
DRAWING NO: A0.0

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Site Coverage
17913sqft / 19800 sqft = 90.5%

Setbacks (to parkade and CRU):
Front Yard - 0m
Rear Yard - 0m
Interior Side Yard - 1.3m
Exterior Side Yard - To parkade and CRU - 2.72m
To water entry room - 0m

Setbacks (to balconies):
Front Yard - 2.79m
Rear Yard - 3.91m
Interior Side Yard - 2.13m
Exterior Side Yard - 2.46m

Setbacks (to wood framed building):
Front Yard - 4.62m
Rear Yard - 5.77m
Interior Side Yard - 2.13m
Exterior Side Yard - 4.34m

| Num. | YY MM DD | ISSUE / REVISION |
|------|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-19 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Site Plan

Unless noted & sealed, these drawings are not to be used for approval by an authority or to influence by a client or third party, including the general public.
SCALE 1/16" = 1'-0" (unless noted otherwise)

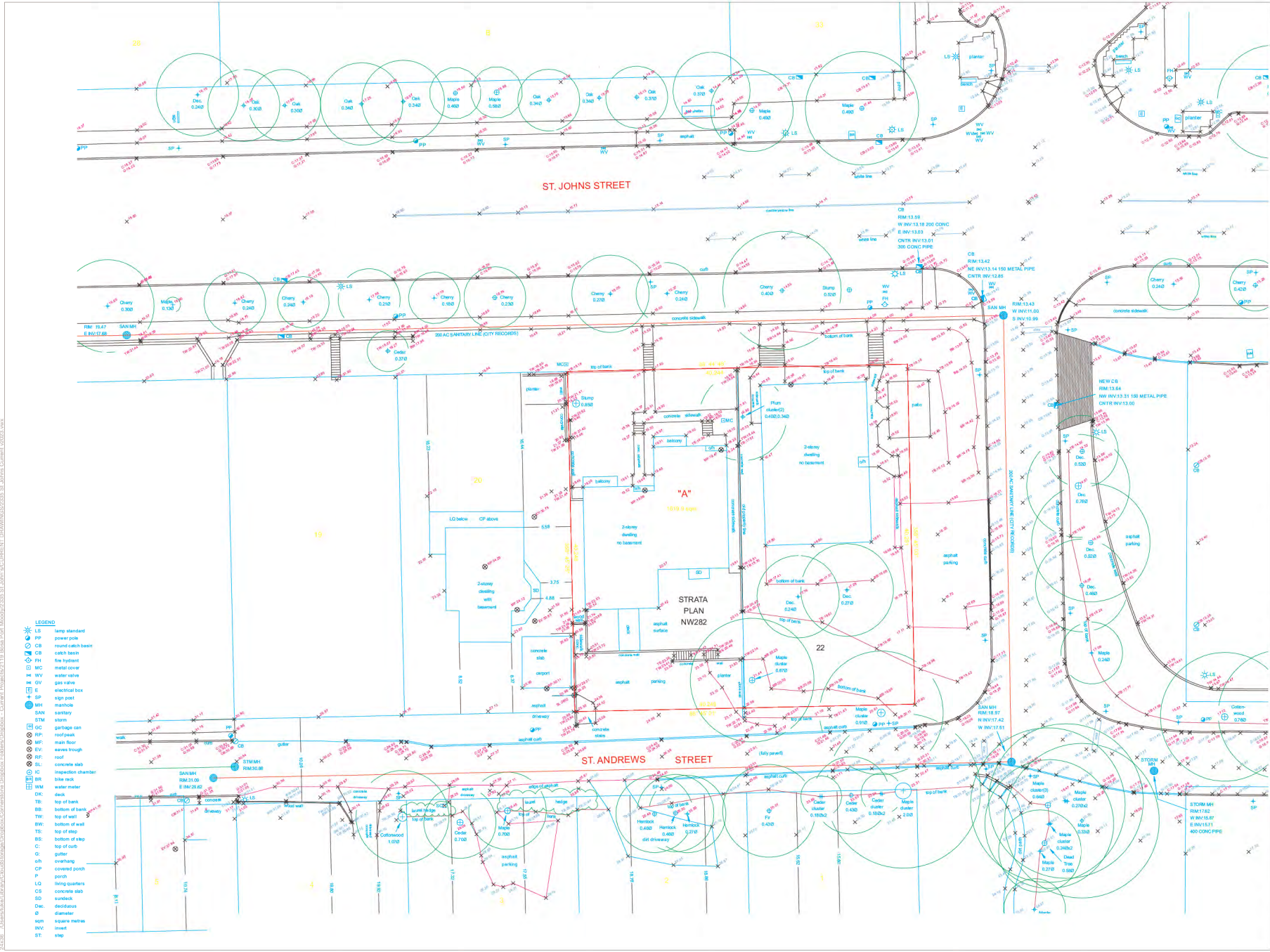
PLLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. A1.0

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- LEGEND**
- LS lamp standard
 - PP power pole
 - CB round catch basin
 - CB catch basin
 - PH fire hydrant
 - MC metal cover
 - WV water valve
 - GV gas valve
 - SAH sanitary
 - SM sign post
 - SP manhole
 - STM storm
 - OC garbage can
 - RP roof rack
 - MF main floor
 - EV eaves trough
 - RF roof
 - SL concrete slab
 - IC inspection chamber
 - WC water meter
 - DK deck
 - TE top of bank
 - BB bottom of bank
 - TW top of wall
 - BE bottom of east
 - RS top of step
 - BE bottom of step
 - C gutter
 - gh overhang
 - CP covered porch
 - P porch
 - LO living quarters
 - CS concrete slab
 - SO sidewalk
 - Dec deciduous
 - D diameter
 - sqm square metre
 - INV invert
 - ST step

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Survey

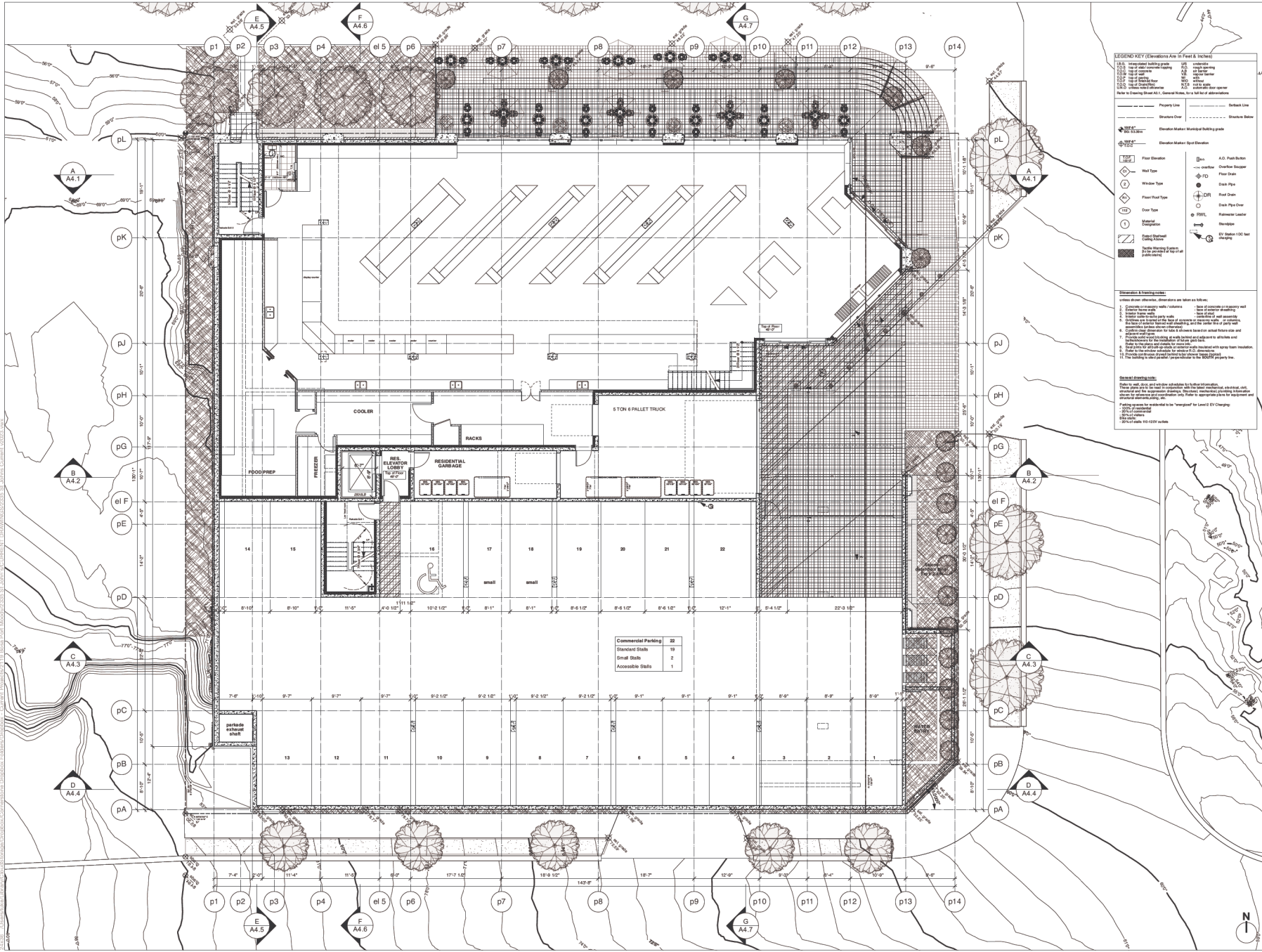
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SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. A1.1

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LEGEND KEY (Elevations Are In Feet & Inches)

| | | | |
|--------|---------------------------------|---------|---------------------------------|
| 1.5.0 | Interior finish grade | 1.5.1 | Interior |
| 1.5.1 | Level of construction/finishing | 1.5.2 | Level of existing |
| 1.5.2 | Level of existing | 1.5.3 | Level of finish |
| 1.5.3 | Level of finish | 1.5.4 | Level of construction/finishing |
| 1.5.4 | Level of construction/finishing | 1.5.5 | Level of existing |
| 1.5.5 | Level of existing | 1.5.6 | Level of finish |
| 1.5.6 | Level of finish | 1.5.7 | Level of construction/finishing |
| 1.5.7 | Level of construction/finishing | 1.5.8 | Level of existing |
| 1.5.8 | Level of existing | 1.5.9 | Level of finish |
| 1.5.9 | Level of finish | 1.5.10 | Level of construction/finishing |
| 1.5.10 | Level of construction/finishing | 1.5.11 | Level of existing |
| 1.5.11 | Level of existing | 1.5.12 | Level of finish |
| 1.5.12 | Level of finish | 1.5.13 | Level of construction/finishing |
| 1.5.13 | Level of construction/finishing | 1.5.14 | Level of existing |
| 1.5.14 | Level of existing | 1.5.15 | Level of finish |
| 1.5.15 | Level of finish | 1.5.16 | Level of construction/finishing |
| 1.5.16 | Level of construction/finishing | 1.5.17 | Level of existing |
| 1.5.17 | Level of existing | 1.5.18 | Level of finish |
| 1.5.18 | Level of finish | 1.5.19 | Level of construction/finishing |
| 1.5.19 | Level of construction/finishing | 1.5.20 | Level of existing |
| 1.5.20 | Level of existing | 1.5.21 | Level of finish |
| 1.5.21 | Level of finish | 1.5.22 | Level of construction/finishing |
| 1.5.22 | Level of construction/finishing | 1.5.23 | Level of existing |
| 1.5.23 | Level of existing | 1.5.24 | Level of finish |
| 1.5.24 | Level of finish | 1.5.25 | Level of construction/finishing |
| 1.5.25 | Level of construction/finishing | 1.5.26 | Level of existing |
| 1.5.26 | Level of existing | 1.5.27 | Level of finish |
| 1.5.27 | Level of finish | 1.5.28 | Level of construction/finishing |
| 1.5.28 | Level of construction/finishing | 1.5.29 | Level of existing |
| 1.5.29 | Level of existing | 1.5.30 | Level of finish |
| 1.5.30 | Level of finish | 1.5.31 | Level of construction/finishing |
| 1.5.31 | Level of construction/finishing | 1.5.32 | Level of existing |
| 1.5.32 | Level of existing | 1.5.33 | Level of finish |
| 1.5.33 | Level of finish | 1.5.34 | Level of construction/finishing |
| 1.5.34 | Level of construction/finishing | 1.5.35 | Level of existing |
| 1.5.35 | Level of existing | 1.5.36 | Level of finish |
| 1.5.36 | Level of finish | 1.5.37 | Level of construction/finishing |
| 1.5.37 | Level of construction/finishing | 1.5.38 | Level of existing |
| 1.5.38 | Level of existing | 1.5.39 | Level of finish |
| 1.5.39 | Level of finish | 1.5.40 | Level of construction/finishing |
| 1.5.40 | Level of construction/finishing | 1.5.41 | Level of existing |
| 1.5.41 | Level of existing | 1.5.42 | Level of finish |
| 1.5.42 | Level of finish | 1.5.43 | Level of construction/finishing |
| 1.5.43 | Level of construction/finishing | 1.5.44 | Level of existing |
| 1.5.44 | Level of existing | 1.5.45 | Level of finish |
| 1.5.45 | Level of finish | 1.5.46 | Level of construction/finishing |
| 1.5.46 | Level of construction/finishing | 1.5.47 | Level of existing |
| 1.5.47 | Level of existing | 1.5.48 | Level of finish |
| 1.5.48 | Level of finish | 1.5.49 | Level of construction/finishing |
| 1.5.49 | Level of construction/finishing | 1.5.50 | Level of existing |
| 1.5.50 | Level of existing | 1.5.51 | Level of finish |
| 1.5.51 | Level of finish | 1.5.52 | Level of construction/finishing |
| 1.5.52 | Level of construction/finishing | 1.5.53 | Level of existing |
| 1.5.53 | Level of existing | 1.5.54 | Level of finish |
| 1.5.54 | Level of finish | 1.5.55 | Level of construction/finishing |
| 1.5.55 | Level of construction/finishing | 1.5.56 | Level of existing |
| 1.5.56 | Level of existing | 1.5.57 | Level of finish |
| 1.5.57 | Level of finish | 1.5.58 | Level of construction/finishing |
| 1.5.58 | Level of construction/finishing | 1.5.59 | Level of existing |
| 1.5.59 | Level of existing | 1.5.60 | Level of finish |
| 1.5.60 | Level of finish | 1.5.61 | Level of construction/finishing |
| 1.5.61 | Level of construction/finishing | 1.5.62 | Level of existing |
| 1.5.62 | Level of existing | 1.5.63 | Level of finish |
| 1.5.63 | Level of finish | 1.5.64 | Level of construction/finishing |
| 1.5.64 | Level of construction/finishing | 1.5.65 | Level of existing |
| 1.5.65 | Level of existing | 1.5.66 | Level of finish |
| 1.5.66 | Level of finish | 1.5.67 | Level of construction/finishing |
| 1.5.67 | Level of construction/finishing | 1.5.68 | Level of existing |
| 1.5.68 | Level of existing | 1.5.69 | Level of finish |
| 1.5.69 | Level of finish | 1.5.70 | Level of construction/finishing |
| 1.5.70 | Level of construction/finishing | 1.5.71 | Level of existing |
| 1.5.71 | Level of existing | 1.5.72 | Level of finish |
| 1.5.72 | Level of finish | 1.5.73 | Level of construction/finishing |
| 1.5.73 | Level of construction/finishing | 1.5.74 | Level of existing |
| 1.5.74 | Level of existing | 1.5.75 | Level of finish |
| 1.5.75 | Level of finish | 1.5.76 | Level of construction/finishing |
| 1.5.76 | Level of construction/finishing | 1.5.77 | Level of existing |
| 1.5.77 | Level of existing | 1.5.78 | Level of finish |
| 1.5.78 | Level of finish | 1.5.79 | Level of construction/finishing |
| 1.5.79 | Level of construction/finishing | 1.5.80 | Level of existing |
| 1.5.80 | Level of existing | 1.5.81 | Level of finish |
| 1.5.81 | Level of finish | 1.5.82 | Level of construction/finishing |
| 1.5.82 | Level of construction/finishing | 1.5.83 | Level of existing |
| 1.5.83 | Level of existing | 1.5.84 | Level of finish |
| 1.5.84 | Level of finish | 1.5.85 | Level of construction/finishing |
| 1.5.85 | Level of construction/finishing | 1.5.86 | Level of existing |
| 1.5.86 | Level of existing | 1.5.87 | Level of finish |
| 1.5.87 | Level of finish | 1.5.88 | Level of construction/finishing |
| 1.5.88 | Level of construction/finishing | 1.5.89 | Level of existing |
| 1.5.89 | Level of existing | 1.5.90 | Level of finish |
| 1.5.90 | Level of finish | 1.5.91 | Level of construction/finishing |
| 1.5.91 | Level of construction/finishing | 1.5.92 | Level of existing |
| 1.5.92 | Level of existing | 1.5.93 | Level of finish |
| 1.5.93 | Level of finish | 1.5.94 | Level of construction/finishing |
| 1.5.94 | Level of construction/finishing | 1.5.95 | Level of existing |
| 1.5.95 | Level of existing | 1.5.96 | Level of finish |
| 1.5.96 | Level of finish | 1.5.97 | Level of construction/finishing |
| 1.5.97 | Level of construction/finishing | 1.5.98 | Level of existing |
| 1.5.98 | Level of existing | 1.5.99 | Level of finish |
| 1.5.99 | Level of finish | 1.5.100 | Level of construction/finishing |

Notes & Conditions:

1. Coordinate all work with owner.
2. Verify all dimensions and levels with owner.
3. Verify all dimensions and levels with owner.
4. Verify all dimensions and levels with owner.
5. Verify all dimensions and levels with owner.
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11. Verify all dimensions and levels with owner.
12. Verify all dimensions and levels with owner.

General Notes:

1. All work shall be in accordance with the specifications and drawings.

2. All work shall be in accordance with the specifications and drawings.

3. All work shall be in accordance with the specifications and drawings.

4. All work shall be in accordance with the specifications and drawings.

5. All work shall be in accordance with the specifications and drawings.

6. All work shall be in accordance with the specifications and drawings.

7. All work shall be in accordance with the specifications and drawings.

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11. All work shall be in accordance with the specifications and drawings.

12. All work shall be in accordance with the specifications and drawings.

| Num. | YY MM DD | ISSUE / REVISION |
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PROJECT
Bosa Foods
2335 St Johns St

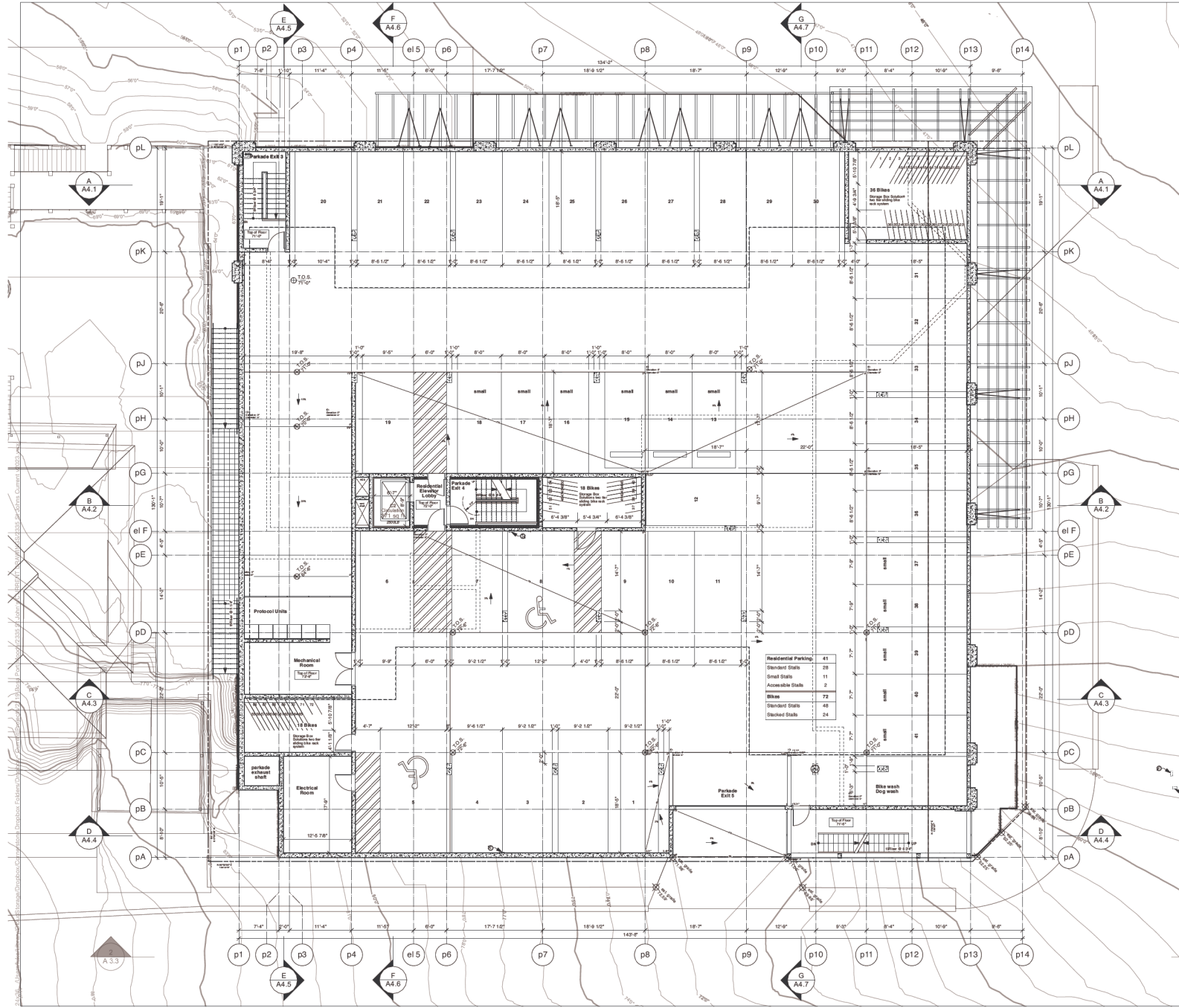
BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 1

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PLOT DATE Aug 9, 2023
PROJECT NO. 2119
DRAWING NO. **A2.1**

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LEGEND KEY (Elevations Are in Feet & Inches)

| | | | |
|-----------------------------------|----------------------|----------------------|----------------------|
| 1.1.5. Unconcreted building grade | 1.1.5.6. Vertical | 1.1.5.6.1. Vertical | 1.1.5.6.2. Vertical |
| 1.1.5.6.1. Vertical | 1.1.5.6.2. Vertical | 1.1.5.6.3. Vertical | 1.1.5.6.4. Vertical |
| 1.1.5.6.2. Vertical | 1.1.5.6.3. Vertical | 1.1.5.6.4. Vertical | 1.1.5.6.5. Vertical |
| 1.1.5.6.3. Vertical | 1.1.5.6.4. Vertical | 1.1.5.6.5. Vertical | 1.1.5.6.6. Vertical |
| 1.1.5.6.4. Vertical | 1.1.5.6.5. Vertical | 1.1.5.6.6. Vertical | 1.1.5.6.7. Vertical |
| 1.1.5.6.5. Vertical | 1.1.5.6.6. Vertical | 1.1.5.6.7. Vertical | 1.1.5.6.8. Vertical |
| 1.1.5.6.6. Vertical | 1.1.5.6.7. Vertical | 1.1.5.6.8. Vertical | 1.1.5.6.9. Vertical |
| 1.1.5.6.7. Vertical | 1.1.5.6.8. Vertical | 1.1.5.6.9. Vertical | 1.1.5.6.10. Vertical |
| 1.1.5.6.8. Vertical | 1.1.5.6.9. Vertical | 1.1.5.6.10. Vertical | 1.1.5.6.11. Vertical |
| 1.1.5.6.9. Vertical | 1.1.5.6.10. Vertical | 1.1.5.6.11. Vertical | 1.1.5.6.12. Vertical |
| 1.1.5.6.10. Vertical | 1.1.5.6.11. Vertical | 1.1.5.6.12. Vertical | 1.1.5.6.13. Vertical |
| 1.1.5.6.11. Vertical | 1.1.5.6.12. Vertical | 1.1.5.6.13. Vertical | 1.1.5.6.14. Vertical |

Properties

| | | | |
|-----|------------------|-----|------------------|
| --- | Structural Steel | --- | Structural Steel |
| --- | Structural Steel | --- | Structural Steel |

Dimension Marker: Local Elevation

Legend

| | | | |
|----------------------|----------------------|----------------------|----------------------|
| 1.1.5.6.1. Vertical | 1.1.5.6.1. Vertical | 1.1.5.6.1. Vertical | 1.1.5.6.1. Vertical |
| 1.1.5.6.2. Vertical | 1.1.5.6.2. Vertical | 1.1.5.6.2. Vertical | 1.1.5.6.2. Vertical |
| 1.1.5.6.3. Vertical | 1.1.5.6.3. Vertical | 1.1.5.6.3. Vertical | 1.1.5.6.3. Vertical |
| 1.1.5.6.4. Vertical | 1.1.5.6.4. Vertical | 1.1.5.6.4. Vertical | 1.1.5.6.4. Vertical |
| 1.1.5.6.5. Vertical | 1.1.5.6.5. Vertical | 1.1.5.6.5. Vertical | 1.1.5.6.5. Vertical |
| 1.1.5.6.6. Vertical | 1.1.5.6.6. Vertical | 1.1.5.6.6. Vertical | 1.1.5.6.6. Vertical |
| 1.1.5.6.7. Vertical | 1.1.5.6.7. Vertical | 1.1.5.6.7. Vertical | 1.1.5.6.7. Vertical |
| 1.1.5.6.8. Vertical | 1.1.5.6.8. Vertical | 1.1.5.6.8. Vertical | 1.1.5.6.8. Vertical |
| 1.1.5.6.9. Vertical | 1.1.5.6.9. Vertical | 1.1.5.6.9. Vertical | 1.1.5.6.9. Vertical |
| 1.1.5.6.10. Vertical | 1.1.5.6.10. Vertical | 1.1.5.6.10. Vertical | 1.1.5.6.10. Vertical |
| 1.1.5.6.11. Vertical | 1.1.5.6.11. Vertical | 1.1.5.6.11. Vertical | 1.1.5.6.11. Vertical |
| 1.1.5.6.12. Vertical | 1.1.5.6.12. Vertical | 1.1.5.6.12. Vertical | 1.1.5.6.12. Vertical |
| 1.1.5.6.13. Vertical | 1.1.5.6.13. Vertical | 1.1.5.6.13. Vertical | 1.1.5.6.13. Vertical |
| 1.1.5.6.14. Vertical | 1.1.5.6.14. Vertical | 1.1.5.6.14. Vertical | 1.1.5.6.14. Vertical |

Notes

1. Check for any existing conditions. If any existing conditions are found, they shall be noted on the drawing.
2. All dimensions are in feet and inches. All dimensions shall be to the center of the member unless otherwise noted.
3. All dimensions shall be to the center of the member unless otherwise noted.
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Revised Drawing

1. All dimensions shall be to the center of the member unless otherwise noted.

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| Num. | YY MM DD | ISSUE / REVISION |
|------|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-18 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 2 Parkade

Unless noted & sealed, these drawings are not to be used for approval by an authority or to indicate by a client or third party, including the general public.

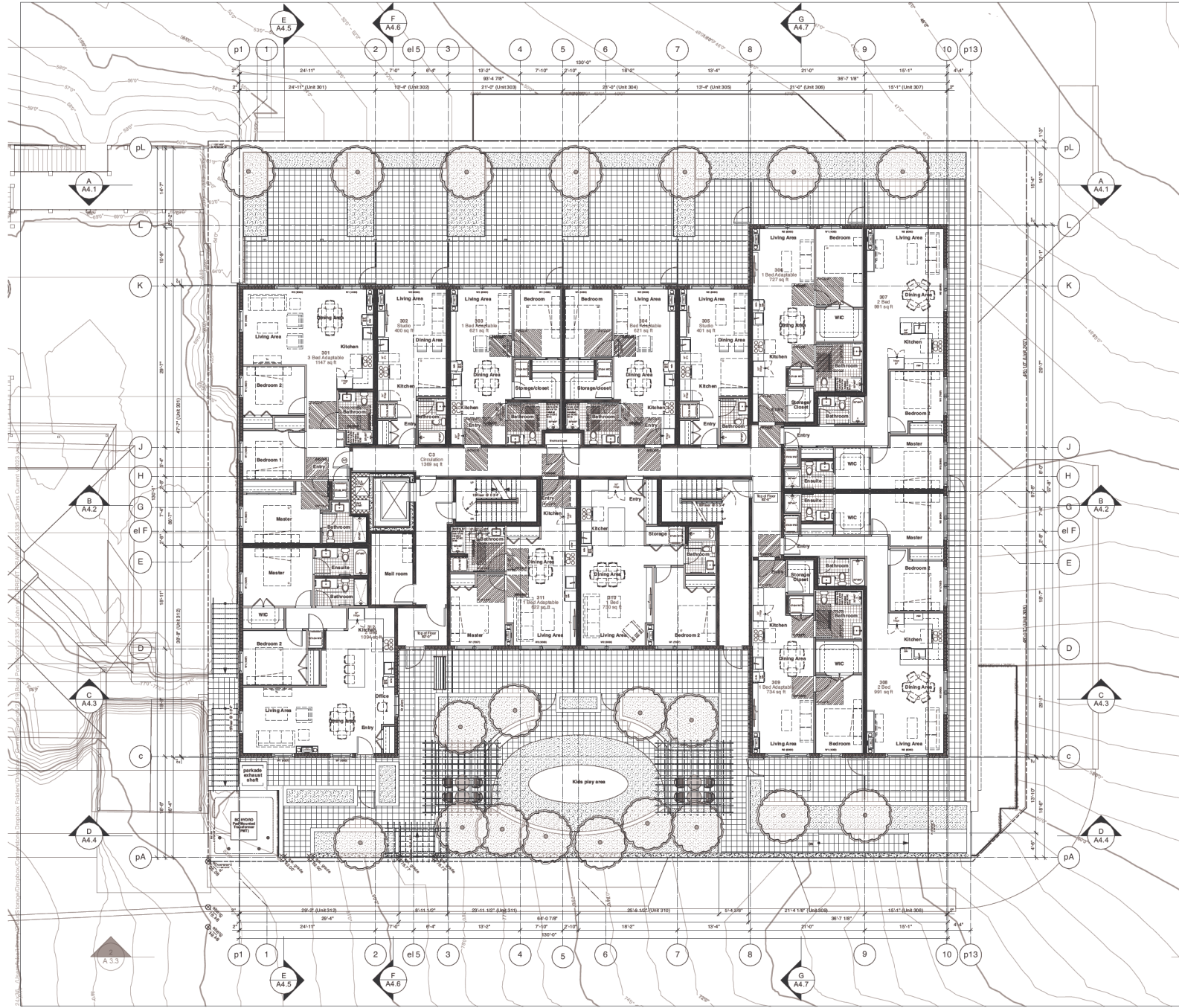
SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

| | |
|--------------------|--------------------|
| PROJECT NO. | DRAWING NO. |
| 2119 | A2.3 |

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LEGEND KEY (Elevations Are in Feet & Inches)

| | | | |
|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| 1.5' 1/2" (468 mm) finish grade | 1.5' 0" (457 mm) finish grade | 1.5' 0" (457 mm) finish grade | 1.5' 0" (457 mm) finish grade |
| 2.0' 0" (610 mm) finish grade | 2.0' 0" (610 mm) finish grade | 2.0' 0" (610 mm) finish grade | 2.0' 0" (610 mm) finish grade |
| 2.5' 0" (762 mm) finish grade | 2.5' 0" (762 mm) finish grade | 2.5' 0" (762 mm) finish grade | 2.5' 0" (762 mm) finish grade |
| 3.0' 0" (914 mm) finish grade | 3.0' 0" (914 mm) finish grade | 3.0' 0" (914 mm) finish grade | 3.0' 0" (914 mm) finish grade |
| 3.5' 0" (1067 mm) finish grade | 3.5' 0" (1067 mm) finish grade | 3.5' 0" (1067 mm) finish grade | 3.5' 0" (1067 mm) finish grade |
| 4.0' 0" (1219 mm) finish grade | 4.0' 0" (1219 mm) finish grade | 4.0' 0" (1219 mm) finish grade | 4.0' 0" (1219 mm) finish grade |
| 4.5' 0" (1372 mm) finish grade | 4.5' 0" (1372 mm) finish grade | 4.5' 0" (1372 mm) finish grade | 4.5' 0" (1372 mm) finish grade |
| 5.0' 0" (1524 mm) finish grade | 5.0' 0" (1524 mm) finish grade | 5.0' 0" (1524 mm) finish grade | 5.0' 0" (1524 mm) finish grade |
| 5.5' 0" (1677 mm) finish grade | 5.5' 0" (1677 mm) finish grade | 5.5' 0" (1677 mm) finish grade | 5.5' 0" (1677 mm) finish grade |
| 6.0' 0" (1829 mm) finish grade | 6.0' 0" (1829 mm) finish grade | 6.0' 0" (1829 mm) finish grade | 6.0' 0" (1829 mm) finish grade |
| 6.5' 0" (1982 mm) finish grade | 6.5' 0" (1982 mm) finish grade | 6.5' 0" (1982 mm) finish grade | 6.5' 0" (1982 mm) finish grade |
| 7.0' 0" (2134 mm) finish grade | 7.0' 0" (2134 mm) finish grade | 7.0' 0" (2134 mm) finish grade | 7.0' 0" (2134 mm) finish grade |
| 7.5' 0" (2287 mm) finish grade | 7.5' 0" (2287 mm) finish grade | 7.5' 0" (2287 mm) finish grade | 7.5' 0" (2287 mm) finish grade |
| 8.0' 0" (2439 mm) finish grade | 8.0' 0" (2439 mm) finish grade | 8.0' 0" (2439 mm) finish grade | 8.0' 0" (2439 mm) finish grade |
| 8.5' 0" (2592 mm) finish grade | 8.5' 0" (2592 mm) finish grade | 8.5' 0" (2592 mm) finish grade | 8.5' 0" (2592 mm) finish grade |
| 9.0' 0" (2744 mm) finish grade | 9.0' 0" (2744 mm) finish grade | 9.0' 0" (2744 mm) finish grade | 9.0' 0" (2744 mm) finish grade |
| 9.5' 0" (2897 mm) finish grade | 9.5' 0" (2897 mm) finish grade | 9.5' 0" (2897 mm) finish grade | 9.5' 0" (2897 mm) finish grade |
| 10.0' 0" (3049 mm) finish grade | 10.0' 0" (3049 mm) finish grade | 10.0' 0" (3049 mm) finish grade | 10.0' 0" (3049 mm) finish grade |
| 10.5' 0" (3202 mm) finish grade | 10.5' 0" (3202 mm) finish grade | 10.5' 0" (3202 mm) finish grade | 10.5' 0" (3202 mm) finish grade |
| 11.0' 0" (3354 mm) finish grade | 11.0' 0" (3354 mm) finish grade | 11.0' 0" (3354 mm) finish grade | 11.0' 0" (3354 mm) finish grade |
| 11.5' 0" (3507 mm) finish grade | 11.5' 0" (3507 mm) finish grade | 11.5' 0" (3507 mm) finish grade | 11.5' 0" (3507 mm) finish grade |
| 12.0' 0" (3659 mm) finish grade | 12.0' 0" (3659 mm) finish grade | 12.0' 0" (3659 mm) finish grade | 12.0' 0" (3659 mm) finish grade |
| 12.5' 0" (3812 mm) finish grade | 12.5' 0" (3812 mm) finish grade | 12.5' 0" (3812 mm) finish grade | 12.5' 0" (3812 mm) finish grade |
| 13.0' 0" (3964 mm) finish grade | 13.0' 0" (3964 mm) finish grade | 13.0' 0" (3964 mm) finish grade | 13.0' 0" (3964 mm) finish grade |

Notes:

1. All dimensions are in feet and inches unless otherwise noted.
2. All dimensions are to the centerline of walls unless otherwise noted.
3. All dimensions are to the centerline of columns unless otherwise noted.
4. All dimensions are to the centerline of doors unless otherwise noted.
5. All dimensions are to the centerline of windows unless otherwise noted.
6. All dimensions are to the centerline of stairs unless otherwise noted.
7. All dimensions are to the centerline of ramps unless otherwise noted.
8. All dimensions are to the centerline of elevators unless otherwise noted.
9. All dimensions are to the centerline of shafts unless otherwise noted.
10. All dimensions are to the centerline of utility lines unless otherwise noted.
11. All dimensions are to the centerline of parking spaces unless otherwise noted.
12. All dimensions are to the centerline of landscaping unless otherwise noted.

General Notes:

1. All work shall be in accordance with the applicable building codes and standards.
2. All work shall be in accordance with the applicable fire codes and standards.
3. All work shall be in accordance with the applicable accessibility codes and standards.
4. All work shall be in accordance with the applicable energy codes and standards.
5. All work shall be in accordance with the applicable sustainability codes and standards.
6. All work shall be in accordance with the applicable safety codes and standards.
7. All work shall be in accordance with the applicable security codes and standards.
8. All work shall be in accordance with the applicable health codes and standards.
9. All work shall be in accordance with the applicable environmental codes and standards.
10. All work shall be in accordance with the applicable social codes and standards.
11. All work shall be in accordance with the applicable economic codes and standards.
12. All work shall be in accordance with the applicable cultural codes and standards.
13. All work shall be in accordance with the applicable historical codes and standards.
14. All work shall be in accordance with the applicable artistic codes and standards.
15. All work shall be in accordance with the applicable scientific codes and standards.
16. All work shall be in accordance with the applicable technological codes and standards.
17. All work shall be in accordance with the applicable legal codes and standards.
18. All work shall be in accordance with the applicable ethical codes and standards.
19. All work shall be in accordance with the applicable moral codes and standards.
20. All work shall be in accordance with the applicable religious codes and standards.

| Num. | YY MM DD | ISSUE / REVISION |
|------|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-19 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 3

Unless noted & sealed, these drawings are not to be used for approval by an authority to enforce by a client or third party, including the general public.
SCALE 1/8" = 1'-0" (unless noted otherwise)
PLOT DATE Aug 9, 2023
PROJECT NO. 2119
DRAWING NO. A2.4

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LEGEND KEY (Elevations Are In Feet & Inches)

| | | | |
|--------|-------------------------------|--------|---------------------------|
| 1.5.0 | Non-vented ceiling grade | 1.6.0 | Interior |
| 2.0.0 | Grade | 2.1.0 | Landscaping |
| 2.2.0 | Level of development (finish) | 2.3.0 | Grade |
| 2.4.0 | Level of floor | 2.5.0 | Level of floor |
| 2.6.0 | Level of ceiling | 2.7.0 | Level of ceiling |
| 2.8.0 | Level of ceiling (finish) | 2.9.0 | Level of ceiling (finish) |
| 2.10.0 | Level of ceiling (finish) | 2.11.0 | Level of ceiling (finish) |
| 2.12.0 | Level of ceiling (finish) | 2.13.0 | Level of ceiling (finish) |

Note: In drawing sheet title, 'Level' refers to level of application.

| | | | |
|-----|----------------|-----|-----------------|
| --- | Priority Line | --- | Structural Line |
| --- | Structure Line | --- | Structure Line |

Dimension Mark: **Spot Elevation**

| | | | |
|--|-----------------|--|----------------|
| | Floor Slab | | A.D. Park Sign |
| | Overhead Sign | | Overhead Sign |
| | Window Type | | Door Type |
| | Floor/Foot Type | | Ramp Type |
| | Door Type | | Ramp Type |
| | Stair | | Stair |
| | Elevator | | Elevator |
| | Ramp | | Ramp |
| | Ramp | | Ramp |
| | Ramp | | Ramp |

Materials & Finishes

- 1. Unless shown otherwise, dimensions are taken as follows:
 - 1.1. Concrete (except with cavities) - based on exterior face
 - 1.2. Masonry - based on exterior face
 - 1.3. Steel - based on exterior face
 - 1.4. Glass - based on exterior face
 - 1.5. Wood - based on exterior face
 - 1.6. Other - based on exterior face
- 2. Dimensions are shown in feet and inches.
- 3. Dimensions are shown in feet and inches.
- 4. Dimensions are shown in feet and inches.
- 5. Dimensions are shown in feet and inches.
- 6. Dimensions are shown in feet and inches.
- 7. Dimensions are shown in feet and inches.
- 8. Dimensions are shown in feet and inches.
- 9. Dimensions are shown in feet and inches.
- 10. Dimensions are shown in feet and inches.
- 11. The building is shown as a general guide to the building's form.

General Notes

- 1. All work shall be in accordance with the applicable building code and all other applicable regulations.
- 2. All work shall be in accordance with the applicable building code and all other applicable regulations.
- 3. All work shall be in accordance with the applicable building code and all other applicable regulations.
- 4. All work shall be in accordance with the applicable building code and all other applicable regulations.
- 5. All work shall be in accordance with the applicable building code and all other applicable regulations.

Approval & Revision

| | | |
|---|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-19 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

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|------|----------|------------------|
| Num. | YY MM DD | ISSUE / REVISION |
|------|----------|------------------|

PROJECT
Bosa Foods
2335 St Johns St

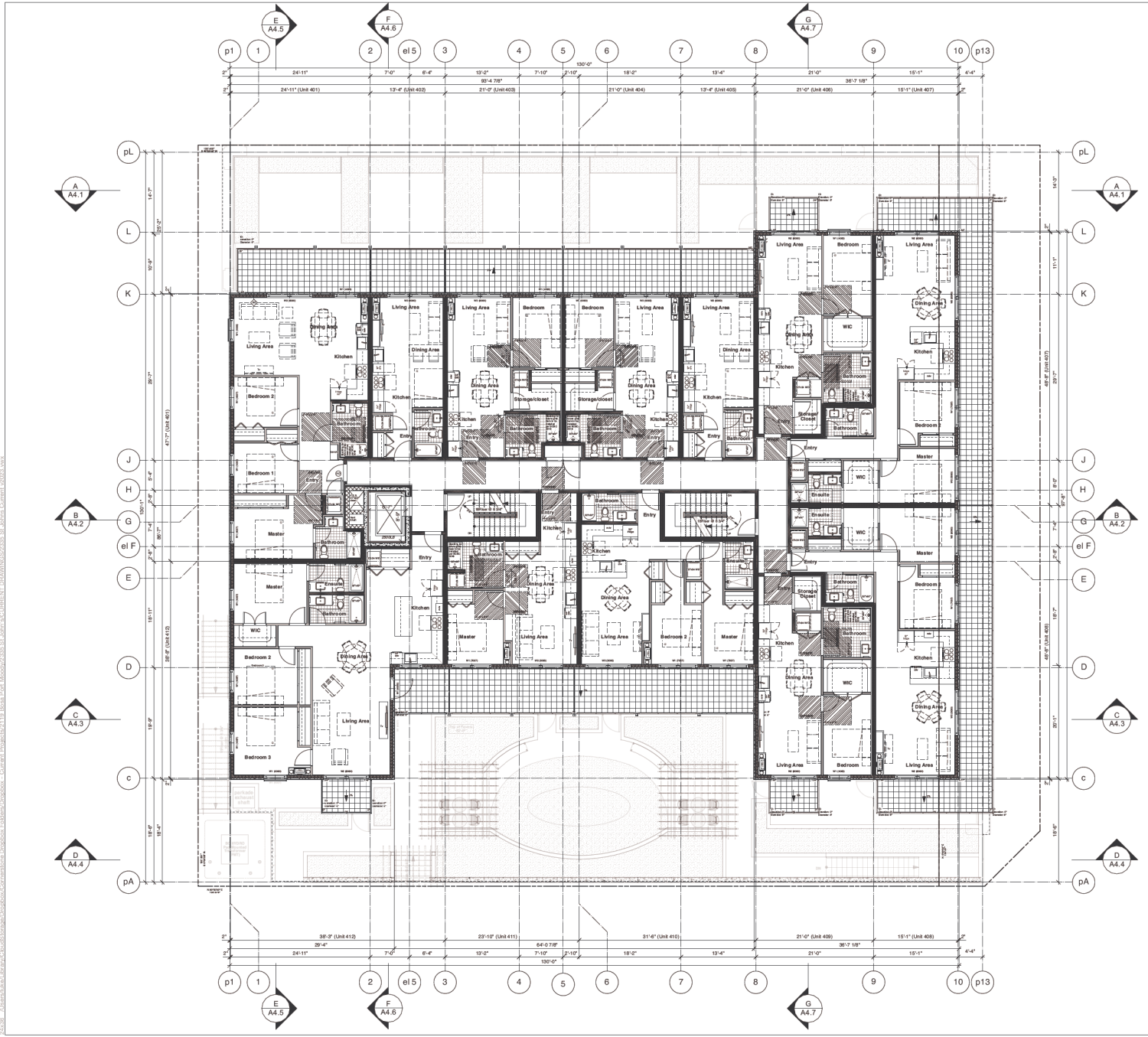
BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 4

Unless noted & sealed, these drawings are not to be used for approval by an authority or to reliance by a client or third party, including the general public.

SCALE 1/8" = 1'-0" (unless noted otherwise)

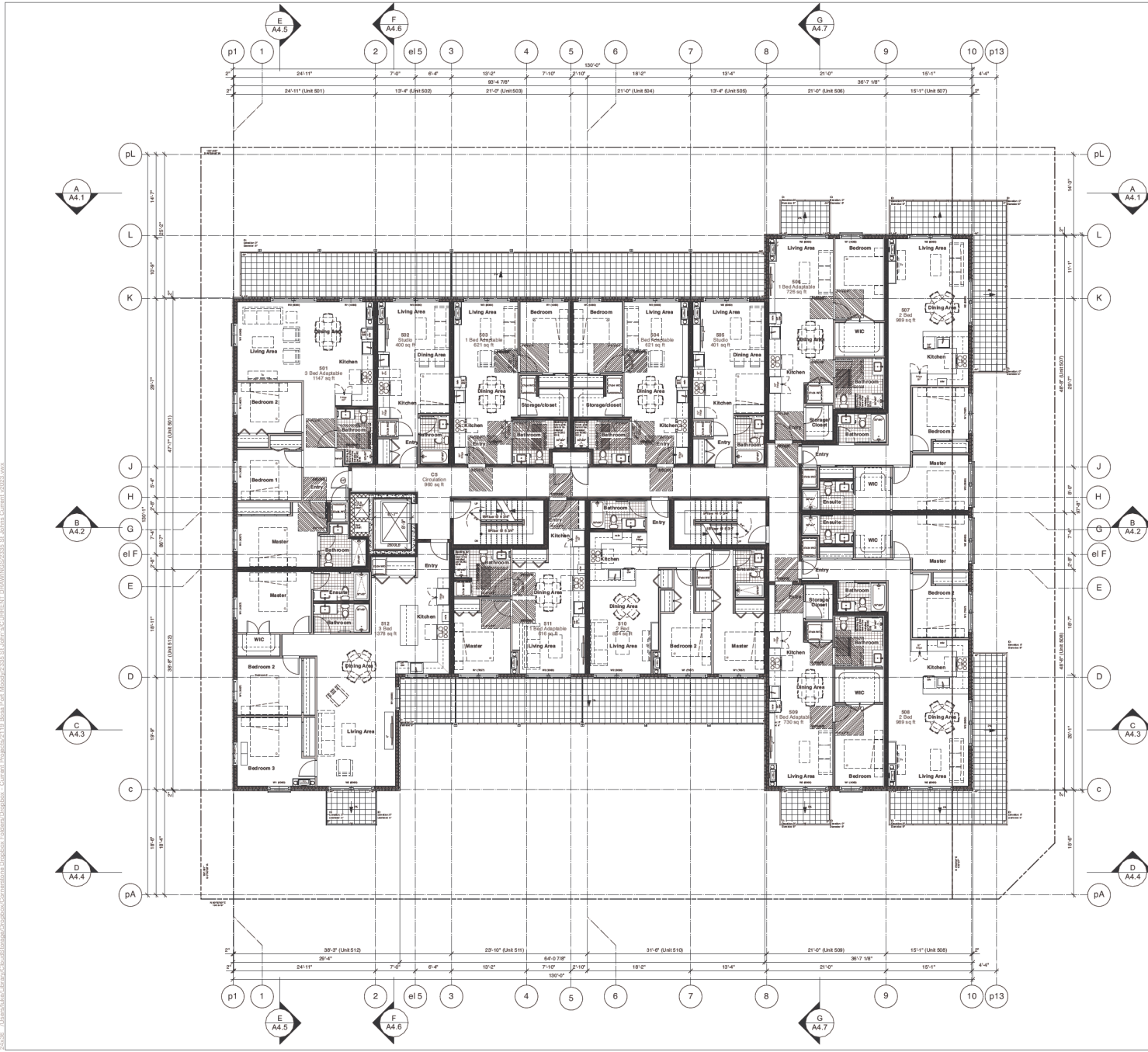
PLOT DATE Aug 9, 2023
PROJECT NO. 2119
DRAWING NO. A2.5



C:\Users\james\OneDrive\Documents\2023\2119_Bosa_Foods\2119_Bosa_Foods_Level_4_DP_Application.dwg
 User: James.Cornstone
 Date: 2023-08-09 10:42:00 AM
 Plot: 2023-08-09 10:42:00 AM
 Scale: 1/8" = 1'-0"
 Title: 2119_Bosa_Foods_Level_4_DP_Application.dwg

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LEGEND KEY (Elevations Are in Feet & Inches)

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 1.5.1 | 1.5.2 | 1.5.3 | 1.5.4 | 1.5.5 | 1.5.6 | 1.5.7 | 1.5.8 | 1.5.9 | 1.5.10 | 1.5.11 | 1.5.12 | 1.5.13 | 1.5.14 | 1.5.15 | 1.5.16 | 1.5.17 | 1.5.18 | 1.5.19 | 1.5.20 | 1.5.21 | 1.5.22 | 1.5.23 | 1.5.24 | 1.5.25 | 1.5.26 | 1.5.27 | 1.5.28 | 1.5.29 | 1.5.30 | 1.5.31 | 1.5.32 | 1.5.33 | 1.5.34 | 1.5.35 | 1.5.36 | 1.5.37 | 1.5.38 | 1.5.39 | 1.5.40 | 1.5.41 | 1.5.42 | 1.5.43 | 1.5.44 | 1.5.45 | 1.5.46 | 1.5.47 | 1.5.48 | 1.5.49 | 1.5.50 | 1.5.51 | 1.5.52 | 1.5.53 | 1.5.54 | 1.5.55 | 1.5.56 | 1.5.57 | 1.5.58 | 1.5.59 | 1.5.60 | 1.5.61 | 1.5.62 | 1.5.63 | 1.5.64 | 1.5.65 | 1.5.66 | 1.5.67 | 1.5.68 | 1.5.69 | 1.5.70 | 1.5.71 | 1.5.72 | 1.5.73 | 1.5.74 | 1.5.75 | 1.5.76 | 1.5.77 | 1.5.78 | 1.5.79 | 1.5.80 | 1.5.81 | 1.5.82 | 1.5.83 | 1.5.84 | 1.5.85 | 1.5.86 | 1.5.87 | 1.5.88 | 1.5.89 | 1.5.90 | 1.5.91 | 1.5.92 | 1.5.93 | 1.5.94 | 1.5.95 | 1.5.96 | 1.5.97 | 1.5.98 | 1.5.99 | 1.5.100 |
|-------|-------|-------|-------|-------|-------|-------|-------|-------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|---------|

Notes:

1. Coordinate all work with the owner.
2. Coordinate all work with the contractor.
3. Coordinate all work with the architect.
4. Coordinate all work with the engineer.
5. Coordinate all work with the interior designer.
6. Coordinate all work with the landscape architect.
7. Coordinate all work with the mechanical engineer.
8. Coordinate all work with the electrical engineer.
9. Coordinate all work with the plumbing engineer.
10. Coordinate all work with the fire engineer.
11. Coordinate all work with the structural engineer.
12. Coordinate all work with the civil engineer.
13. Coordinate all work with the transportation engineer.
14. Coordinate all work with the environmental engineer.
15. Coordinate all work with the geotechnical engineer.
16. Coordinate all work with the hydrologist.
17. Coordinate all work with the meteorologist.
18. Coordinate all work with the biologist.
19. Coordinate all work with the ecologist.
20. Coordinate all work with the archaeologist.
21. Coordinate all work with the paleontologist.
22. Coordinate all work with the geologist.
23. Coordinate all work with the hydrogeologist.
24. Coordinate all work with the soil scientist.
25. Coordinate all work with the water resources engineer.
26. Coordinate all work with the environmental scientist.
27. Coordinate all work with the environmental planner.
28. Coordinate all work with the environmental impact analyst.
29. Coordinate all work with the environmental assessment specialist.
30. Coordinate all work with the environmental monitoring specialist.
31. Coordinate all work with the environmental remediation specialist.
32. Coordinate all work with the environmental restoration specialist.
33. Coordinate all work with the environmental rehabilitation specialist.
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100. Coordinate all work with the environmental renewal specialist.

| Num. | YY MM DD | ISSUE / REVISION |
|------|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-19 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

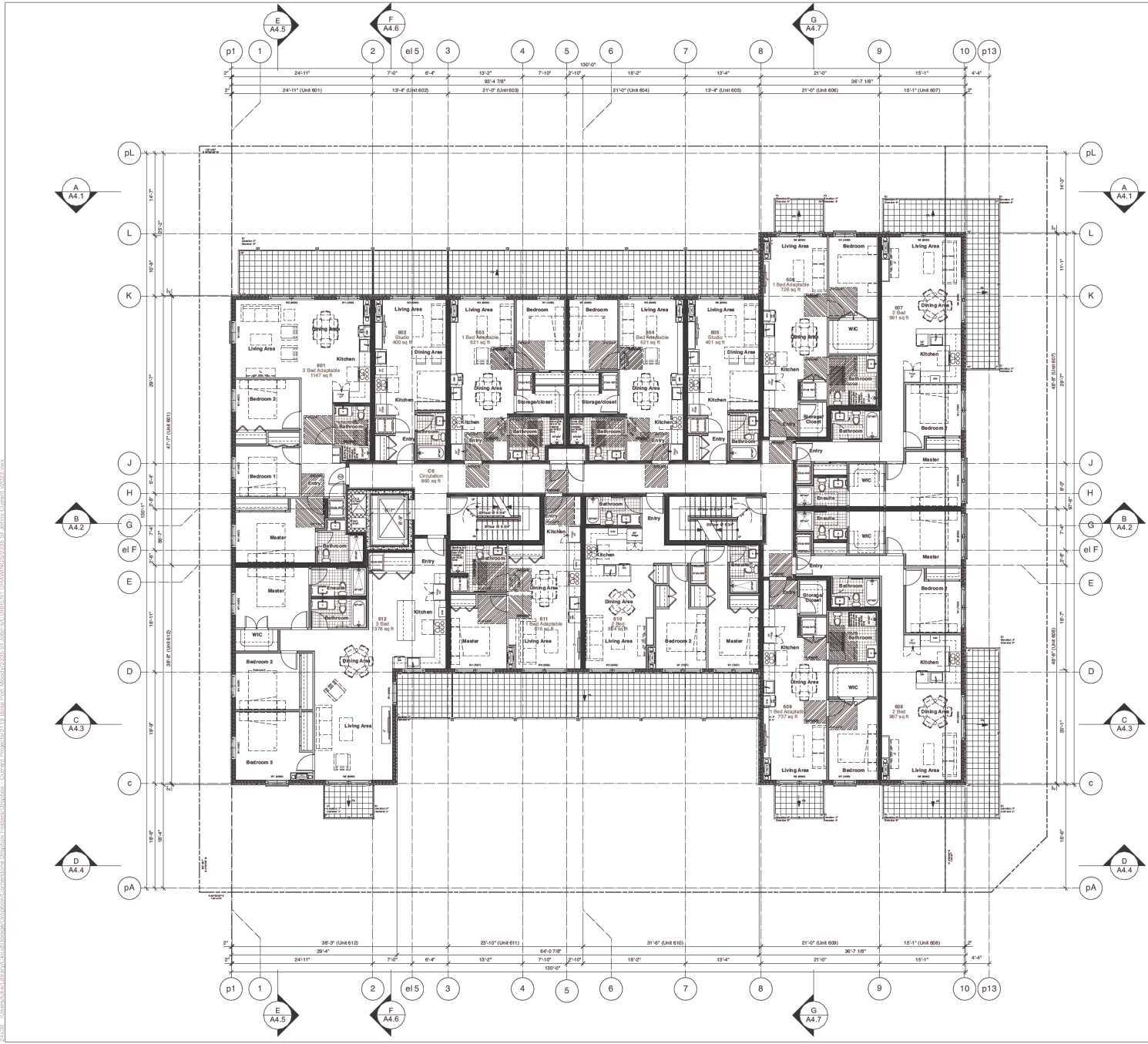
BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 5

Unless noted & sealed, these drawings are not to be used for approval by an authority or to reliance by a client or third party, including the general public.
SCALE 1/8" = 1'-0" (unless noted otherwise)
PLOT DATE Aug 9, 2023
PROJECT NO. 2119
DRAWING NO. A2.6

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LEGEND KEY (Elevations Are in Feet & Inches)

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 1.5.1 | 1.5.2 | 1.5.3 | 1.5.4 | 1.5.5 | 1.5.6 | 1.5.7 | 1.5.8 | 1.5.9 | 1.5.10 | 1.5.11 | 1.5.12 | 1.5.13 | 1.5.14 | 1.5.15 | 1.5.16 | 1.5.17 | 1.5.18 | 1.5.19 | 1.5.20 | 1.5.21 | 1.5.22 | 1.5.23 | 1.5.24 | 1.5.25 | 1.5.26 | 1.5.27 | 1.5.28 | 1.5.29 | 1.5.30 | 1.5.31 | 1.5.32 | 1.5.33 | 1.5.34 | 1.5.35 | 1.5.36 | 1.5.37 | 1.5.38 | 1.5.39 | 1.5.40 | 1.5.41 | 1.5.42 | 1.5.43 | 1.5.44 | 1.5.45 | 1.5.46 | 1.5.47 | 1.5.48 | 1.5.49 | 1.5.50 | 1.5.51 | 1.5.52 | 1.5.53 | 1.5.54 | 1.5.55 | 1.5.56 | 1.5.57 | 1.5.58 | 1.5.59 | 1.5.60 | 1.5.61 | 1.5.62 | 1.5.63 | 1.5.64 | 1.5.65 | 1.5.66 | 1.5.67 | 1.5.68 | 1.5.69 | 1.5.70 | 1.5.71 | 1.5.72 | 1.5.73 | 1.5.74 | 1.5.75 | 1.5.76 | 1.5.77 | 1.5.78 | 1.5.79 | 1.5.80 | 1.5.81 | 1.5.82 | 1.5.83 | 1.5.84 | 1.5.85 | 1.5.86 | 1.5.87 | 1.5.88 | 1.5.89 | 1.5.90 | 1.5.91 | 1.5.92 | 1.5.93 | 1.5.94 | 1.5.95 | 1.5.96 | 1.5.97 | 1.5.98 | 1.5.99 | 1.5.100 |
|-------|-------|-------|-------|-------|-------|-------|-------|-------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|---------|

Notes:

1. Contours corresponding with contours - based on 2022/01/01 property map.
2. Contours corresponding with contours - based on 2022/01/01 property map.
3. Contours corresponding with contours - based on 2022/01/01 property map.
4. Contours corresponding with contours - based on 2022/01/01 property map.
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9. Contours corresponding with contours - based on 2022/01/01 property map.
10. Contours corresponding with contours - based on 2022/01/01 property map.
11. The building is shown partially perched on the 100'0" spot line.

General Notes:

1. All dimensions are shown in feet and inches.
2. All dimensions are shown in feet and inches.
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| Num. | YY MM DD | ISSUE / REVISION |
|------|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-19 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Level 6

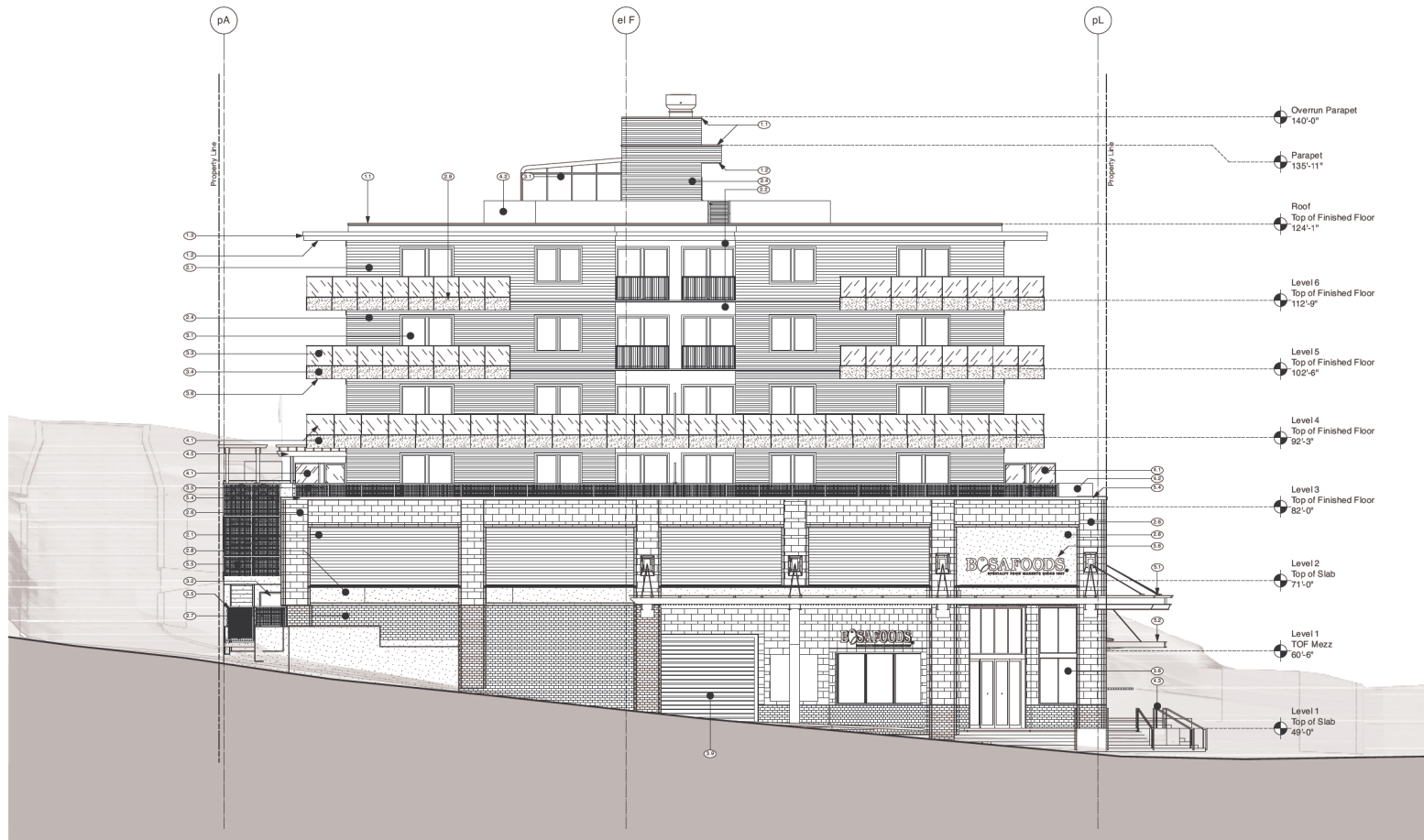
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SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023
PROJECT NO. 2119
DRAWING NO. A2.7

C:\Users\james\OneDrive\Documents\Cornerstone\Projects\2335 St Johns St\2335 St Johns St - Level 6 - 2023-06-19.dwg

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1 East Elevation
A 3.2 Scale: 1/8" = 1'-0"

Bosa Foods - St. Johns St.

| FINISH SCHEDULE | | | | |
|-----------------|--|---------------------------|-------------|---------------|
| No. | Material | Manufacturer | Texture | Colour |
| 1.1 | Roof parapet orw grained metal counter and cap flashing | | | Iron Ore |
| 1.2 | Metal soffit orw ventilation | Lux metal siding cladding | Wood grains | Pecan |
| 1.3 | Prefinished metal cap flashing over cement board fascia | James Hardie | | Charcoal grey |
| 2.1 | V-Groove siding | Lux metal siding cladding | Wood grains | Pecan |
| 2.2 | Fibre cement panel cladding | James Hardie | Smooth | Iron Grey |
| 2.3 | 2x2 wood vertical trims on fibre cement panel cladding | James Hardie | Smooth | Iron Grey |
| 2.4 | Fibre cement horizontal lap siding cladding | James Hardie | Cedarmill | Cobble Stone |
| 2.5 | 2x2 wood vertical trims on fibre cement panel cladding | James Hardie | Cedarmill | Cobble Stone |
| 2.6 | Architectural stone orw glass | Shondice | Textured | Dissect Blue |
| 2.7 | Architectural stone orw glass | Shondice | Smooth | Dissect Blue |
| 2.8 | Porcelain slab | Daniels | Matt finish | Okaidian |
| 2.9 | Through wall flashing | | | Charcoal Grey |
| 3.1 | Double-glazed vinyl windows & sliding-glassed doors residential | | | Charcoal Grey |
| 3.2 | Painted steel entry door | | | Iron Grey |
| 3.3 | Stanchion glass guardrail system orw glass & cap | AFGD trim | | Clear |
| 3.4 | Stanchion glass guardrail system at base | | | Obsidian |
| 3.5 | Recessed quarter | | | Iron Ore |
| 3.6 | Prefinished metal counter flashing (fascia) orw metal soffit & slot ventilation | | | Iron Ore |
| 3.7 | Painted garage roof residential | | | Charcoal Grey |
| 3.8 | Double-glazed aluminium windows & sliding-glassed doors retail | | | Charcoal Grey |
| 3.9 | Painted garage door retail | | | Iron Grey |

Bosa Foods - St. Johns St.

| FINISH SCHEDULE | | | | |
|-----------------|---|---------------------|---------|----------------|
| No. | Material | Manufacturer | Texture | Colour |
| 4.1 | Aluminum screen & glass orw opaque glass | | | Iron Grey |
| 4.2 | Aluminum planters | | | Iron Grey |
| 4.3 | Carbon steel planters | | | Iron |
| 4.4 | Wood columns orw metal cladding | | | Iron Ore |
| 4.5 | Heavy timber wood canopy tie restraint connectors and flat cap where exposed | | | |
| 4.6 | Square top orw rectangular canopy tie orw clear elastomeric paint or Allen block planters | | | True landscape |
| 5.1 | Wood canopy orw glass & cables | | | Terra Cotta |
| 5.2 | Steel canopy orw glass & cables | | | Iron |
| 5.3 | Zone retaining wall | Burman Architecture | | N/A |
| 5.4 | Concrete wall, canopy and decorative holes | Corobore | | Black Hub |
| 5.5 | Aluminum decorative screen | | | Charcoal Grey |
| 5.6 | Decorative greenery system | | | Aluminum |
| 5.7 | Aluminum signage | | | Aluminum |

| Num. | YY MM DD | ISSUE / REVISION |
|------|------------|--------------------------------------|
| 5 | 2023-06-19 | Issue for DP Application |
| 4 | 2023-06-05 | Issue for Review |
| 3 | 2023-04-19 | Issue for Review |
| 2 | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
East Elevation

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SCALE 1/8" = 1'-0" (unless noted otherwise)

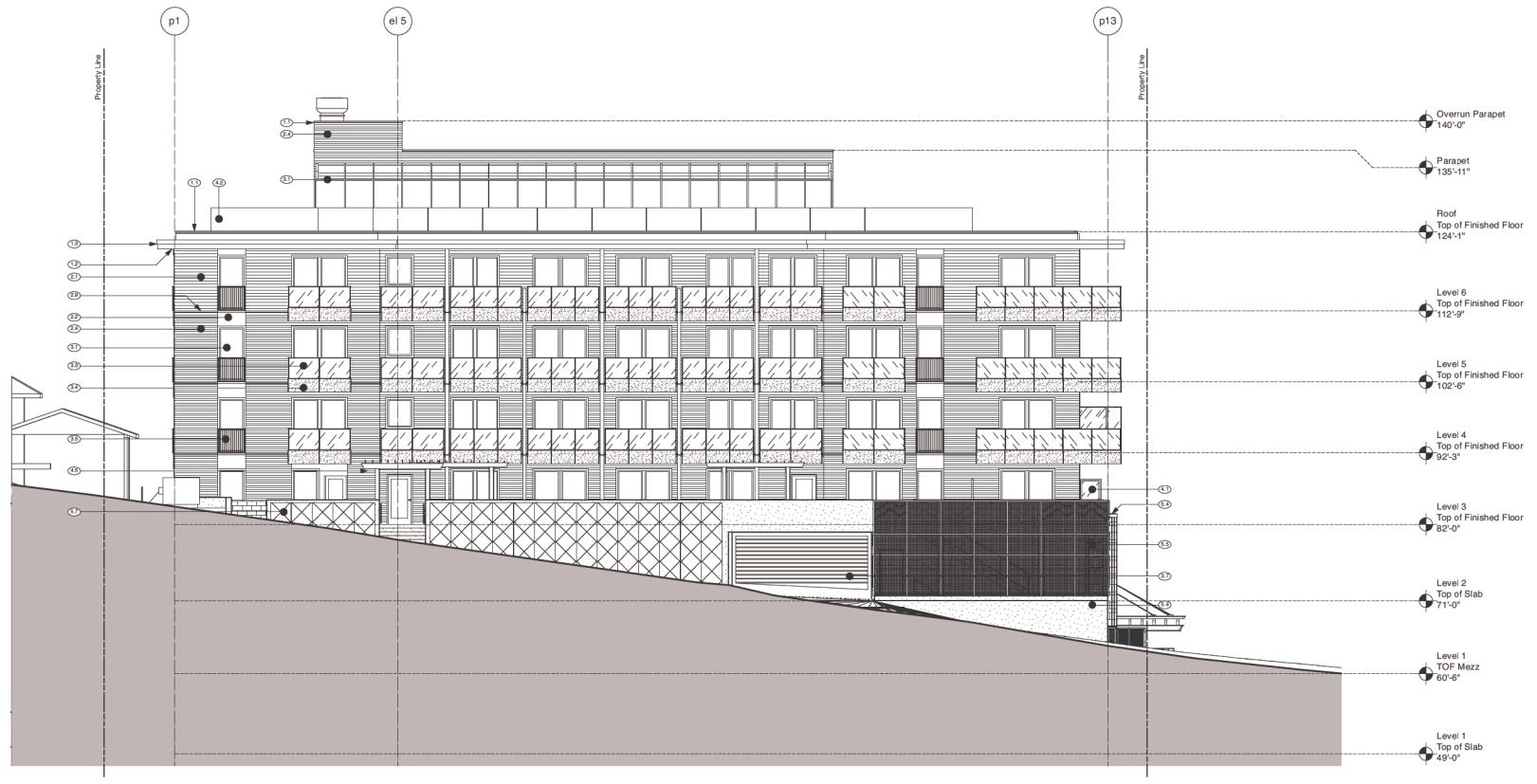
PLOT DATE Aug 9, 2023

PROJECT NO. 2119 DRAWING NO. A3.2

A3.2_1 - 2335 St Johns St - Bosa Foods - East Elevation - Corner Project/23/2119_Bosa_Foods_East_Elevation.dwg - User: Project/23/2119_Bosa_Foods_East_Elevation.dwg - Date: 2023-06-19 10:50:00 AM

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1 South Elevation
A 3.3 Scale: 1/8" = 1'-0"

| Num. | YY | MM | DD | ▲ISSUE / REVISION ▼ |
|------|------|----|----|--------------------------------------|
| 5 | 2023 | 06 | 19 | Issue for DP Application |
| 4 | 2023 | 06 | 05 | Issue for Review |
| 3 | 2023 | 04 | 19 | Issue for Review |
| 2 | 2022 | 11 | 07 | Issue for Preliminary DP Application |
| 1 | 2022 | 09 | 05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
South Elevation

Bosa Foods - St. Johns St.

| No. | Material | Manufacturer | Texture | Colour |
|-----|---|---------------------------|--------------|---------------|
| 1.1 | Roof parapet on prefinished metal counter and cap flashing | | | Iron Ore |
| 1.2 | Metal soffit on slot ventilation | Lux metal siding cladding | Wood grains | Pecan |
| 1.3 | Prefinished metal cap flashing over cement board facade | James Hardie | | Charcoal grey |
| 2.1 | V-Groove siding | Lux metal siding cladding | Wood grains | Pecan |
| 2.2 | Fibre cement panel cladding | James Hardie | Sirolooh | Iron Gray |
| 2.3 | 2x2 wood vertical trims on fibre cement panel cladding | James Hardie | Sirolooh | Iron Gray |
| 2.4 | Fibre cement horizontal lap siding cladding | James Hardie | Cedamill | Cobble Stone |
| 2.5 | 2x2 wood vertical trims on fibre cement panel cladding | James Hardie | Cedamill | Cobble Stone |
| 2.6 | Architectural stone on glass | Shoudice | Impervy | Desert Sun |
| 2.7 | Architectural stone on glass | Shoudice | Impervy | Chisel Iron |
| 2.8 | Porcelain slab | Daniss | Matte finish | Oxidation |
| 2.9 | Through wall flashing | | | Charcoal Grey |
| 3.1 | Double-glazed vinyl windows & sliding-glassed doors residential | | | Charcoal Grey |
| 3.2 | Printed steel entry door | | | Iron Gray |
| 3.3 | Stanchion glass guardrail system on glass & cap | AFGD trim | | Clear |
| 3.4 | Stanchion glass guardrail system at base | | | Opaque |
| 3.5 | Recessed guardrail | | | Iron Ore |
| 3.6 | Prefinished metal counter flashing (t fascia) low metal soffit & slot ventilation | | | Iron Ore |
| 3.7 | Premade garage roof residential | | | |
| 3.8 | Double-glazed aluminium windows & sliding-glassed doors retail | | | Charcoal Grey |
| 3.9 | Premade garage door retail | | | Iron Gray |

Bosa Foods - St. Johns St.

| No. | Material | Manufacturer | Texture | Colour |
|-----|---|---------------------|---------|-------------|
| 4.1 | Aluminum screen & glass low opaque glass | | | Iron Gray |
| 4.2 | Aluminum planters | | | Iron Gray |
| 4.3 | Carbon steel planters | | | Black |
| 4.4 | Wood columns on metal cladding | | | Iron Ore |
| 4.5 | Heavy timber roof canopy (pre-painted treated wood low painted finish metal connectors and flat cap where exposed | | | |
| 4.6 | Square topped architectural canopy wall (low clear elastomeric paint or Allen block planters | - see landscape | | |
| 5.1 | Wood canopy on glass & cables | | | Herra Costa |
| 5.2 | Steel canopy on glass & cables | | | Black |
| 5.3 | Stone retaining wall | Burman Architecture | | Black |
| 5.4 | Concrete wall, canopy and decorative stone | Coroneo | | Black Hub |
| 5.5 | Aluminum decorative screen | | | Aluminum |
| 5.6 | Decorative greenery system | | | Aluminum |
| 5.7 | Aluminum signage | | | Aluminum |

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SCALE 1/8" = 1'-0" (unless noted otherwise)

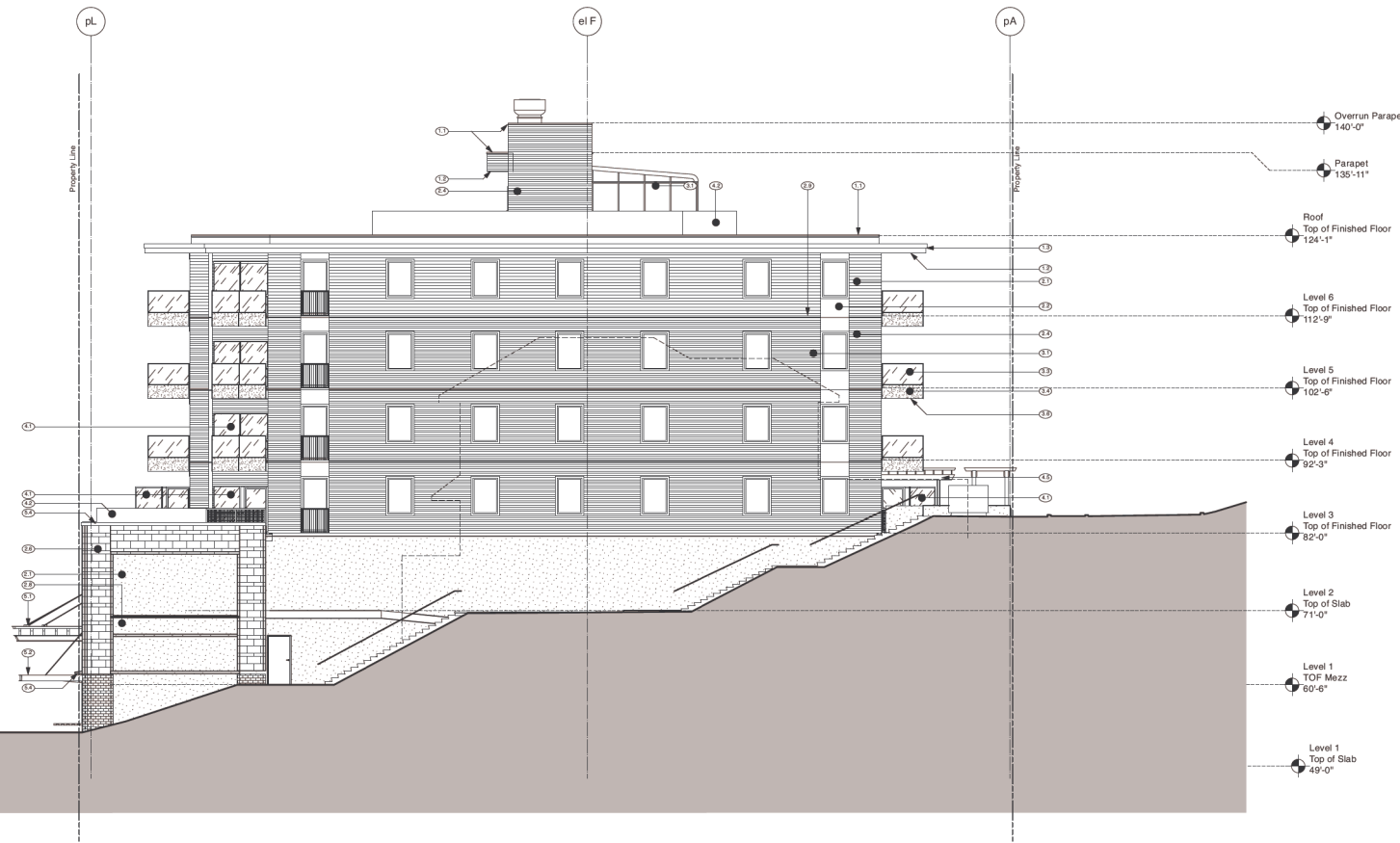
PLOT DATE Aug 9, 2023

PROJECT NO. 2119 **DRAWING NO.** A3.3

A3.3 - 2335 St Johns St - Bosa Foods - 2023-06-19 - Cornerstone Architecture - 2335 St Johns St - Bosa Foods - 2023-06-19 - Cornerstone Architecture - 2335 St Johns St - Bosa Foods - 2023-06-19 - Cornerstone Architecture

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1 West Elevation
A 3.4 Scale: 1/8" = 1'-0"

| Issued | By | Date | Description |
|--------|----|------------|--------------------------------------|
| 5 | MM | 2023-06-19 | Issue for DP Application |
| 4 | MM | 2023-06-05 | Issue for Review |
| 3 | MM | 2023-04-19 | Issue for Review |
| 2 | MM | 2022-11-07 | Issue for Preliminary DP Application |
| 1 | MM | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
West Elevation

Bosa Foods - St. Johns St.

| No. | Material | Manufacturer | Texture | Colour |
|-----|---|---------------------------|-------------|---------------|
| 1.1 | Roof parapet on precast metal counter and cap flashing | | | Iron Ore |
| 1.2 | Metal spout on cast ventilation | Lux metal siding cladding | Wood grains | Pecan |
| 1.3 | Preinsulated metal cap flashing over cement board fascia | James Hardie | | Charcoal grey |
| 2.1 | V-Groove siding | Lux metal siding cladding | Wood grains | Pecan |
| 2.2 | Fiber cement panel cladding | James Hardie | Sirocco | Iron Gray |
| 2.3 | 2x2 wood vertical trims on fiber cement panel cladding | James Hardie | Sirocco | Iron Gray |
| 2.4 | Fiber cement horizontal lap siding cladding | James Hardie | CedarMill | Cobble Stone |
| 2.5 | 2x2 wood vertical trims on fiber cement panel cladding | James Hardie | CedarMill | Cobble Stone |
| 2.6 | Architectural stone on gable | Shoujido | Tapistry | Desert Sun |
| 2.7 | Precast stone on gable | Shoujido | Hook | Desert Sun |
| 2.8 | Porcelain lap | Daniels | Matt finish | Oxidation |
| 2.9 | Through wall flashing | | | Charcoal Grey |
| 3.1 | Double-glazed vinyl windows & sliding-glassed doors residential | | | Charcoal Grey |
| 3.2 | Painted steel entry door | | | Iron Gray |
| 3.3 | Stanchion glass guardrail system on glass & cap | AFGD trim | | Clear |
| 3.4 | Stanchion glass guardrail system at base | | | Opaque |
| 3.5 | Recessed guardrail | | | Iron Ore |
| 3.6 | Preinsulated metal counter flashing (t fascia) | | | Iron Ore |
| 3.7 | Preinsulated metal counter flashing (r fascia) | | | Iron Ore |
| 3.8 | Double-glazed aluminum windows & sliding-glassed doors retail | | | Charcoal Grey |
| 3.9 | Preinsulated garage door metal | | | Iron Gray |

Bosa Foods - St. Johns St.

| No. | Material | Manufacturer | Texture | Colour |
|-----|--|-----------------------|---------|-------------|
| 4.1 | Aluminum screen & glass on opaque glass | | | Vent Gray |
| 4.2 | Aluminum planters | | | Iron Gray |
| 4.3 | Carbon steel planters | | | Black |
| 4.4 | Wood columns on metal cladding | | | Iron Ore |
| 4.5 | Heavy timber roof canopy (the restaurant connectors and flat cap where exposed) | | | |
| 4.6 | Square top on rectangular canopy wall (w/ clear elastomeric paint or Allen block planters) | - see landscape | | |
| 5.1 | Wood canopy on glass & cables | | | Terra Cotta |
| 5.2 | Steel canopy on glass & cables | | | Black |
| 5.3 | Stone retaining wall | Stoneman Architecture | | Black |
| 5.4 | Concrete wall, canopy and decorative | Coroneo | | Black Hub |
| 5.5 | Aluminum decorative screen | | | Aluminum |
| 5.6 | Decorative greenery system | | | Aluminum |
| 5.7 | Aluminum signage | | | Aluminum |

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SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. 2119 **DRAWING NO.** A3.4

A3.39 - 2335 St. Johns St. - Bosa Foods - West Elevation - 2023-06-19 - 1/8" = 1'-0" - 2335 St. Johns St. - Bosa Foods - West Elevation - 2023-06-19 - 1/8" = 1'-0"

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| 1 | 2022-09-05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Building Section A-A

A
A 4.1 Section A-A
Scale: 1/8" = 1'-0"

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PLOT DATE Aug 9, 2023
PROJECT NO. 2119 DRAWING NO. **A4.1**

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B Section B-B
A-4.2 Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Building Section B-B

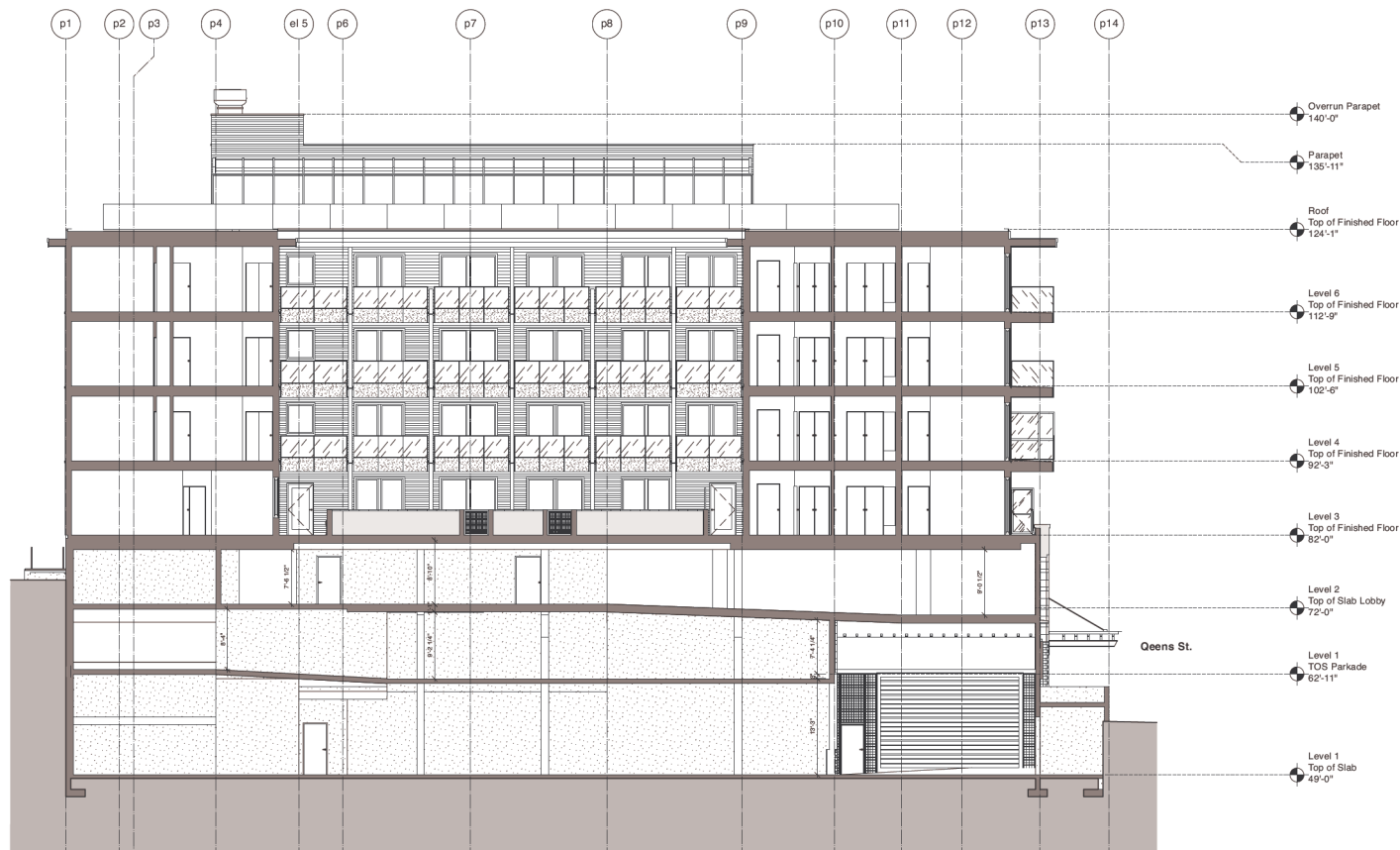
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PLOT DATE Aug 9, 2023

PROJECT NO. DRAWING NO.
2119 A4.2

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| 1 | 2022 | 09 | 05 | Issue for Review |

PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
DEVELOPMENT PERMIT #
BUILDING PERMIT #

DRAWING
Building Section C-C

C
A 4.3 Section C-C
Scale: 1/8" = 1'-0"

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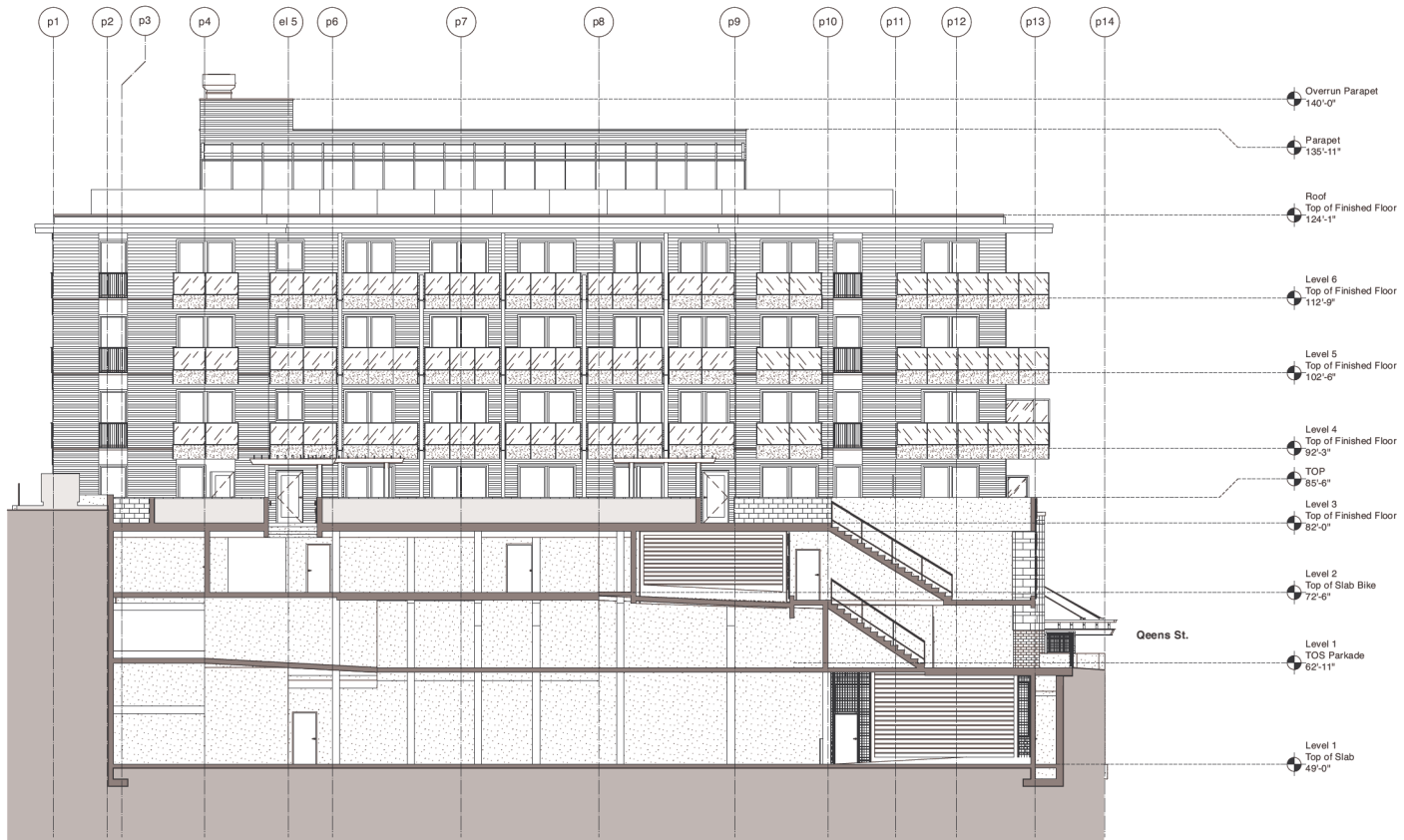
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PROJECT NO. **2119** DRAWING NO. **A4.3**

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D Section D-D
A 4.4 Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
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DRAWING
Building Section D-D

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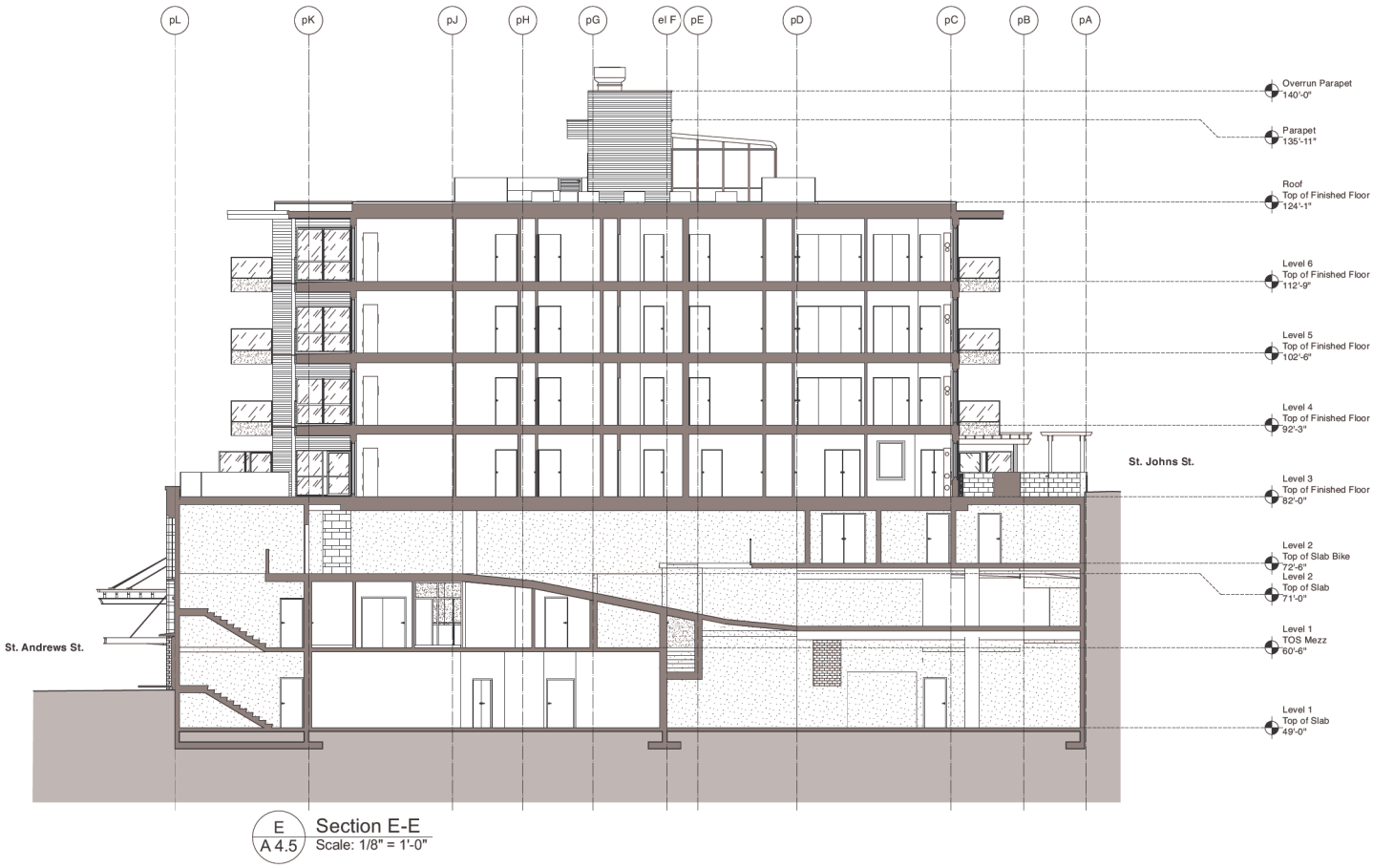
PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. A4.4

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E Section E-E
A 4.5 Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
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DRAWING
Building Section E-E

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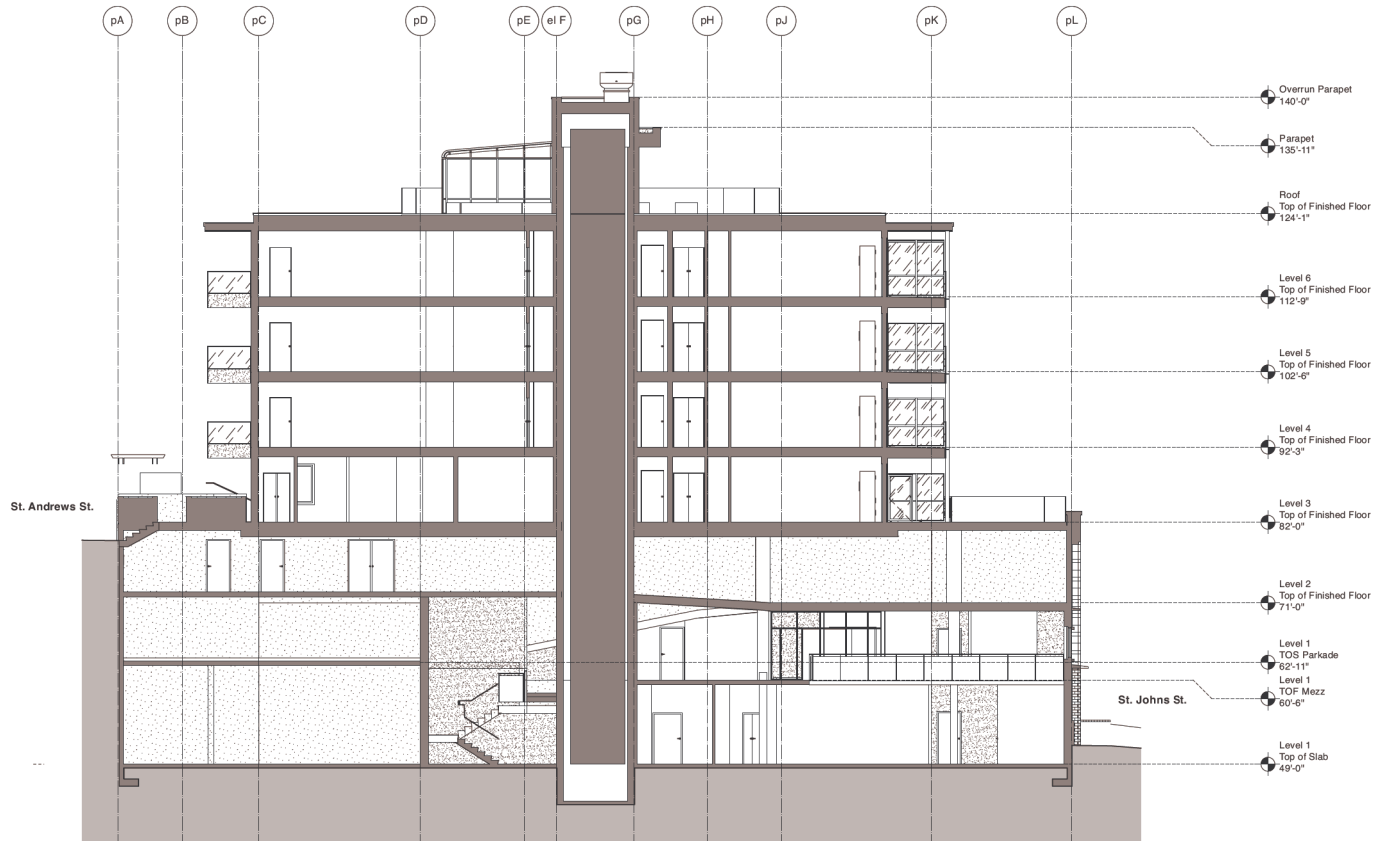
PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. **A4.5**

2023-06-19 10:51:11 Bosa Foods 2335 St Johns St 1/8"=1'-0" E Section E-E A 4.5

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F Section F-F
A 4.6 Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
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DRAWING
Building Section F-F

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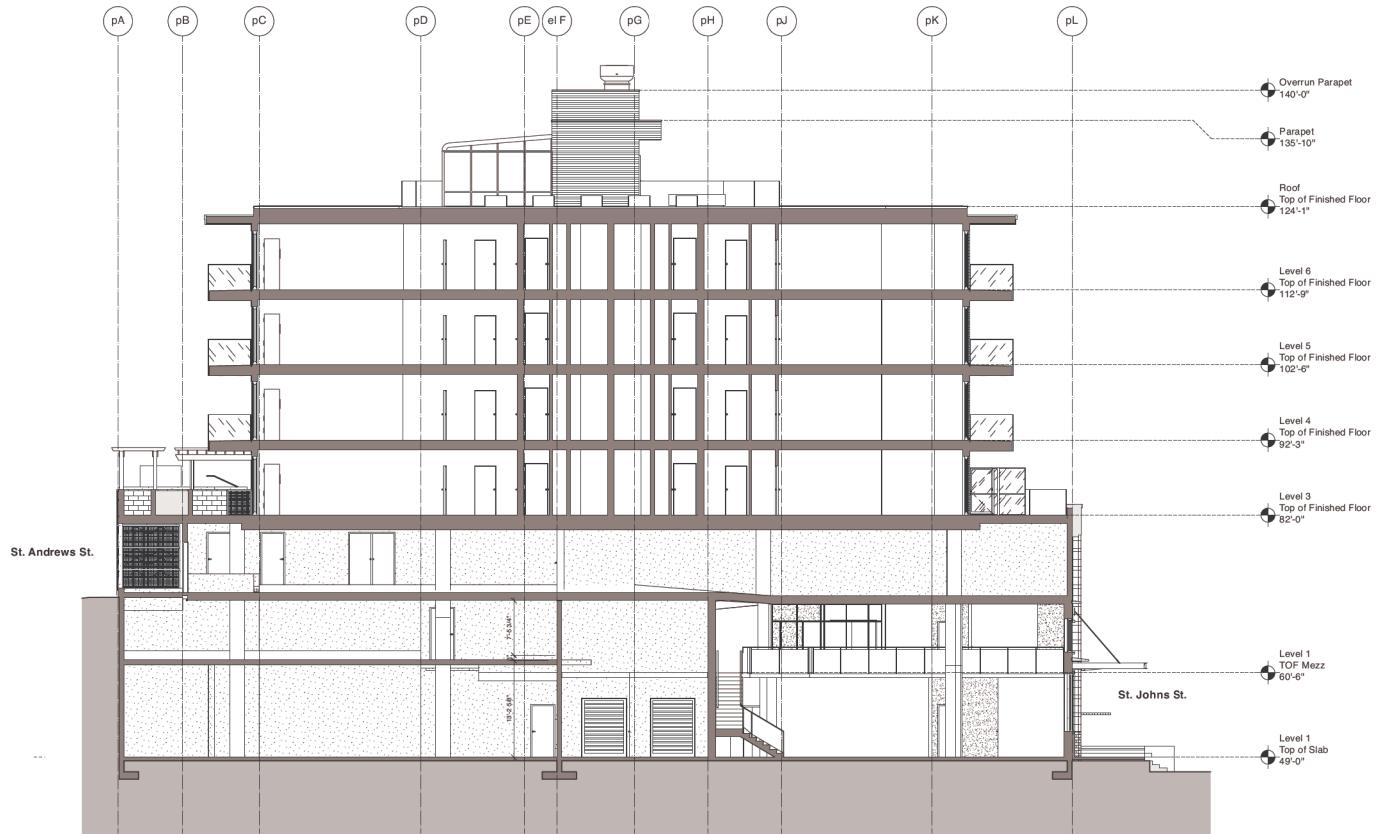
PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. **A4.6**

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G Section G-G
A 4.7 Scale: 1/8" = 1'-0"

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PROJECT
Bosa Foods
2335 St Johns St

BUILDING CODE BCBC 2018
ZONING RM4, C3
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DRAWING
Building Section G-G

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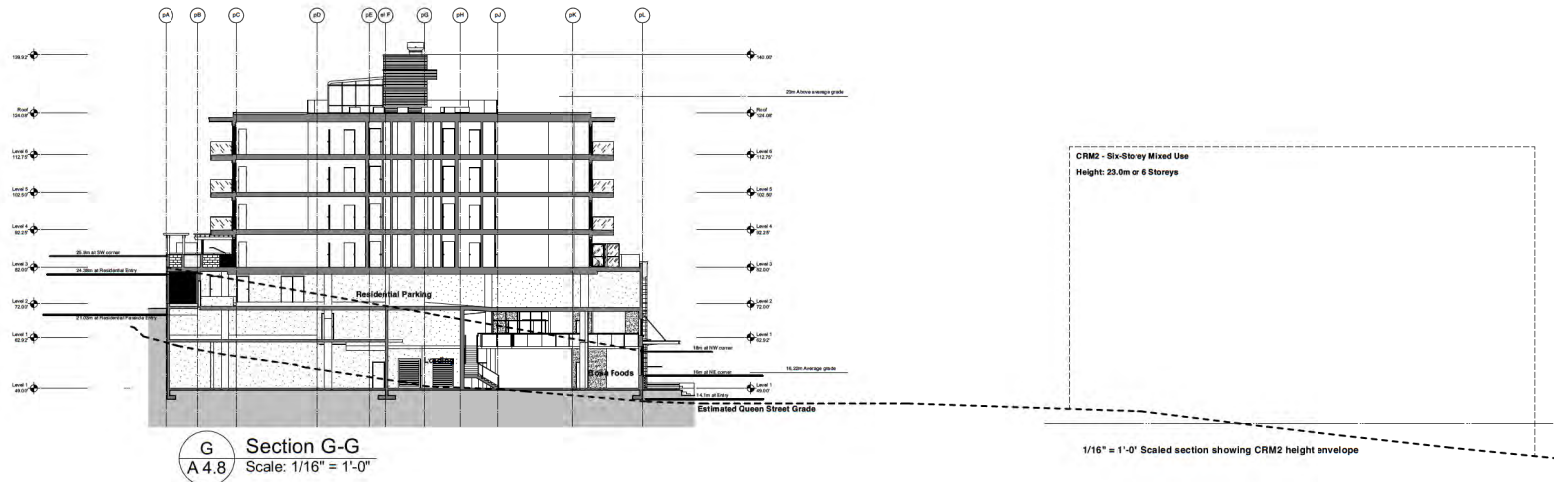
PLOT DATE Aug 9, 2023

PROJECT NO. 2119
DRAWING NO. A4.7

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PROJECT
Bosa Foods
2335 St Johns St

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DRAWING
Building Section G-G
Context

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PROJECT NO. DRAWING NO.
2119 A4.8



Top down view of the site



Northeast aerial view



Northwest aerial view



Southeast aerial view

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PROJECT
Bosa Foods
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DRAWING
Site Photos

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PLOT DATE Aug 9, 2023
PROJECT NO. 2119
DRAWING NO. A6.1



View across the Northwest intersection from the proposed podium level



View towards the West from the proposed level 6 deck



View towards the East from the proposed level 6 deck



View towards the North from the proposed level 6 deck

CORNERSTONE architecture

307 - 611 Alexander Street
Vancouver, British Columbia,
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www.cornerstonearch.com
tel: 604-253-6900

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DRAWING
Site Photos

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PROJECT NO. 2119 **DRAWING NO.** **A6.2**

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1 Northwest View
A 6.4 Scale: 1/4" = 1'-0"



2 Southwest View
A 6.4 Scale: 1/4" = 1'-0"

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DRAWING
Perspective view

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DRAWING NO. **A6.4**

