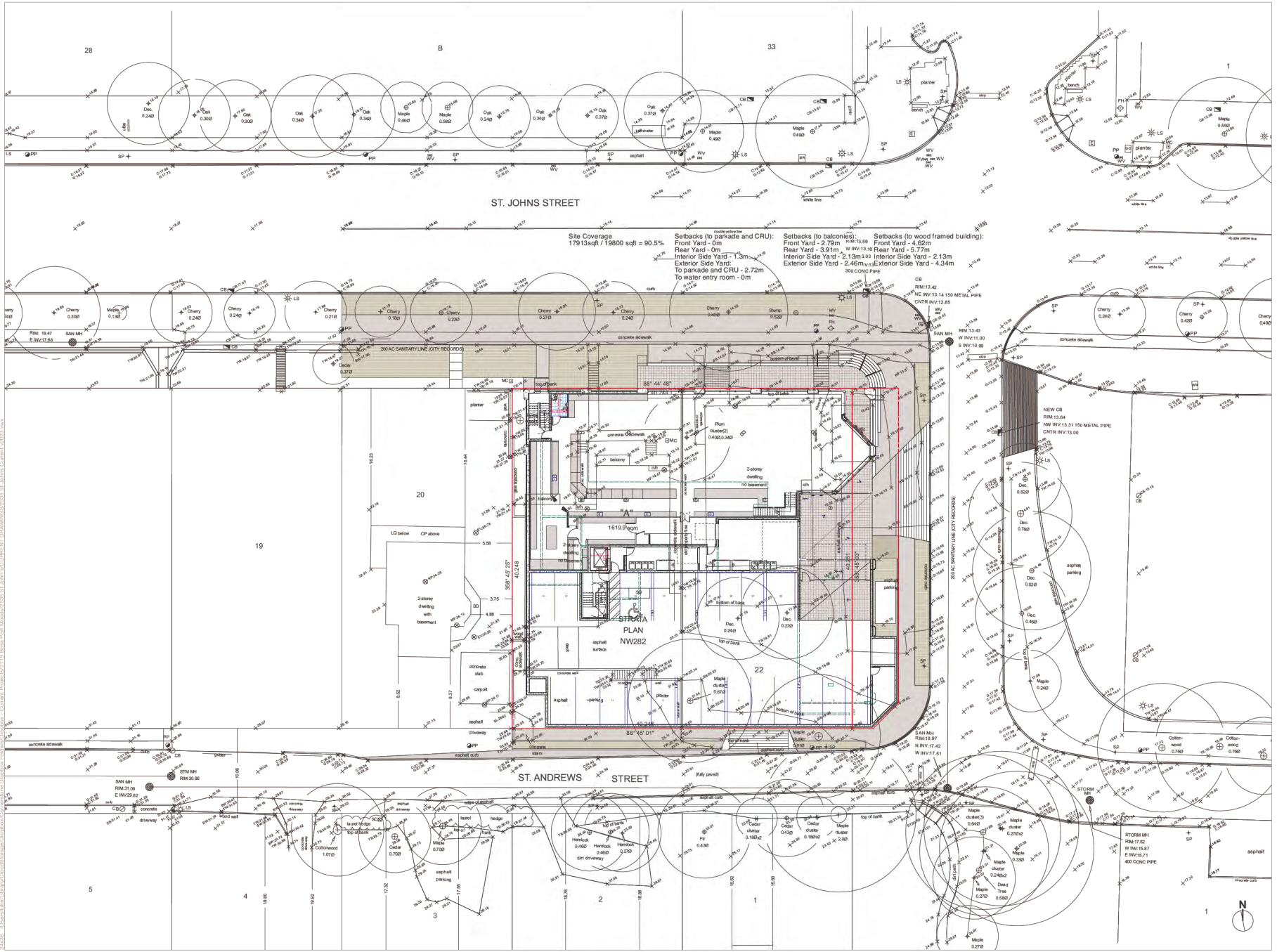




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Prior to commencement of the Work, it is the Contractor's responsibility to review and verify drawing dimensions, datum and levels. Discrepancies between information on this drawing and actual site conditions and/or for the remaining Contract Documents shall be brought to the attention of the Architect for clarification prior to proceeding with the Work. **DO NOT SCALE THE DRAWINGS.**



Site Coverage  
17913sqft / 19800 sqft = 90.5%

Setbacks (to parkade and CRU):  
Front Yard - 0m  
Rear Yard - 0m  
Interior Side Yard - 1.3m  
Exterior Side Yard - To parkade and CRU - 2.72m  
To water entry room - 0m

Setbacks (to balconies):  
Front Yard - 2.79m  
Rear Yard - 3.91m  
Interior Side Yard - 2.13m  
Exterior Side Yard - 2.46m

Setbacks (to wood framed building):  
Front Yard - 4.62m  
Rear Yard - 5.77m  
Interior Side Yard - 2.13m  
Exterior Side Yard - 4.34m

STRATA  
PLAN  
NW282

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Site Plan**

Unless stated & sealed, these drawings are not to be used for approval by an authority to enforce by a client or third party, including the general public.  
**SCALE** 1/16" = 1'-0" (unless noted otherwise)

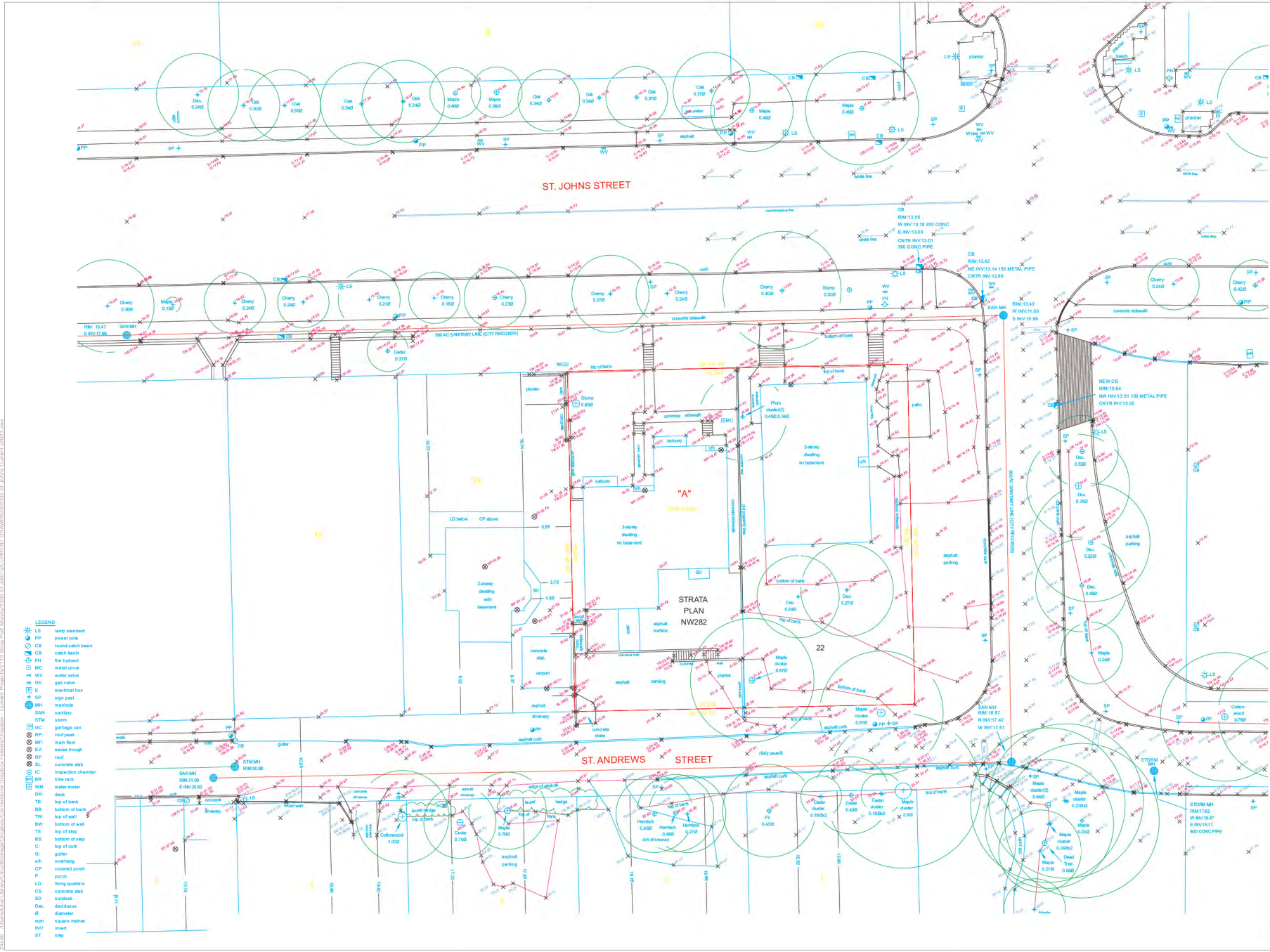
**PLLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119 **DRAWING NO.** A1.0

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**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3

**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Survey**

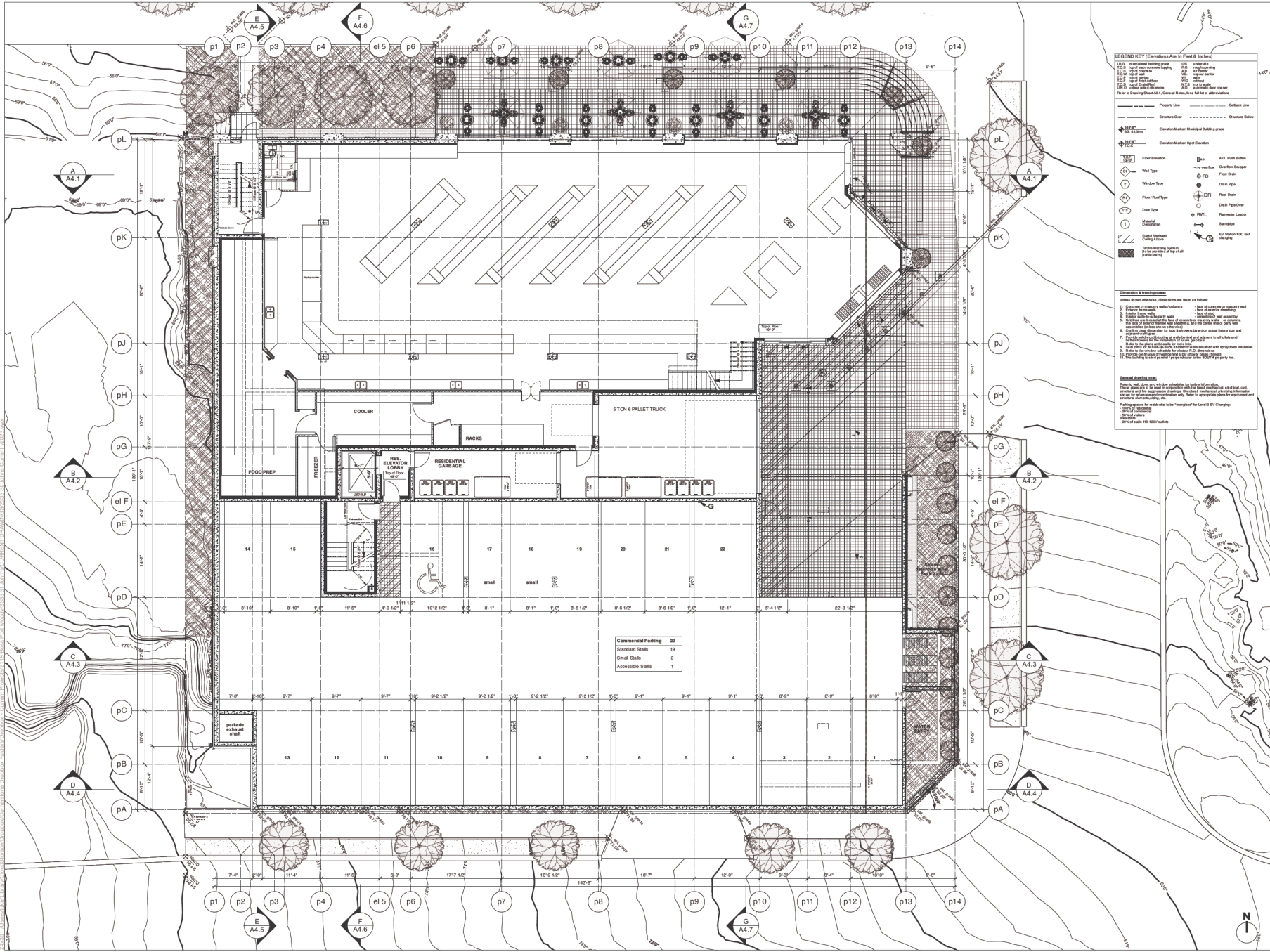
Unless noted & sealed, these drawings are not to be used for approval by an authority or for reliance by a client or third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** A1.1

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**LEGEND KEY (Elevations Are In Feet & Inches)**

1.5.0	Interior finish grade	1.5.1	Interior
1.5.1	Level measurement/finishing	1.5.2	Architect's
1.5.2	Level measurement/finishing	1.5.3	Architect's
1.5.3	Level measurement/finishing	1.5.4	Architect's
1.5.4	Level measurement/finishing	1.5.5	Architect's
1.5.5	Level measurement/finishing	1.5.6	Architect's
1.5.6	Level measurement/finishing	1.5.7	Architect's
1.5.7	Level measurement/finishing	1.5.8	Architect's
1.5.8	Level measurement/finishing	1.5.9	Architect's
1.5.9	Level measurement/finishing	1.5.10	Architect's
1.5.10	Level measurement/finishing	1.5.11	Architect's
1.5.11	Level measurement/finishing	1.5.12	Architect's
1.5.12	Level measurement/finishing	1.5.13	Architect's
1.5.13	Level measurement/finishing	1.5.14	Architect's
1.5.14	Level measurement/finishing	1.5.15	Architect's
1.5.15	Level measurement/finishing	1.5.16	Architect's
1.5.16	Level measurement/finishing	1.5.17	Architect's
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1.5.18	Level measurement/finishing	1.5.19	Architect's
1.5.19	Level measurement/finishing	1.5.20	Architect's
1.5.20	Level measurement/finishing	1.5.21	Architect's
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1.5.23	Level measurement/finishing	1.5.24	Architect's
1.5.24	Level measurement/finishing	1.5.25	Architect's
1.5.25	Level measurement/finishing	1.5.26	Architect's
1.5.26	Level measurement/finishing	1.5.27	Architect's
1.5.27	Level measurement/finishing	1.5.28	Architect's
1.5.28	Level measurement/finishing	1.5.29	Architect's
1.5.29	Level measurement/finishing	1.5.30	Architect's
1.5.30	Level measurement/finishing	1.5.31	Architect's
1.5.31	Level measurement/finishing	1.5.32	Architect's
1.5.32	Level measurement/finishing	1.5.33	Architect's
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1.5.39	Level measurement/finishing	1.5.40	Architect's
1.5.40	Level measurement/finishing	1.5.41	Architect's
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**Materials & Finishes**

Unless shown otherwise, dimensions are given as follows:

- 1. Concrete: center-to-center
- 2. Steel: outside-to-outside
- 3. Masonry: outside-to-outside
- 4. Glass: outside-to-outside
- 5. Mechanical: outside-to-outside
- 6. Electrical: outside-to-outside
- 7. Plumbing: outside-to-outside
- 8. HVAC: outside-to-outside
- 9. Fire: outside-to-outside
- 10. Structural: outside-to-outside
- 11. The building is shown partial per section to the SDCPP per party line.

**General Notes**

1. All work shall be in accordance with the applicable codes and standards.

2. All work shall be in accordance with the applicable codes and standards.

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5	2023-06-19	Issue for DP Application
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1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

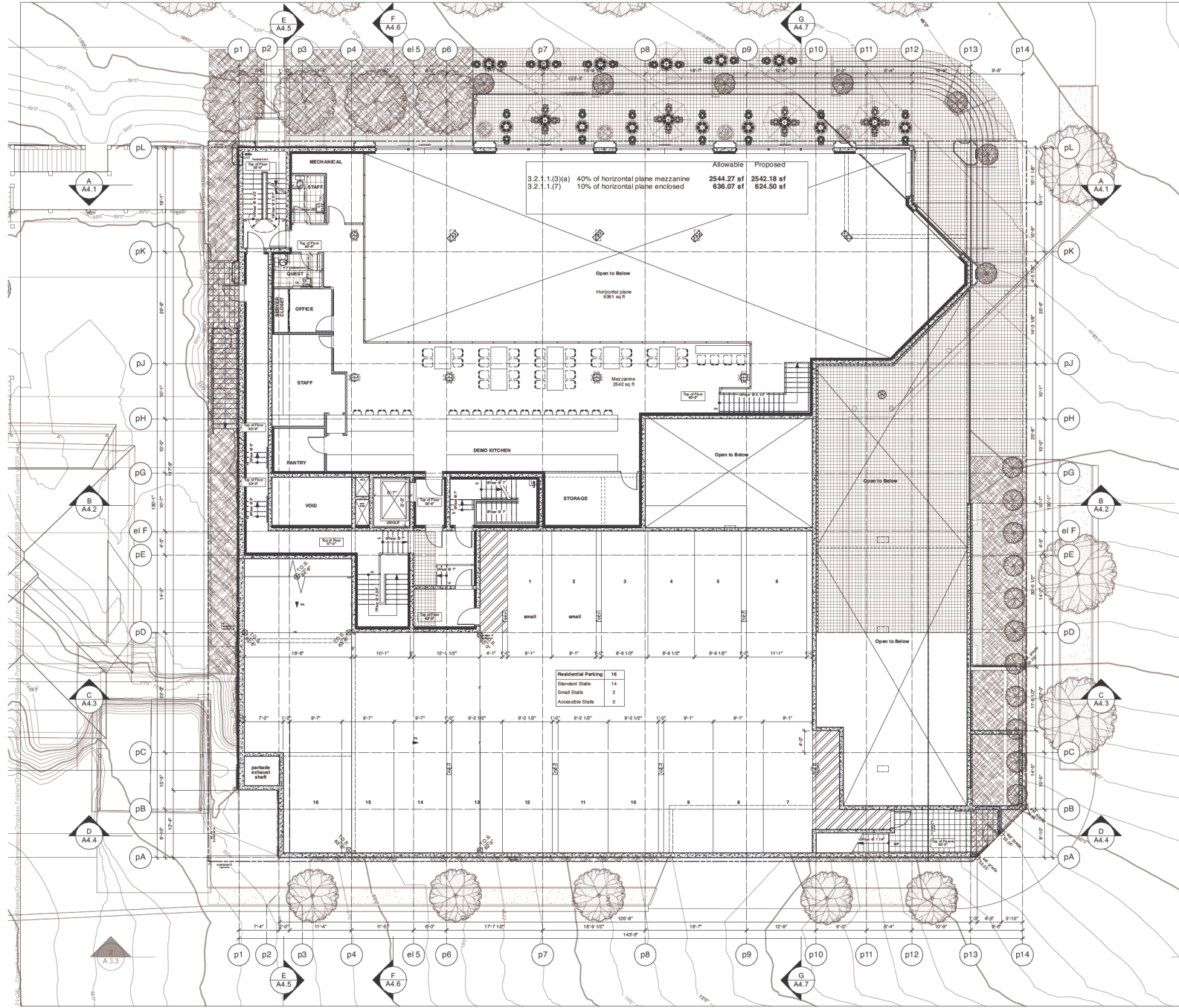
**DRAWING**  
**Level 1**

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**SCALE**  
1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** A2.1



**LEGEND KEY (Elevations Are in Feet & Inches)**

1.0.0	Interior finish grade	1.0.1	Interior finish grade
1.0.1	Level of construction	1.0.2	Level of construction
1.0.2	Level of construction	1.0.3	Level of construction
1.0.3	Level of construction	1.0.4	Level of construction
1.0.4	Level of construction	1.0.5	Level of construction
1.0.5	Level of construction	1.0.6	Level of construction
1.0.6	Level of construction	1.0.7	Level of construction
1.0.7	Level of construction	1.0.8	Level of construction
1.0.8	Level of construction	1.0.9	Level of construction
1.0.9	Level of construction	1.0.10	Level of construction
1.0.10	Level of construction	1.0.11	Level of construction
1.0.11	Level of construction	1.0.12	Level of construction
1.0.12	Level of construction	1.0.13	Level of construction
1.0.13	Level of construction	1.0.14	Level of construction
1.0.14	Level of construction	1.0.15	Level of construction
1.0.15	Level of construction	1.0.16	Level of construction
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1.0.17	Level of construction	1.0.18	Level of construction
1.0.18	Level of construction	1.0.19	Level of construction
1.0.19	Level of construction	1.0.20	Level of construction
1.0.20	Level of construction	1.0.21	Level of construction
1.0.21	Level of construction	1.0.22	Level of construction
1.0.22	Level of construction	1.0.23	Level of construction
1.0.23	Level of construction	1.0.24	Level of construction
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1.0.29	Level of construction	1.0.30	Level of construction
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1.0.32	Level of construction	1.0.33	Level of construction
1.0.33	Level of construction	1.0.34	Level of construction
1.0.34	Level of construction	1.0.35	Level of construction
1.0.35	Level of construction	1.0.36	Level of construction
1.0.36	Level of construction	1.0.37	Level of construction
1.0.37	Level of construction	1.0.38	Level of construction
1.0.38	Level of construction	1.0.39	Level of construction
1.0.39	Level of construction	1.0.40	Level of construction
1.0.40	Level of construction	1.0.41	Level of construction
1.0.41	Level of construction	1.0.42	Level of construction
1.0.42	Level of construction	1.0.43	Level of construction
1.0.43	Level of construction	1.0.44	Level of construction
1.0.44	Level of construction	1.0.45	Level of construction
1.0.45	Level of construction	1.0.46	Level of construction
1.0.46	Level of construction	1.0.47	Level of construction
1.0.47	Level of construction	1.0.48	Level of construction
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1.0.81	Level of construction	1.0.82	Level of construction
1.0.82	Level of construction	1.0.83	Level of construction
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**Annotations & Callouts**

1. Confirm existing conditions - based on current drawings
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6. Confirm existing conditions - based on current drawings
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8. Confirm existing conditions - based on current drawings
9. Confirm existing conditions - based on current drawings
10. Confirm existing conditions - based on current drawings
11. Confirm existing conditions - based on current drawings
12. Confirm existing conditions - based on current drawings

**Revised Drawing**

Revised drawing is the responsibility of the Architect. The Contractor shall verify all dimensions, quantities and levels. Discrepancies between information on this drawing and actual site conditions and/or the remaining Contract Documents shall be brought to the attention of the Architect for clarification prior to proceeding with the Work. DO NOT SCALE THE DRAWINGS.

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Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

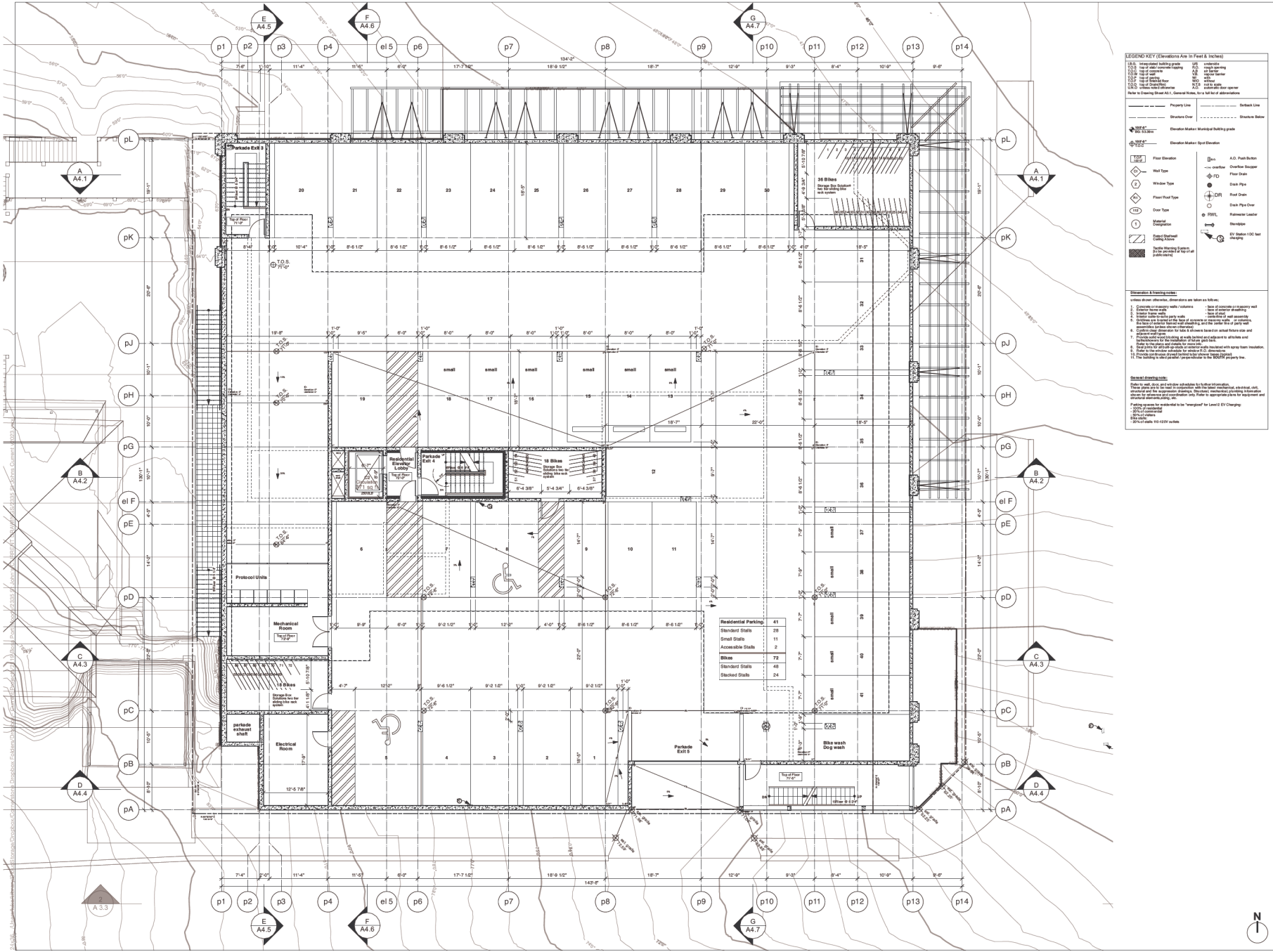
**DRAWING**  
**Level 1 Mezzanine**

Unless noted & sealed, these drawings are not to be used for approval by an authority to enforce by a client or third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A2.2

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**LEGEND KEY (Elevations Are in Feet & Inches)**

1.0	Interior finish grade	1.0	Interior finish grade
2.0	Final development finish	2.0	Final development finish
3.0	Final finish grade	3.0	Final finish grade
4.0	Final finish grade	4.0	Final finish grade
5.0	Final finish grade	5.0	Final finish grade
6.0	Final finish grade	6.0	Final finish grade
7.0	Final finish grade	7.0	Final finish grade
8.0	Final finish grade	8.0	Final finish grade
9.0	Final finish grade	9.0	Final finish grade
10.0	Final finish grade	10.0	Final finish grade
11.0	Final finish grade	11.0	Final finish grade
12.0	Final finish grade	12.0	Final finish grade
13.0	Final finish grade	13.0	Final finish grade
14.0	Final finish grade	14.0	Final finish grade
15.0	Final finish grade	15.0	Final finish grade
16.0	Final finish grade	16.0	Final finish grade
17.0	Final finish grade	17.0	Final finish grade
18.0	Final finish grade	18.0	Final finish grade
19.0	Final finish grade	19.0	Final finish grade
20.0	Final finish grade	20.0	Final finish grade
21.0	Final finish grade	21.0	Final finish grade
22.0	Final finish grade	22.0	Final finish grade
23.0	Final finish grade	23.0	Final finish grade
24.0	Final finish grade	24.0	Final finish grade
25.0	Final finish grade	25.0	Final finish grade
26.0	Final finish grade	26.0	Final finish grade
27.0	Final finish grade	27.0	Final finish grade
28.0	Final finish grade	28.0	Final finish grade
29.0	Final finish grade	29.0	Final finish grade
30.0	Final finish grade	30.0	Final finish grade
31.0	Final finish grade	31.0	Final finish grade
32.0	Final finish grade	32.0	Final finish grade
33.0	Final finish grade	33.0	Final finish grade
34.0	Final finish grade	34.0	Final finish grade
35.0	Final finish grade	35.0	Final finish grade
36.0	Final finish grade	36.0	Final finish grade
37.0	Final finish grade	37.0	Final finish grade
38.0	Final finish grade	38.0	Final finish grade
39.0	Final finish grade	39.0	Final finish grade
40.0	Final finish grade	40.0	Final finish grade
41.0	Final finish grade	41.0	Final finish grade
42.0	Final finish grade	42.0	Final finish grade
43.0	Final finish grade	43.0	Final finish grade
44.0	Final finish grade	44.0	Final finish grade
45.0	Final finish grade	45.0	Final finish grade
46.0	Final finish grade	46.0	Final finish grade
47.0	Final finish grade	47.0	Final finish grade
48.0	Final finish grade	48.0	Final finish grade
49.0	Final finish grade	49.0	Final finish grade
50.0	Final finish grade	50.0	Final finish grade
51.0	Final finish grade	51.0	Final finish grade
52.0	Final finish grade	52.0 </tr	

**Notes:**

1. Coordinate all work with existing conditions.
2. Coordinate all work with existing conditions.
3. Coordinate all work with existing conditions.
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52. Coordinate all work with existing conditions.

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

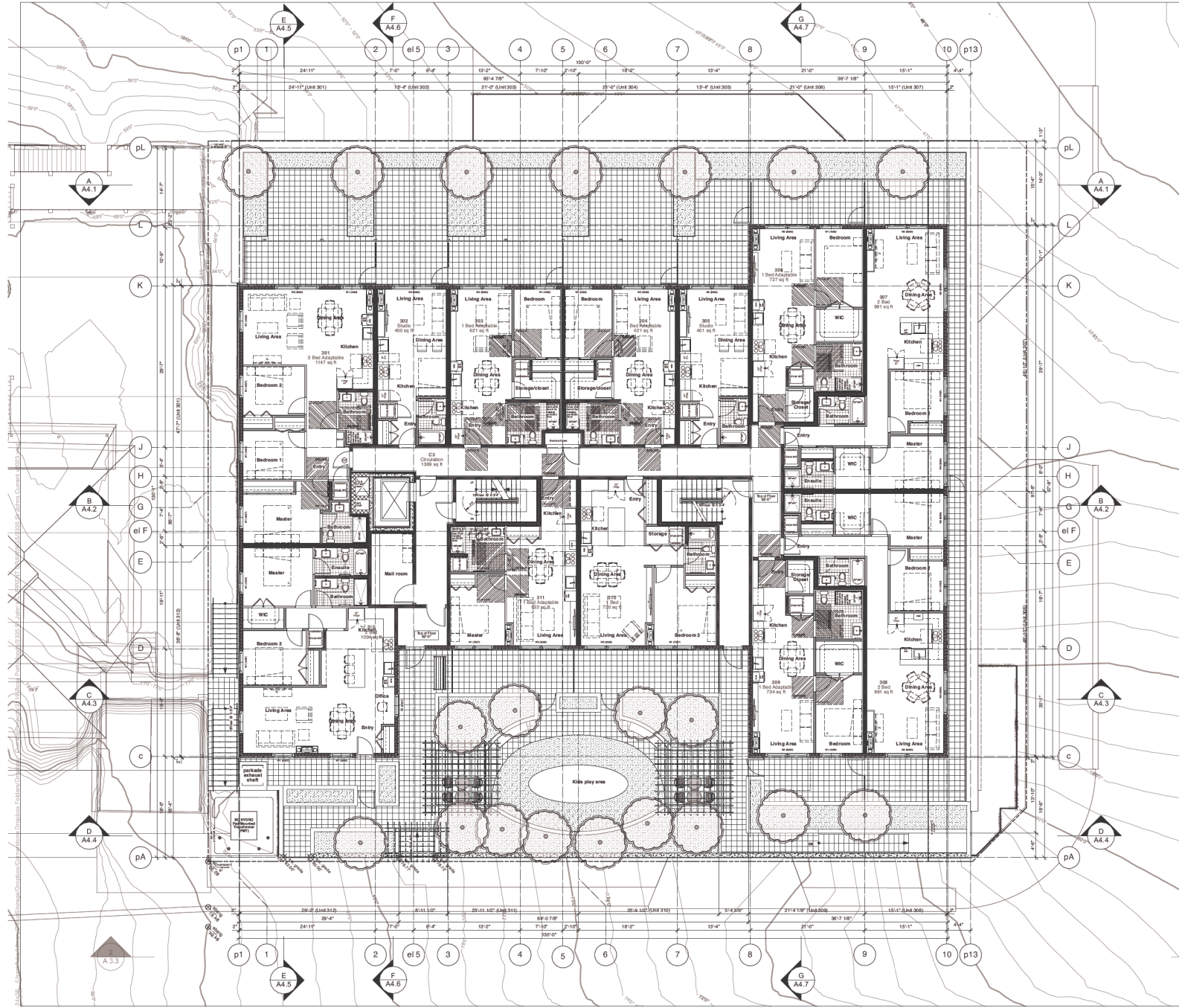
**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Level 2 Parkade**

Unless noted & sealed, these drawings are not to be used for approval by an authority or to indicate by a client or third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)  
**PLLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A2.3

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**LEGEND KEY (Elevations Are in Feet & Inches)**

1.0	Interior finish grade	1.0	Finish
1.5	Level of development (Finish)	1.5	Level of development (Finish)
2.0	Level of development (Finish)	2.0	Level of development (Finish)
3.0	Level of development (Finish)	3.0	Level of development (Finish)
4.0	Level of development (Finish)	4.0	Level of development (Finish)
5.0	Level of development (Finish)	5.0	Level of development (Finish)
6.0	Level of development (Finish)	6.0	Level of development (Finish)
7.0	Level of development (Finish)	7.0	Level of development (Finish)
8.0	Level of development (Finish)	8.0	Level of development (Finish)
9.0	Level of development (Finish)	9.0	Level of development (Finish)
10.0	Level of development (Finish)	10.0	Level of development (Finish)
11.0	Level of development (Finish)	11.0	Level of development (Finish)
12.0	Level of development (Finish)	12.0	Level of development (Finish)
13.0	Level of development (Finish)	13.0	Level of development (Finish)
14.0	Level of development (Finish)	14.0	Level of development (Finish)
15.0	Level of development (Finish)	15.0	Level of development (Finish)
16.0	Level of development (Finish)	16.0	Level of development (Finish)
17.0	Level of development (Finish)	17.0	Level of development (Finish)
18.0	Level of development (Finish)	18.0	Level of development (Finish)
19.0	Level of development (Finish)	19.0	Level of development (Finish)
20.0	Level of development (Finish)	20.0	Level of development (Finish)
21.0	Level of development (Finish)	21.0	Level of development (Finish)
22.0	Level of development (Finish)	22.0	Level of development (Finish)
23.0	Level of development (Finish)	23.0	Level of development (Finish)
24.0	Level of development (Finish)	24.0	Level of development (Finish)
25.0	Level of development (Finish)	25.0	Level of development (Finish)
26.0	Level of development (Finish)	26.0	Level of development (Finish)
27.0	Level of development (Finish)	27.0	Level of development (Finish)
28.0	Level of development (Finish)	28.0	Level of development (Finish)
29.0	Level of development (Finish)	29.0	Level of development (Finish)
30.0	Level of development (Finish)	30.0	Level of development (Finish)
31.0	Level of development (Finish)	31.0	Level of development (Finish)
32.0	Level of development (Finish)	32.0 </tr	

**Notes:**

1. All dimensions are in feet and inches unless otherwise noted.
2. All dimensions are to the centerline of the wall unless otherwise noted.
3. All dimensions are to the finished floor level unless otherwise noted.
4. All dimensions are to the finished ceiling level unless otherwise noted.
5. All dimensions are to the finished exterior grade unless otherwise noted.
6. All dimensions are to the finished interior grade unless otherwise noted.
7. All dimensions are to the finished exterior finish unless otherwise noted.
8. All dimensions are to the finished interior finish unless otherwise noted.
9. All dimensions are to the finished exterior finish unless otherwise noted.
10. All dimensions are to the finished interior finish unless otherwise noted.
11. All dimensions are to the finished exterior finish unless otherwise noted.
12. All dimensions are to the finished interior finish unless otherwise noted.

**General Notes:**

1. All dimensions are in feet and inches unless otherwise noted.
2. All dimensions are to the centerline of the wall unless otherwise noted.
3. All dimensions are to the finished floor level unless otherwise noted.
4. All dimensions are to the finished ceiling level unless otherwise noted.
5. All dimensions are to the finished exterior grade unless otherwise noted.
6. All dimensions are to the finished interior grade unless otherwise noted.
7. All dimensions are to the finished exterior finish unless otherwise noted.
8. All dimensions are to the finished interior finish unless otherwise noted.
9. All dimensions are to the finished exterior finish unless otherwise noted.
10. All dimensions are to the finished interior finish unless otherwise noted.
11. All dimensions are to the finished exterior finish unless otherwise noted.
12. All dimensions are to the finished interior finish unless otherwise noted.

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**  
**DRAWING**  
**Level 3**

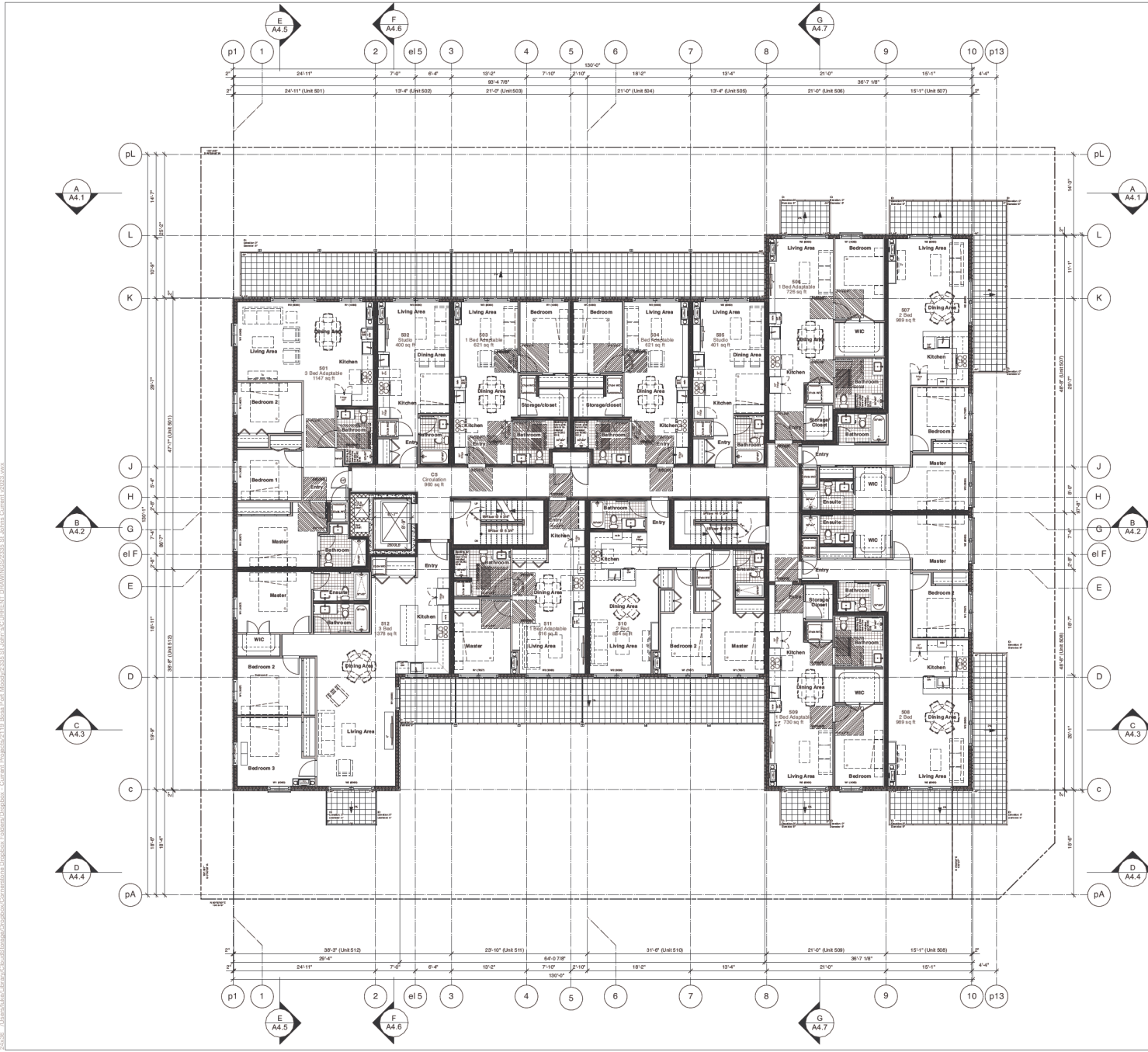
Unless noted & sealed, these drawings are not to be used for approval by an authority to enforce by a client or third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)  
**PLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A2.4





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**LEGEND KEY (Elevations Are in Feet & Inches)**

1.5.1	Interior Ceiling Profile	1.5.2	Interior Wall Profile
1.5.3	Interior Floor Profile	1.5.4	Interior Stair Profile
1.5.5	Interior Door Profile	1.5.6	Interior Window Profile
1.5.7	Interior Wall Profile	1.5.8	Interior Ceiling Profile
1.5.9	Interior Floor Profile	1.5.10	Interior Stair Profile
1.5.11	Interior Door Profile	1.5.12	Interior Window Profile

**Notes to Drawing:** 1. General Notes, see list of abbreviations.

**Dimension Markers:** Local Elevation

**Abbreviations & Symbols:**

- 1.5.1 - 1.5.12: Interior profiles
- 1.5.13: Floor Elevation
- 1.5.14: Wall Type
- 1.5.15: Window Type
- 1.5.16: Floor/Foot Type
- 1.5.17: Door Type
- 1.5.18: Material
- 1.5.19: Finish
- 1.5.20: Finish
- 1.5.21: Finish
- 1.5.22: Finish
- 1.5.23: Finish
- 1.5.24: Finish
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- 1.5.100: Finish

**Notes:**

1. All dimensions are in feet and inches.
2. All dimensions are to the centerline unless otherwise noted.
3. All dimensions are to the finished surface unless otherwise noted.
4. All dimensions are to the centerline unless otherwise noted.
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Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Level 5**

Unless noted & sealed, these drawings are not to be used for approval by an authority or to reliance by a client or third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A2.6

C:\Users\james\OneDrive\Documents\Cornerstone\Projects\2335 St Johns St\2335 St Johns St - Level 5 - DP Application.dwg

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**LEGEND KEY (Elevations Are in Feet & Inches)**

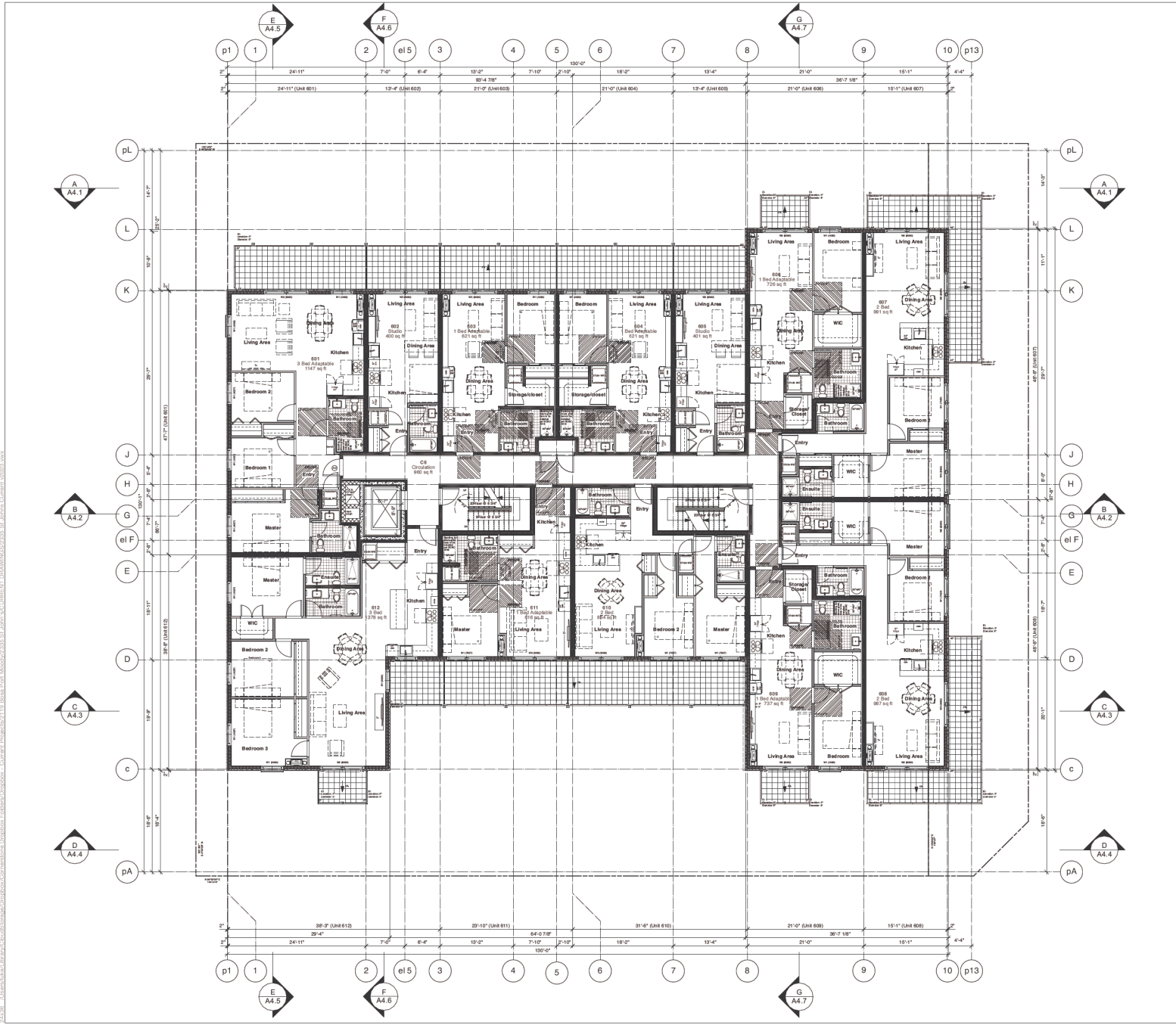
1.5.5	Interior Ceiling Profile	1.5.6	Interior Wall Profile
1.5.6	Interior Wall Profile	1.5.7	Interior Floor Profile
1.5.7	Interior Floor Profile	1.5.8	Interior Stair Profile
1.5.8	Interior Stair Profile	1.5.9	Interior Door Profile
1.5.9	Interior Door Profile	1.5.10	Interior Window Profile
1.5.10	Interior Window Profile	1.5.11	Interior Wall Profile
1.5.11	Interior Wall Profile	1.5.12	Interior Ceiling Profile
1.5.12	Interior Ceiling Profile	1.5.13	Interior Floor Profile
1.5.13	Interior Floor Profile	1.5.14	Interior Stair Profile
1.5.14	Interior Stair Profile	1.5.15	Interior Door Profile
1.5.15	Interior Door Profile	1.5.16	Interior Window Profile
1.5.16	Interior Window Profile	1.5.17	Interior Wall Profile
1.5.17	Interior Wall Profile	1.5.18	Interior Ceiling Profile
1.5.18	Interior Ceiling Profile	1.5.19	Interior Floor Profile
1.5.19	Interior Floor Profile	1.5.20	Interior Stair Profile
1.5.20	Interior Stair Profile	1.5.21	Interior Door Profile
1.5.21	Interior Door Profile	1.5.22	Interior Window Profile
1.5.22	Interior Window Profile	1.5.23	Interior Wall Profile
1.5.23	Interior Wall Profile	1.5.24	Interior Ceiling Profile
1.5.24	Interior Ceiling Profile	1.5.25	Interior Floor Profile
1.5.25	Interior Floor Profile	1.5.26	Interior Stair Profile
1.5.26	Interior Stair Profile	1.5.27	Interior Door Profile
1.5.27	Interior Door Profile	1.5.28	Interior Window Profile
1.5.28	Interior Window Profile	1.5.29	Interior Wall Profile
1.5.29	Interior Wall Profile	1.5.30	Interior Ceiling Profile
1.5.30	Interior Ceiling Profile	1.5.31	Interior Floor Profile
1.5.31	Interior Floor Profile	1.5.32	Interior Stair Profile
1.5.32	Interior Stair Profile	1.5.33	Interior Door Profile
1.5.33	Interior Door Profile	1.5.34	Interior Window Profile
1.5.34	Interior Window Profile	1.5.35	Interior Wall Profile
1.5.35	Interior Wall Profile	1.5.36	Interior Ceiling Profile
1.5.36	Interior Ceiling Profile	1.5.37	Interior Floor Profile
1.5.37	Interior Floor Profile	1.5.38	Interior Stair Profile
1.5.38	Interior Stair Profile	1.5.39	Interior Door Profile
1.5.39	Interior Door Profile	1.5.40	Interior Window Profile
1.5.40	Interior Window Profile	1.5.41	Interior Wall Profile
1.5.41	Interior Wall Profile	1.5.42	Interior Ceiling Profile
1.5.42	Interior Ceiling Profile	1.5.43	Interior Floor Profile
1.5.43	Interior Floor Profile	1.5.44	Interior Stair Profile
1.5.44	Interior Stair Profile	1.5.45	Interior Door Profile
1.5.45	Interior Door Profile	1.5.46	Interior Window Profile
1.5.46	Interior Window Profile	1.5.47	Interior Wall Profile
1.5.47	Interior Wall Profile	1.5.48	Interior Ceiling Profile
1.5.48	Interior Ceiling Profile	1.5.49	Interior Floor Profile
1.5.49	Interior Floor Profile	1.5.50	Interior Stair Profile
1.5.50	Interior Stair Profile	1.5.51	Interior Door Profile
1.5.51	Interior Door Profile	1.5.52	Interior Window Profile
1.5.52	Interior Window Profile	1.5.53	Interior Wall Profile
1.5.53	Interior Wall Profile	1.5.54	Interior Ceiling Profile
1.5.54	Interior Ceiling Profile	1.5.55	Interior Floor Profile
1.5.55	Interior Floor Profile	1.5.56	Interior Stair Profile
1.5.56	Interior Stair Profile	1.5.57	Interior Door Profile
1.5.57	Interior Door Profile	1.5.58	Interior Window Profile
1.5.58	Interior Window Profile	1.5.59	Interior Wall Profile
1.5.59	Interior Wall Profile	1.5.60	Interior Ceiling Profile
1.5.60	Interior Ceiling Profile	1.5.61	Interior Floor Profile
1.5.61	Interior Floor Profile	1.5.62	Interior Stair Profile
1.5.62	Interior Stair Profile	1.5.63	Interior Door Profile
1.5.63	Interior Door Profile	1.5.64	Interior Window Profile
1.5.64	Interior Window Profile	1.5.65	Interior Wall Profile
1.5.65	Interior Wall Profile	1.5.66	Interior Ceiling Profile
1.5.66	Interior Ceiling Profile	1.5.67	Interior Floor Profile
1.5.67	Interior Floor Profile	1.5.68	Interior Stair Profile
1.5.68	Interior Stair Profile	1.5.69	Interior Door Profile
1.5.69	Interior Door Profile	1.5.70	Interior Window Profile
1.5.70	Interior Window Profile	1.5.71	Interior Wall Profile
1.5.71	Interior Wall Profile	1.5.72	Interior Ceiling Profile
1.5.72	Interior Ceiling Profile	1.5.73	Interior Floor Profile
1.5.73	Interior Floor Profile	1.5.74	Interior Stair Profile
1.5.74	Interior Stair Profile	1.5.75	Interior Door Profile
1.5.75	Interior Door Profile	1.5.76	Interior Window Profile
1.5.76	Interior Window Profile	1.5.77	Interior Wall Profile
1.5.77	Interior Wall Profile	1.5.78	Interior Ceiling Profile
1.5.78	Interior Ceiling Profile	1.5.79	Interior Floor Profile
1.5.79	Interior Floor Profile	1.5.80	Interior Stair Profile
1.5.80	Interior Stair Profile	1.5.81	Interior Door Profile
1.5.81	Interior Door Profile	1.5.82	Interior Window Profile
1.5.82	Interior Window Profile	1.5.83	Interior Wall Profile
1.5.83	Interior Wall Profile	1.5.84	Interior Ceiling Profile
1.5.84	Interior Ceiling Profile	1.5.85	Interior Floor Profile
1.5.85	Interior Floor Profile	1.5.86	Interior Stair Profile
1.5.86	Interior Stair Profile	1.5.87	Interior Door Profile
1.5.87	Interior Door Profile	1.5.88	Interior Window Profile
1.5.88	Interior Window Profile	1.5.89	Interior Wall Profile
1.5.89	Interior Wall Profile	1.5.90	Interior Ceiling Profile
1.5.90	Interior Ceiling Profile	1.5.91	Interior Floor Profile
1.5.91	Interior Floor Profile	1.5.92	Interior Stair Profile
1.5.92	Interior Stair Profile	1.5.93	Interior Door Profile
1.5.93	Interior Door Profile	1.5.94	Interior Window Profile
1.5.94	Interior Window Profile	1.5.95	Interior Wall Profile
1.5.95	Interior Wall Profile	1.5.96	Interior Ceiling Profile
1.5.96	Interior Ceiling Profile	1.5.97	Interior Floor Profile
1.5.97	Interior Floor Profile	1.5.98	Interior Stair Profile
1.5.98	Interior Stair Profile	1.5.99	Interior Door Profile
1.5.99	Interior Door Profile	1.5.100	Interior Window Profile

**Notes:**

1. Coordinate all elevations with concrete level of 100.00' (3.05m) unless otherwise noted.
2. All elevations are in feet and inches unless otherwise noted.
3. All dimensions are in feet and inches unless otherwise noted.
4. All dimensions are in feet and inches unless otherwise noted.
5. All dimensions are in feet and inches unless otherwise noted.
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8. All dimensions are in feet and inches unless otherwise noted.
9. All dimensions are in feet and inches unless otherwise noted.
10. All dimensions are in feet and inches unless otherwise noted.
11. The building is to be constructed in accordance with the BC Building Code.
12. The building is to be constructed in accordance with the BC Building Code.
13. The building is to be constructed in accordance with the BC Building Code.
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18. The building is to be constructed in accordance with the BC Building Code.
19. The building is to be constructed in accordance with the BC Building Code.
20. The building is to be constructed in accordance with the BC Building Code.

**General Notes:**

1. All dimensions are in feet and inches unless otherwise noted.
2. All dimensions are in feet and inches unless otherwise noted.
3. All dimensions are in feet and inches unless otherwise noted.
4. All dimensions are in feet and inches unless otherwise noted.
5. All dimensions are in feet and inches unless otherwise noted.
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18. The building is to be constructed in accordance with the BC Building Code.
19. The building is to be constructed in accordance with the BC Building Code.
20. The building is to be constructed in accordance with the BC Building Code.



Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

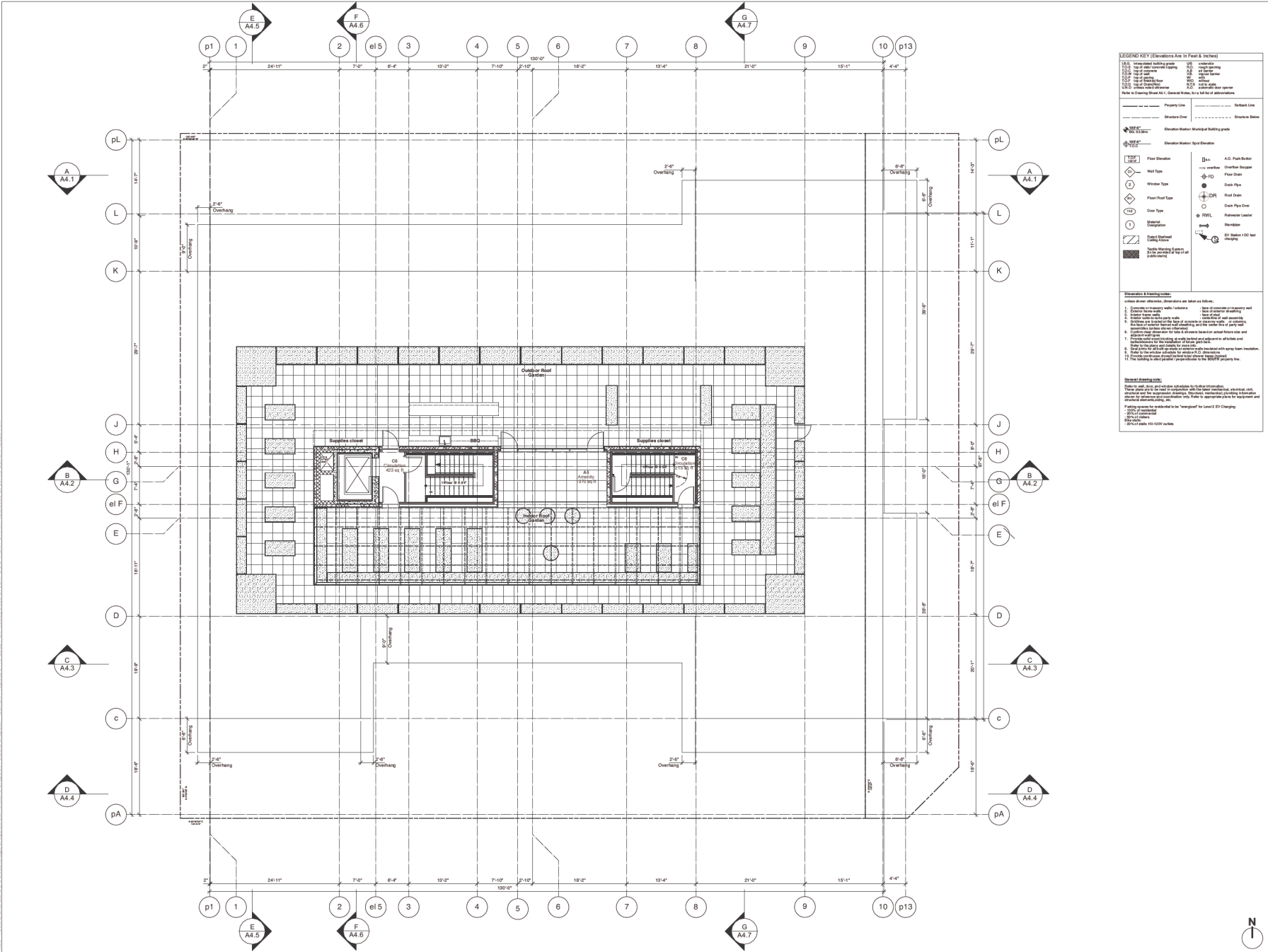
**DRAWING**  
**Level 6**

Unless noted & sealed, these drawings are not to be used for approval by an authority or to reliance by a client or third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)  
**PLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A2.7

C:\Users\james\OneDrive\Documents\Cornerstone\Projects\2335 St Johns St\2335 St Johns St\2335 St Johns St - Level 6 - DP Application.dwg  
 User: james@cornerstone.ca  
 Date: 2023-06-19 10:43:00 AM  
 Plot Date: 2023-06-19 10:43:00 AM  
 Scale: 1/8" = 1'-0"  
 Drawing No: A2.7  
 Project No: 2119  
 Drawing No: A2.7

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**LEGEND KEY (Elevations Are in Feet & Inches)**

1:15	Interior finish grade	1:1	Interior
2:00	Roof deck/insulation/flooring	1:2	Overlapping
2:05	Structural steel	1:4	Structural steel
2:10	Concrete	1:8	Concrete
2:15	Finish floor	1:16	Finish floor
2:20	Finish ceiling	1:32	Finish ceiling
2:25	Finish wall	1:64	Finish wall
2:30	Finish exterior wall	1:128	Finish exterior wall
2:35	Finish exterior floor	1:256	Finish exterior floor

When in Clashing Sheet Call, General Notes, for full set of abbreviations

Property Line	Structure Line
Dimension Marker: Local Elevation	Dimension Marker: Multiple Building grade

**Elevation Marker: Local Elevation**

Floor Elevation	A.O. Park Station
Window Type	Overlaid Stair
Floor/Foot Type	Floor Drain
Door Type	Deck Pipe
Material	Deck Pipe Over
Material Annotation	Railroad Leader
Symbol (Shading) (as per 0-1300) at Part Marking	Shrinkage
	RV Station 1:00 Feet Marking

**Notes & Conditions**

unless shown otherwise, dimensions are given in millimeters

1. Coordinate all drawings with contractor.
2. Conductor of construction shall provide for all necessary wall, ceiling, floor, and window framing.
3. All work shall be done in accordance with the latest editions of the National Building Code of Canada and all applicable standards, codes, and regulations.
4. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
5. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
6. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
7. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
8. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
9. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
10. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
11. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.
12. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.

**General Notes:**

Contractor shall provide for and be responsible for all materials, labor, and equipment, including all necessary permits and approvals, and shall provide for the protection of all existing work. The contractor shall be responsible for obtaining all necessary permits and approvals for this work.

Finishing systems to be installed in the "Designated for Level 10" Changing Room shall be installed in accordance with the following:

- 1. Finishing systems to be installed in the "Designated for Level 10" Changing Room shall be installed in accordance with the following:
- 2. Finishing systems to be installed in the "Designated for Level 10" Changing Room shall be installed in accordance with the following:
- 3. Finishing systems to be installed in the "Designated for Level 10" Changing Room shall be installed in accordance with the following:
- 4. Finishing systems to be installed in the "Designated for Level 10" Changing Room shall be installed in accordance with the following:
- 5. Finishing systems to be installed in the "Designated for Level 10" Changing Room shall be installed in accordance with the following:

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

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**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

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**DRAWING**  
**Roof**

Unless signed & sealed, these drawings are not to be used for approval by an authority or to reliance by a client or third party, including the general public.

**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

<b>PROJECT NO.</b> 2119	<b>DRAWING NO.</b> <b>A2.8</b>
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Prior to commencement of the Work, it is the Contractor's responsibility to review and verify drawing dimensions, details and levels. Discrepancies between information on this drawing and actual site conditions and/or the remaining Contract Documents shall be brought to the attention of the Architect for clarification prior to proceeding with the Work. **DO NOT SCALE THE DRAWINGS.**

**LEGEND KEY (Elevations Are in Feet & Inches)**

1.5.1	1.5.2	1.5.3	1.5.4	1.5.5	1.5.6	1.5.7	1.5.8	1.5.9	1.5.10	1.5.11	1.5.12	1.5.13	1.5.14	1.5.15	1.5.16	1.5.17	1.5.18	1.5.19	1.5.20	1.5.21	1.5.22	1.5.23	1.5.24	1.5.25	1.5.26	1.5.27	1.5.28	1.5.29	1.5.30	1.5.31	1.5.32	1.5.33	1.5.34	1.5.35	1.5.36	1.5.37	1.5.38	1.5.39	1.5.40	1.5.41	1.5.42	1.5.43	1.5.44	1.5.45	1.5.46	1.5.47	1.5.48	1.5.49	1.5.50	1.5.51	1.5.52	1.5.53	1.5.54	1.5.55	1.5.56	1.5.57	1.5.58	1.5.59	1.5.60	1.5.61	1.5.62	1.5.63	1.5.64	1.5.65	1.5.66	1.5.67	1.5.68	1.5.69	1.5.70	1.5.71	1.5.72	1.5.73	1.5.74	1.5.75	1.5.76	1.5.77	1.5.78	1.5.79	1.5.80	1.5.81	1.5.82	1.5.83	1.5.84	1.5.85	1.5.86	1.5.87	1.5.88	1.5.89	1.5.90	1.5.91	1.5.92	1.5.93	1.5.94	1.5.95	1.5.96	1.5.97	1.5.98	1.5.99	1.5.100
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**Notes to Drawing Sheet A4.1, General Notes, see list of abbreviations.**

**Abbreviations & Symbols**

- 1.5.101: Floor Elevation
- 1.5.102: Mill Type
- 1.5.103: Window Type
- 1.5.104: Floor/Foot Type
- 1.5.105: Door Type
- 1.5.106: Material
- 1.5.107: Panel Schedule
- 1.5.108: Note Showing Location of Paneling
- 1.5.109: A.D. Park Sign
- 1.5.110: Overlap Sluice
- 1.5.111: Floor Drain
- 1.5.112: Deck Type
- 1.5.113: Deck Pipe Over
- 1.5.114: Reinforce Leader
- 1.5.115: Skirting
- 1.5.116: 1/2" Station 1:00 Not Shown

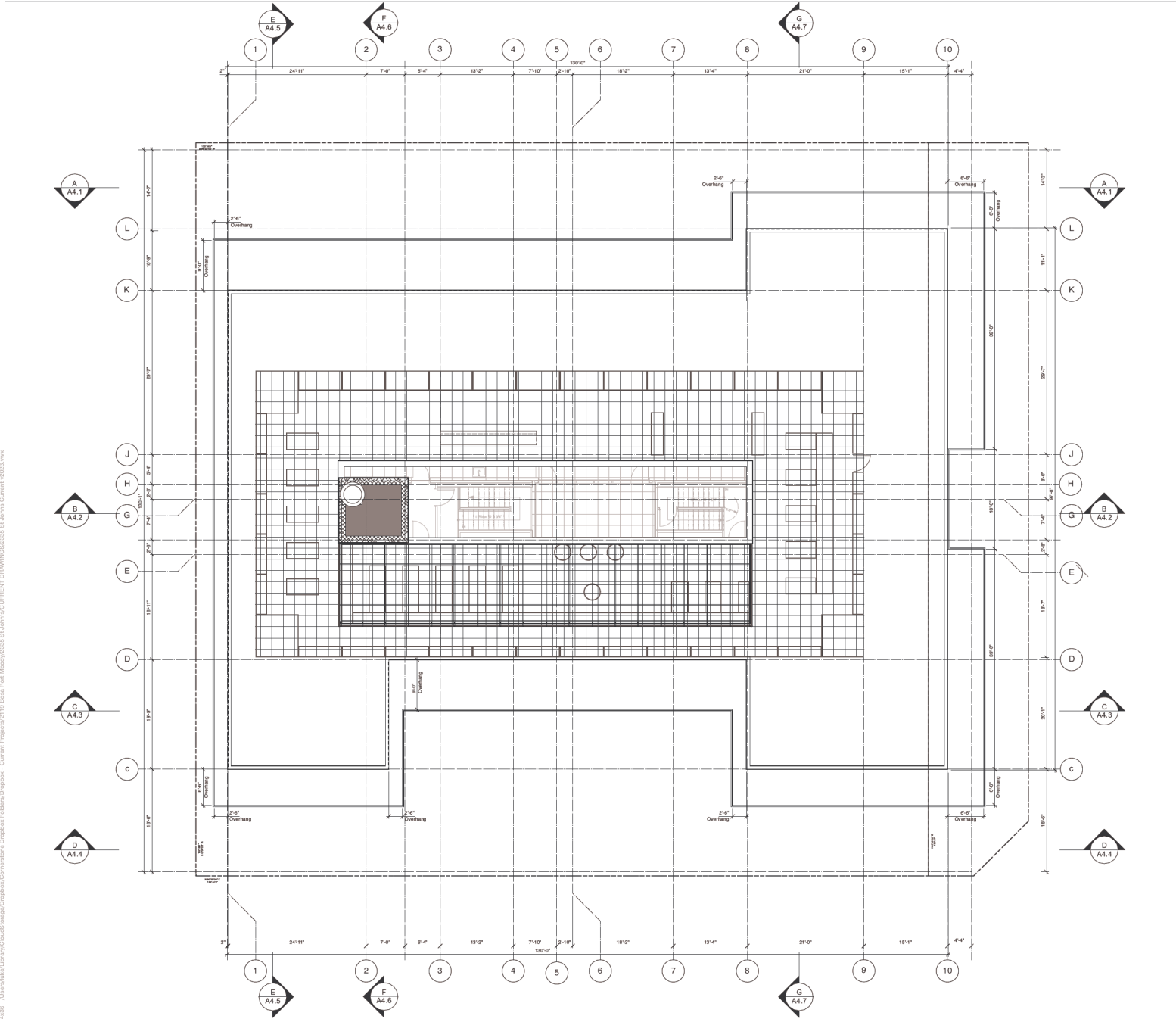
**Notes:**

- 1.5.101: Unless shown otherwise, dimensions are taken as follows:
  - 1.5.101.1: Outside to outside with concrete
  - 1.5.101.2: Inside to inside with masonry
  - 1.5.101.3: Outside to outside with masonry
  - 1.5.101.4: Inside to inside with masonry
  - 1.5.101.5: Outside to outside with masonry
  - 1.5.101.6: Inside to inside with masonry
  - 1.5.101.7: Outside to outside with masonry
  - 1.5.101.8: Inside to inside with masonry
  - 1.5.101.9: Outside to outside with masonry
  - 1.5.101.10: Inside to inside with masonry
  - 1.5.101.11: Outside to outside with masonry
  - 1.5.101.12: Inside to inside with masonry
- 1.5.102: Concrete to concrete with concrete
- 1.5.103: Outside to outside with masonry
- 1.5.104: Outside to outside with masonry
- 1.5.105: Outside to outside with masonry
- 1.5.106: Outside to outside with masonry
- 1.5.107: Outside to outside with masonry
- 1.5.108: Outside to outside with masonry
- 1.5.109: Outside to outside with masonry
- 1.5.110: Outside to outside with masonry
- 1.5.111: Outside to outside with masonry
- 1.5.112: Outside to outside with masonry
- 1.5.113: Outside to outside with masonry
- 1.5.114: Outside to outside with masonry
- 1.5.115: Outside to outside with masonry
- 1.5.116: Outside to outside with masonry

**General Drawing Note:**

Unless noted, all work shall be in accordance with the following information:

- 1.5.117: All work shall be in accordance with the following information:
- 1.5.118: All work shall be in accordance with the following information:
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- 1.5.199: All work shall be in accordance with the following information:
- 1.5.200: All work shall be in accordance with the following information:



Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
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2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Upper Roof**

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**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A2.9

C:\Users\james\OneDrive\Documents\Cornerstone\Projects\2335 St Johns\2335 St Johns\Upper Roof\Upper Roof.dwg  
 User: james\james\OneDrive\Documents\Cornerstone\Projects\2335 St Johns\2335 St Johns\Upper Roof\Upper Roof.dwg  
 Date: 2023-06-19 10:00:00 AM  
 Plot: 2023-06-19 10:00:00 AM  
 Scale: 1/8" = 1'-0"  
 Plot Size: 36" x 48"

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Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

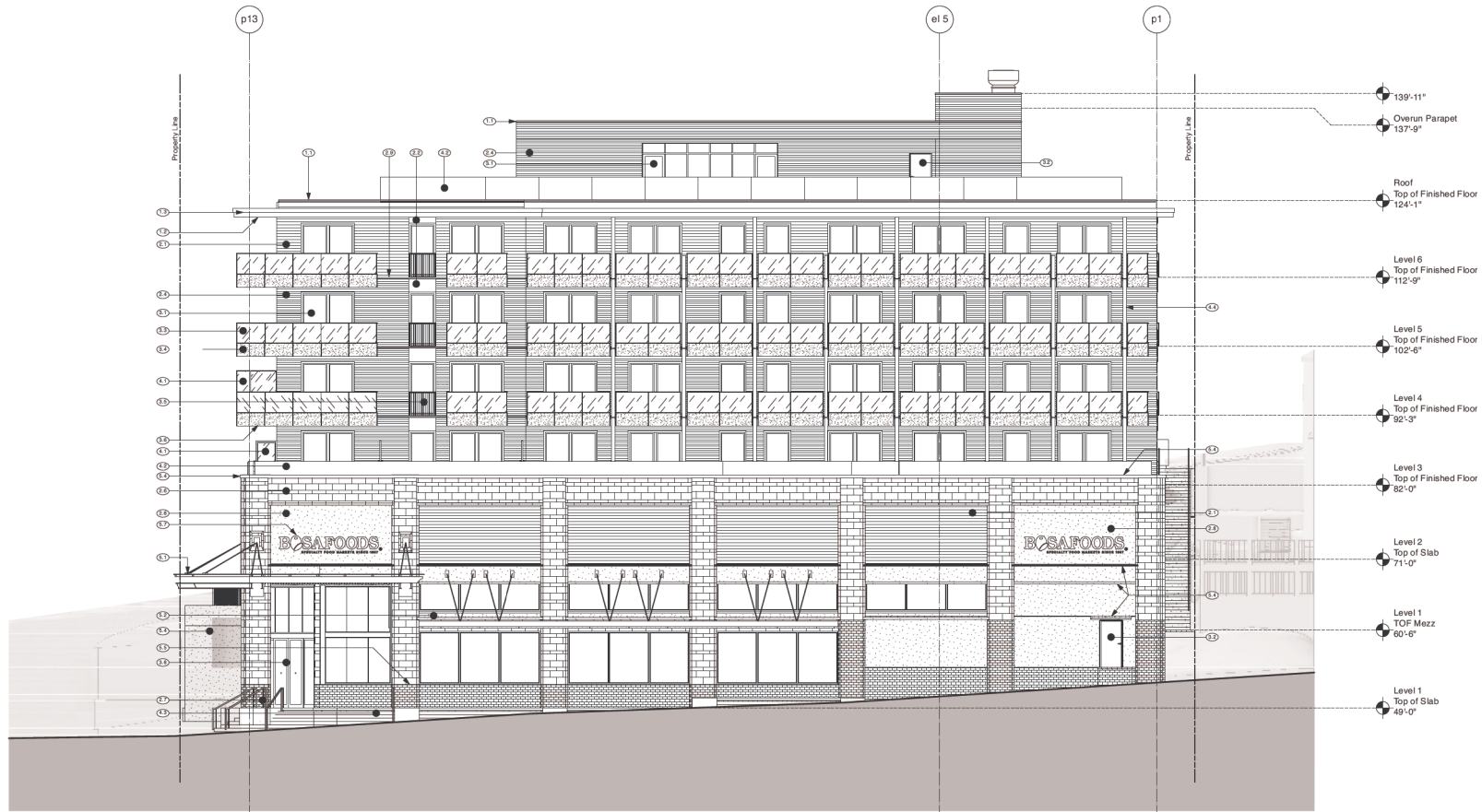
**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**North Elevation**

Unless noted & sealed, these drawings are not to be used for approval by an authority or to reliance by a third party, including the general public.  
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** **A3.1**



**1**  
**A3.1** North Elevation  
Scale: 1/8" = 1'-0"

**Bosa Foods - St. Johns St.**

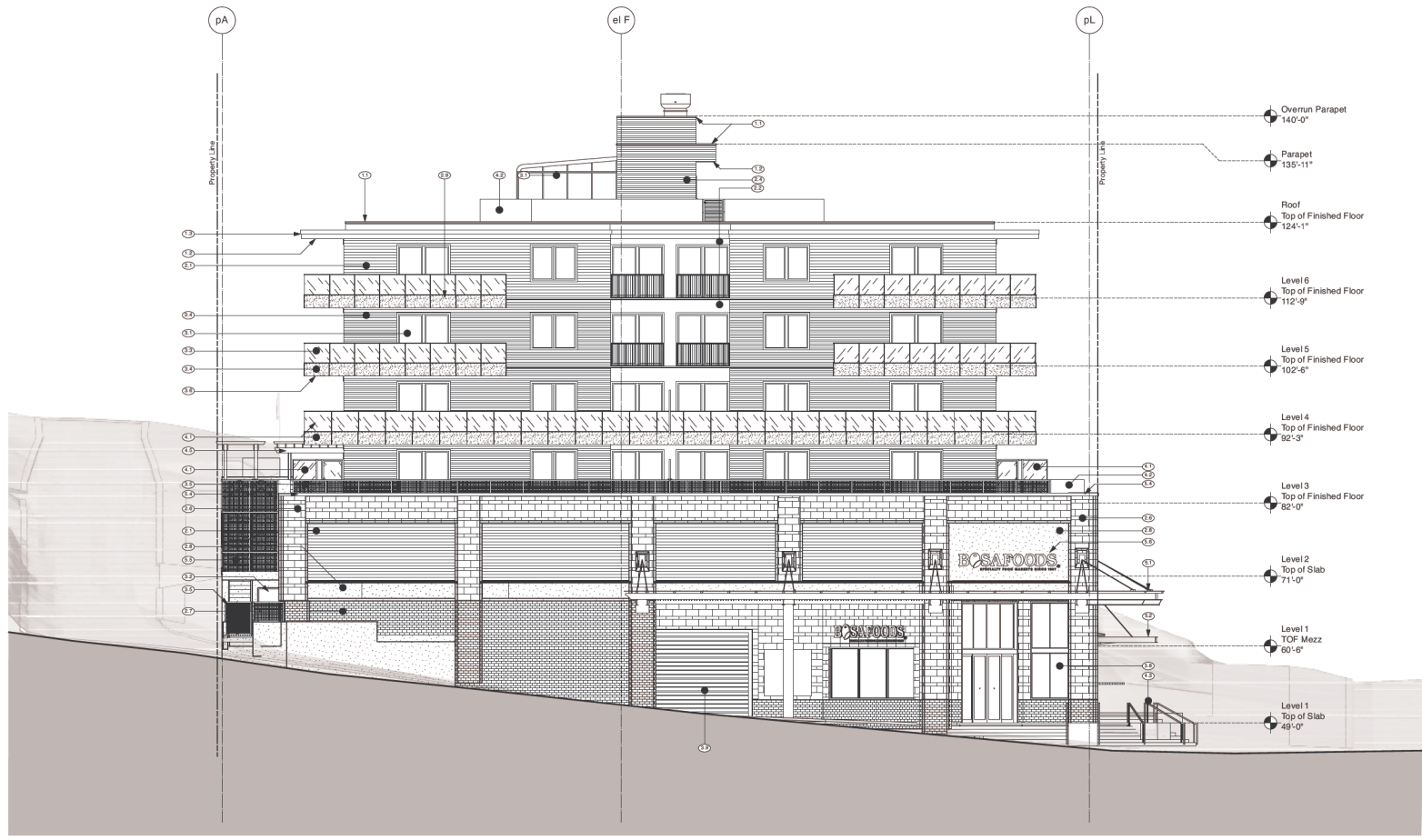
No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet over prefinished metal counter and cap flashing		Iron Ore	
1.2	Metal soffit over slot ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Prefinished metal cap flashing over cement board fascia	James Hardie		Charcoal grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fibre cement panel cladding	James Hardie	Sirocco	Iron Grey
2.3	2x2 wood vertical trims on fibre cement panel cladding	James Hardie	Sirocco	Iron Grey
2.4	Fibre cement horizontal lap siding cladding	James Hardie	Cedamill	Cobble Stone
2.5	2x2 wood vertical trims on fibre cement panel cladding	James Hardie	Cedamill	Cobble Stone
2.6	Architectural stone over glass	Shondice	Tapestry	Desert Sun
2.7	Architectural stone over glass	Shondice	Hook	Light Iron
2.8	Porcelain slab	Daniss	Matt finish	Oxidation
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glassed doors residential			Charcoal Grey
3.2	Printed steel entry door			Iron Grey
3.3	Stanchion glass guardrail system over glass & cap	AFGD trim		Clear
3.4	Stanchion glass guardrail system at base			Iron Grey
3.5	Reseman guardrail			Opaque
3.6	Prefinished metal counter flashing (rascas) low metal soffit & slot ventilation			Iron Ore
3.7	Preinsulated garage door residential			Iron Ore
3.8	Double-glazed aluminium windows & sliding-glassed doors retail			Charcoal Grey
3.9	Preinsulated garage door retail			Iron Grey

**Bosa Foods - St. Johns St.**

No.	Material	Manufacturer	Texture	Colour
4.1	Aluminum screen & glass over opaque glass			Von Grey
4.2	Aluminum planters			Von Grey
4.3	Carbon steel planters			Roar
4.4	Wood columns over metal cladding			Iron Ore
4.5	Heavy timber roof canopy (see restaurant) treated wood low painted (black) metal connectors and flat cap where exposed			
4.6	Square top over architectural canopy wall low clear elastomeric paint or Allen block planters			see landscape
5.1	Wood canopy over glass & cables			Terra Cotta
5.2	Steel canopy over glass & cables			Roar
5.3	Stone retaining wall	Burman Architectures		Roar
5.4	Concrete wall, canopy and decorative	Corobee		Stark Hub
5.5	Aluminum decorative screen			Charcoal Grey
5.6	Decorative greenery system			Aluminum
5.7	Aluminum signage			Aluminum

2/1/2023 10:48 AM / J:\Users\jbutler\OneDrive\Documents\2335 St Johns St\Drawings\1 - North Elevation.dwg - Corner: Project\2335 St Johns St\Drawings\1 - North Elevation.dwg - 2/1/2023 10:48 AM - User: jbutler

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**1**  
A 3.2 East Elevation  
Scale: 1/8" = 1'-0"

Bosa Foods - St. Johns St.				
No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet on prefinished metal counter and cap flashing			Iron Ore
1.2	Metal soffit on roof ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Prefinished metal cap flashing over cement board fascia	James Hardie		Charcoal grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fibre cement panel cladding	James Hardie	Smooth	Iron Grey
2.3	2x2 wood vertical trims on fibre cement panel cladding	James Hardie	Smooth	Iron Grey
2.4	Fibre cement horizontal lap siding cladding	James Hardie	Cedamill	Cobble Stone
2.5	2x2 wood vertical trims on fibre cement panel cladding	James Hardie	Cedamill	Cobble Stone
2.6	Architectural stone on glass	Shondice	Textured	Dark Slate
2.7	Architectural stone on glass	Shondice	Smooth	Light Tan
2.8	Porcelain slab	Daniels	Matt finish	Okaidian
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glass doors residential			Charcoal Grey
3.2	Painted steel entry door			Iron Grey
3.3	Stanchion glass guardrail system on glass & cap	AFGD trim		Clear
3.4	Stanchion glass guardrail system at base			Obsidian
3.5	Recessed quarter			Iron Ore
3.6	Prefinished metal counter flashing (racco) low metal soffit & slot ventilation			Iron Ore
3.7	Prefinished garage roof resospanel			Charcoal Grey
3.8	Double-glazed aluminium windows & sliding-glass doors retail			Charcoal Grey
3.9	Prefinished garage door metal			Iron Grey

Bosa Foods - St. Johns St.				
No.	Material	Manufacturer	Texture	Colour
4.1	Aluminum screen & glass on opaque glass			Iron Grey
4.2	Aluminum planters			Iron Grey
4.3	Corner steel planters			Iron
4.4	Wood column on metal cladding			Iron Ore
4.5	Heavy timber roof canopy tie restraint connectors and flat cap where exposed			
4.6	Square top on rectangular canopy wall low clear elastomeric paint or Allen block planters			3-pane landscape
5.1	Wood canopy on glass & cables			Terra Cotta
5.2	Steel canopy on glass & cables			Iron
5.3	Stone retaining wall	Stoneman Architecture		Iron
5.4	Concrete wall, canopy and decorative holes	Coronete	Stark Hub	Iron
5.5	Aluminum decorative screen			Charcoal Grey
5.6	Decorative greenery system			Aluminum
5.7	Aluminum signage			Aluminum

Num.	YY MM DD	ISSUE / REVISION
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2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
Bosa Foods  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
East Elevation

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**SCALE** 1/8" = 1'-0" (unless noted otherwise)

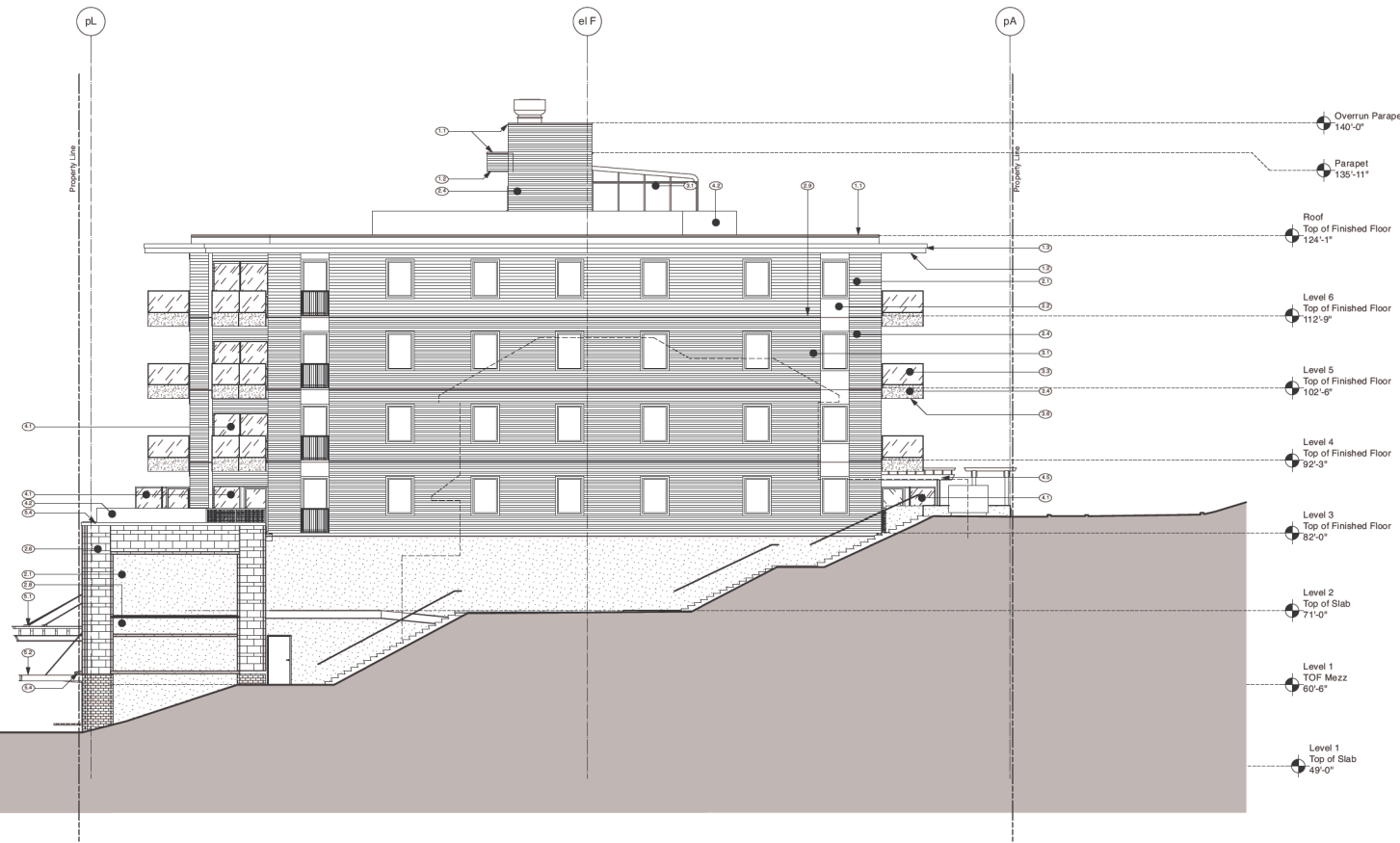
**PLLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A3.2

A3.2 - 2335 St Johns St - Bosa Foods - East Elevation - Cornerstone Architecture - Project: 2335 St Johns St - 2023-06-19



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Issued	By	For
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

Num.	YY MM DD	ISSUE / REVISION

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**West Elevation**

1 West Elevation  
A 3.4 Scale: 1/8" = 1'-0"

No.	Material	Manufacturer	Texture	Colour
1.1	Roof parapet on precast metal counter and cap flashing			Iron Ore
1.2	Metal spout on cast ventilation	Lux metal siding cladding	Wood grains	Pecan
1.3	Preinsulated metal cap flashing over cement board fascia	James Hardie		Charcoal grey
2.1	V-Groove siding	Lux metal siding cladding	Wood grains	Pecan
2.2	Fiber cement panel cladding	James Hardie	Siroloch	Iron Gray
2.3	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Siroloch	Iron Gray
2.4	Fiber cement horizontal lap siding cladding	James Hardie	Cedamill	Cobble Stone
2.5	2x2 wood vertical trims on fiber cement panel cladding	James Hardie	Cedamill	Cobble Stone
2.6	Architectural stone on gable	Shoujodie	Tapistry	Desert Sun
2.7	Precast stone on gable	Shoujodie	Hook	Desert Sun
2.8	Porcelain lap	Daniels	Matt finish	Oxidation
2.9	Through wall flashing			Charcoal Grey
3.1	Double-glazed vinyl windows & sliding-glassed doors residential			Charcoal Grey
3.2	Painted steel entry door			Iron Gray
3.3	Stanchion glass guardrail system on glass & cap	AFGD trim		Clear
3.4	Stanchion glass guardrail system at base			Opaque
3.5	Preinsulated guardrail			Iron Ore
3.6	Preinsulated metal counter flashing (t fascia)			Iron Ore
3.7	Preinsulated garage roof residential			Charcoal Grey
3.8	Double-glazed aluminum windows & sliding-glassed doors retail			Charcoal Grey
3.9	Preinsulated garage door retail			Iron Gray

No.	Material	Manufacturer	Texture	Colour
4.1	Aluminum screen & glass on opaque glass			Vent Gray
4.2	Aluminum planters			Iron Gray
4.3	Carbon steel planters			Black
4.4	Wood columns on metal cladding			Iron Ore
4.5	Heavy timber roof canopy (the restaurant connectors and flat cap where exposed)			
4.6	Square top on rectangular canopy wall (low clear elastomeric paint or Allen block planters)	- see landscape		
5.1	Wood canopy on glass & cables			Terra Cotta
5.2	Steel canopy on glass & cables			Black
5.3	Stone retaining wall	Stoneman Architecture		Black
5.4	Concrete wall, canopy and decorative	Coroneo		Black Hub
5.5	Aluminum decorative screen			Aluminum
5.6	Decorative greenery system			Aluminum
5.7	Aluminum signage			Aluminum

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**SCALE** 1/8" = 1'-0" (unless noted otherwise)

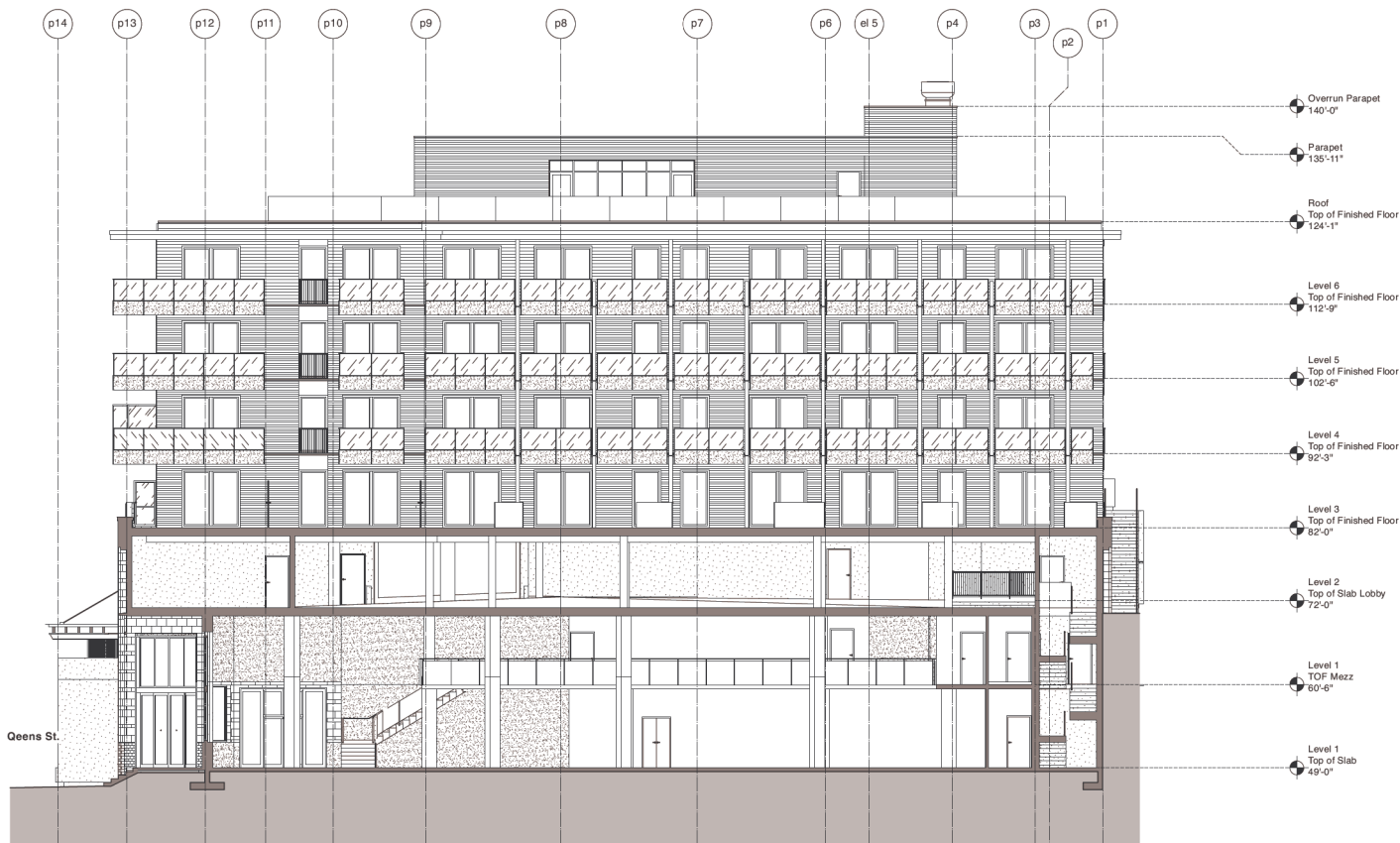
**PLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A3.4

A3.39 - 2335 St. Johns St. - Bosa Foods - West Elevation - 2023-06-19 - 1/8" = 1'-0" - 2023-06-19



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**A** Section A-A  
**A 4.1** Scale: 1/8" = 1'-0"

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
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1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section A-A**

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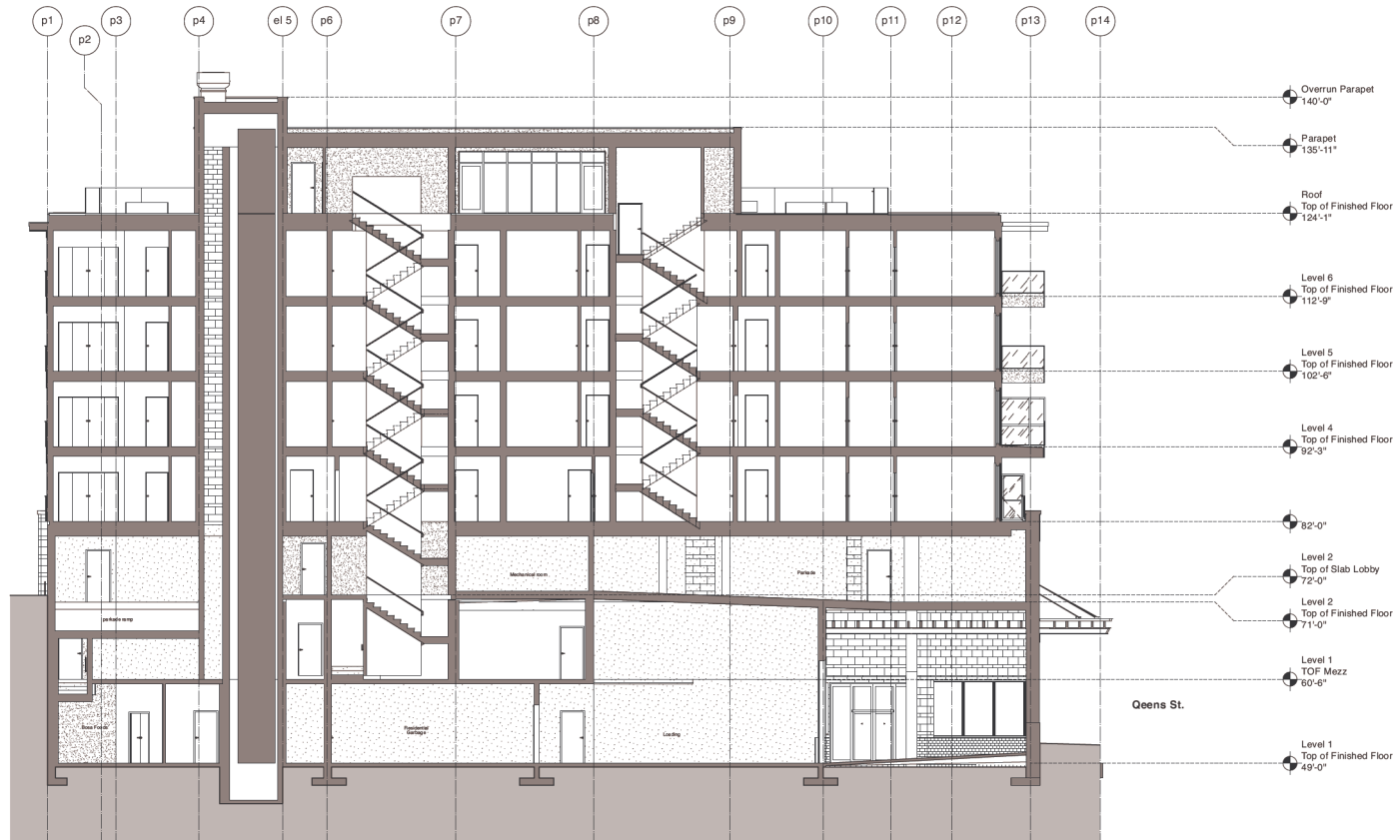
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** **A4.1**

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**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section B-B**

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**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

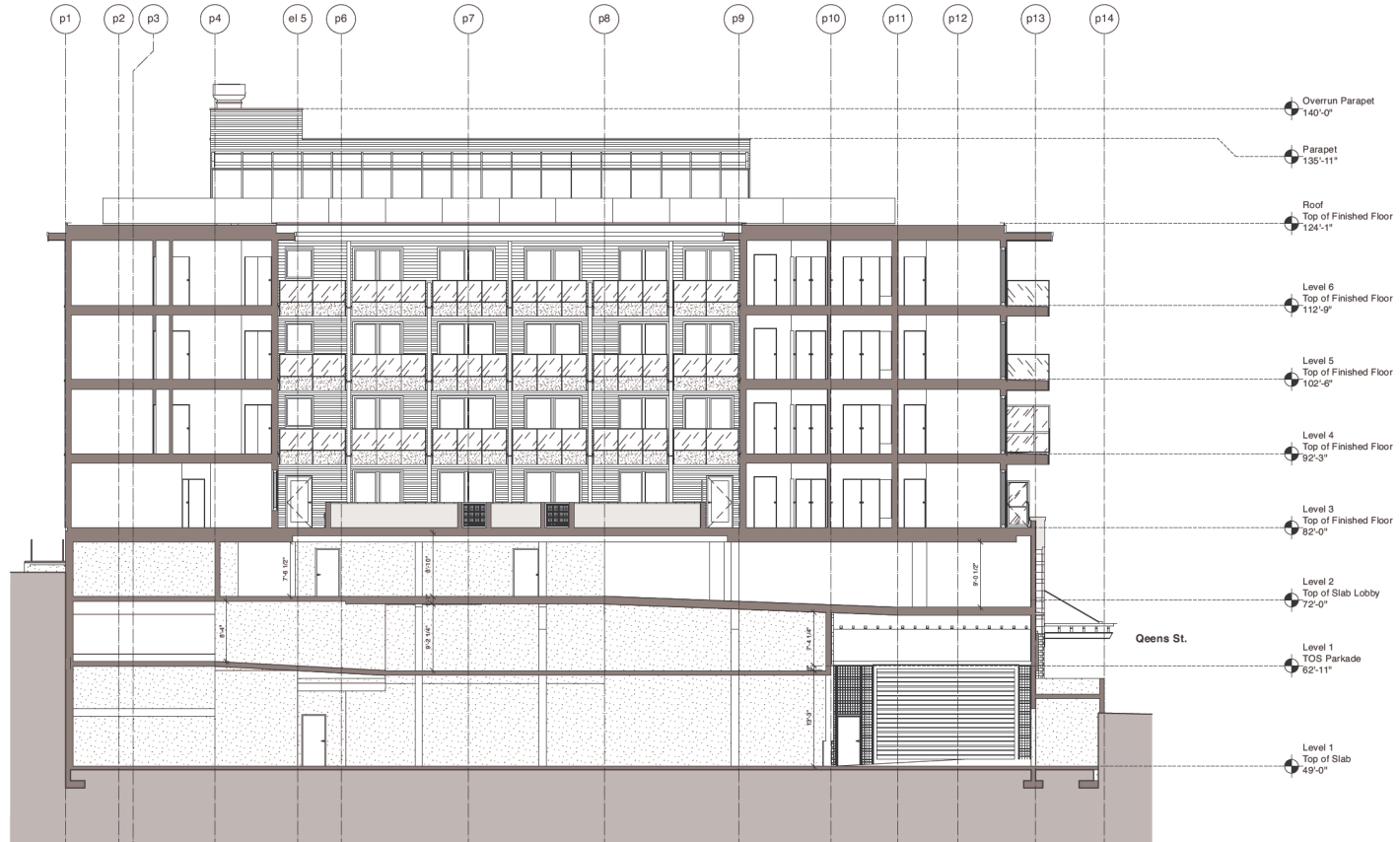
**PROJECT NO.** 2119 **DRAWING NO.** **A4.2**

**B**  
**A-4.2** Section B-B  
Scale: 1/8" = 1'-0"

A4.2B - J:\architectural\Drawings\Bosa Foods\Drawings\02335 St Johns St\02119 Section B-B.rvt - Corner - 23/06/2023 11:14 Bosa Foods\Bosa Foods\Drawings\02335 St Johns St\02119 Section B-B.rvt - Corner - 23/06/2023 11:14 Bosa Foods\Bosa Foods\Drawings\02335 St Johns St\02119 Section B-B.rvt

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**C** Section C-C  
**A 4.3** Scale: 1/8" = 1'-0"

Num.	YY	MM	DD	▲ISSUE / REVISION▼
5	2023	06	19	Issue for DP Application
4	2023	06	05	Issue for Review
3	2023	04	19	Issue for Review
2	2023	11	07	Issue for Preliminary DP Application
1	2023	09	05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section C-C**

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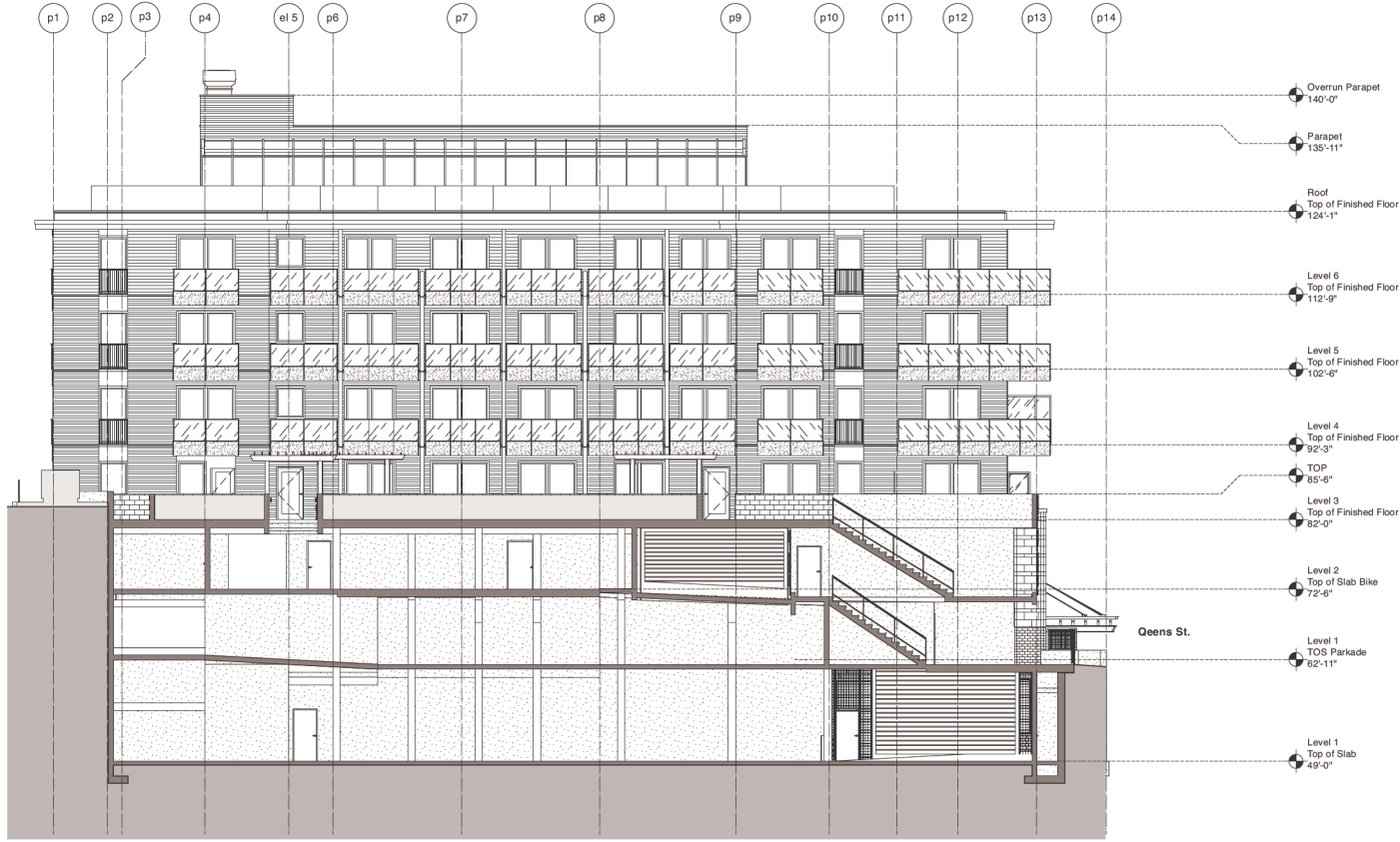
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**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** **A4.3**

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**D** Section D-D  
A 4.4 Scale: 1/8" = 1'-0"

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2023-11-07	Issue for Preliminary DP Application
1	2023-08-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section D-D**

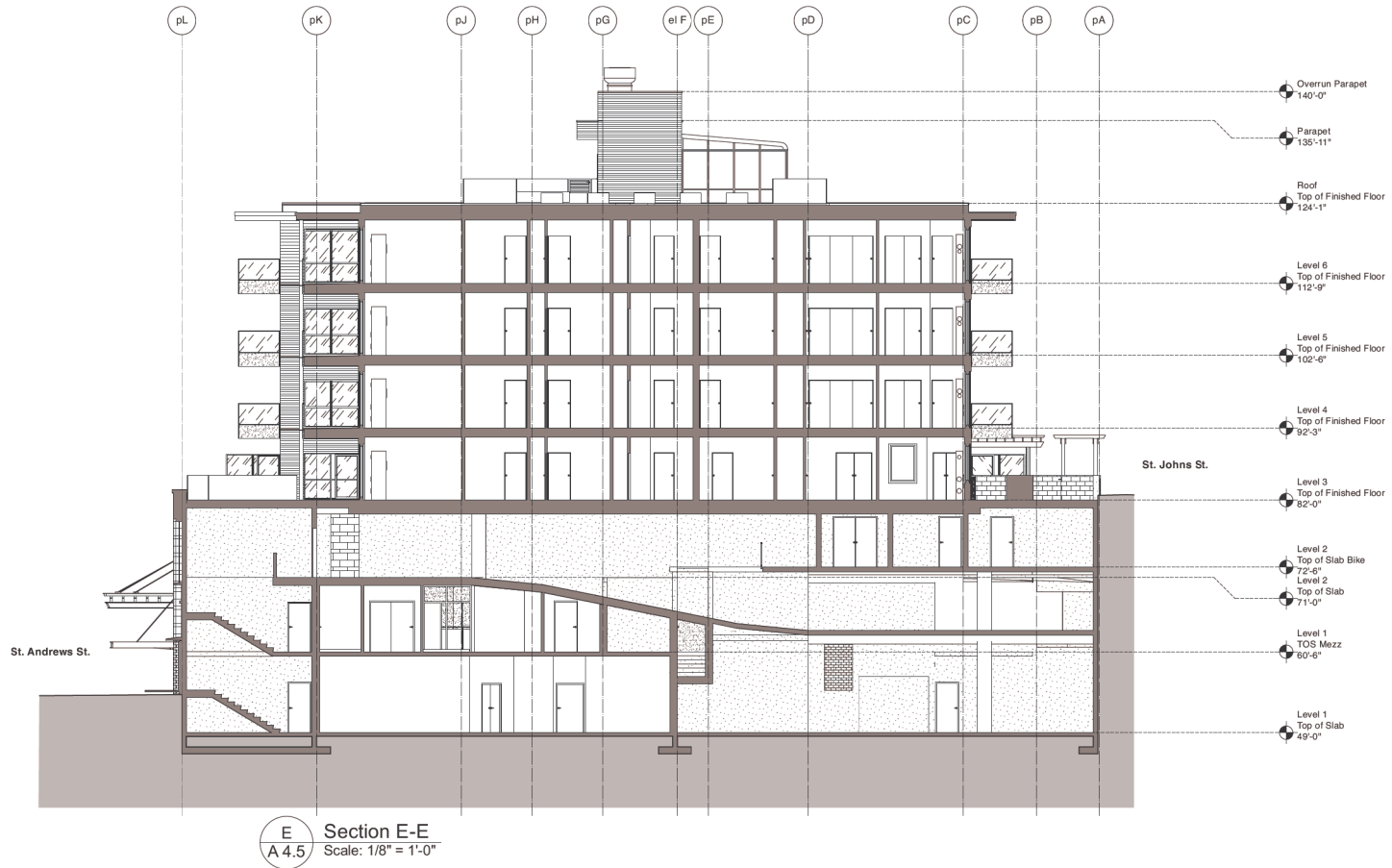
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**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** A4.4

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**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section E-E**

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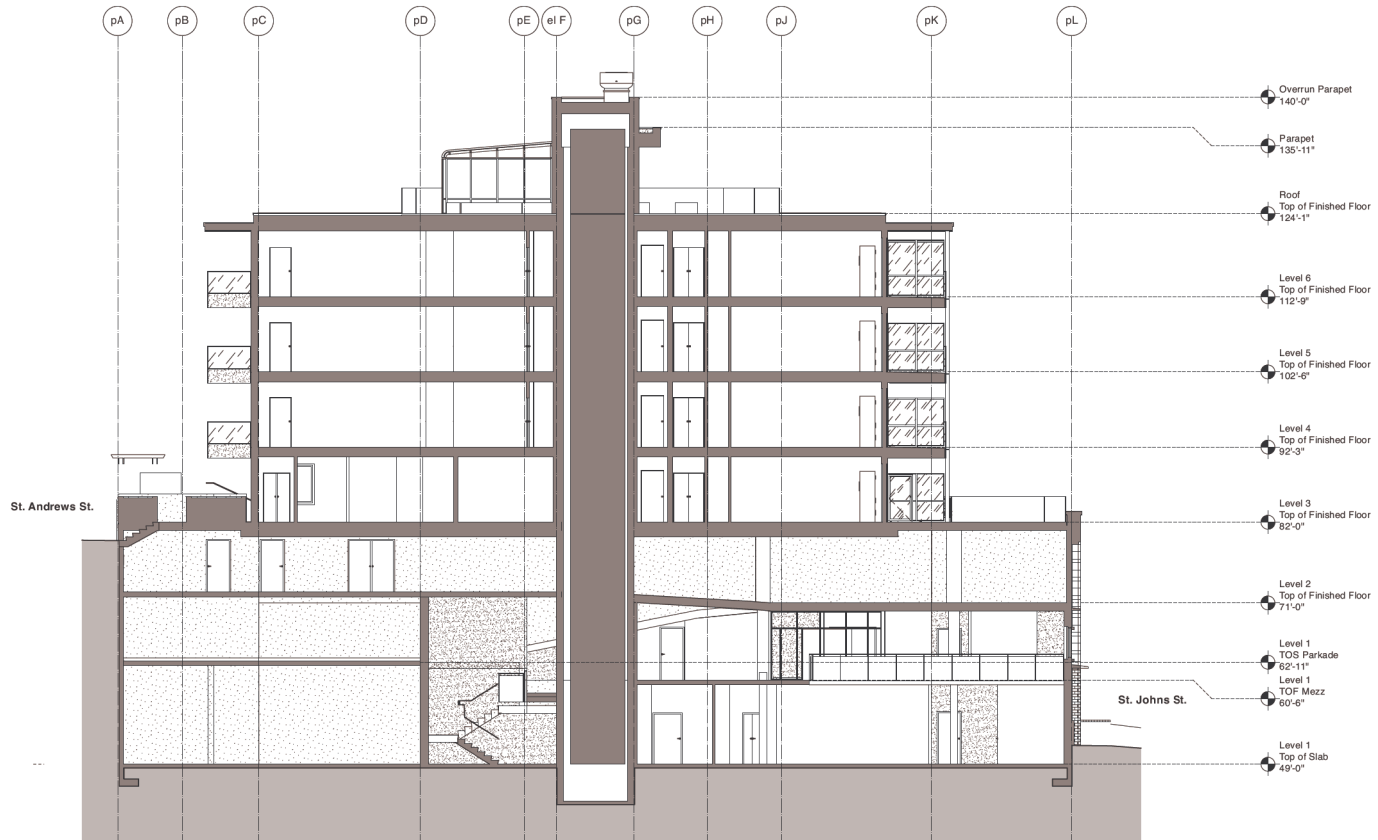
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**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119 **DRAWING NO.** A4.5

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**F** Section F-F  
**A 4.6** Scale: 1/8" = 1'-0"

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
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2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section F-F**

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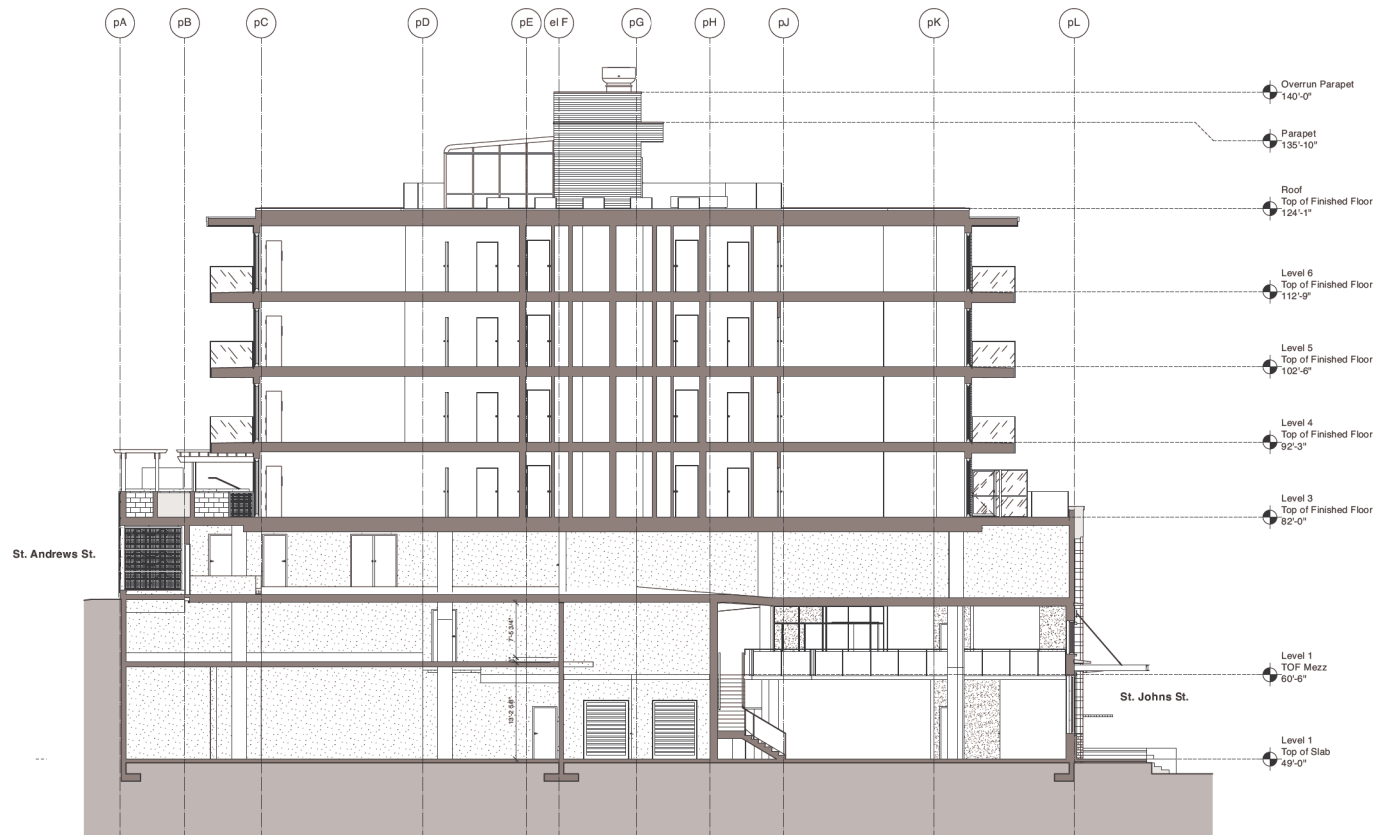
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** **A4.6**

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**G** Section G-G  
**A 4.7** Scale: 1/8" = 1'-0"

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
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2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Building Section G-G**

Unless signed & sealed, these drawings are not to be used for approval by an authority or to reliance by a client or third party, including the general public.

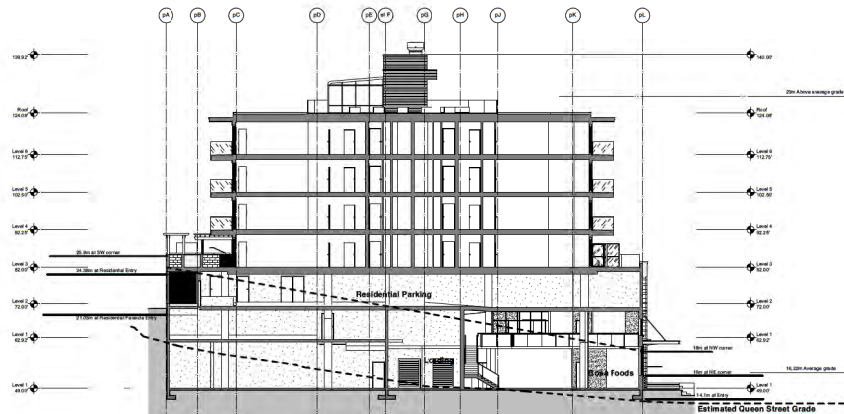
**SCALE** 1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023

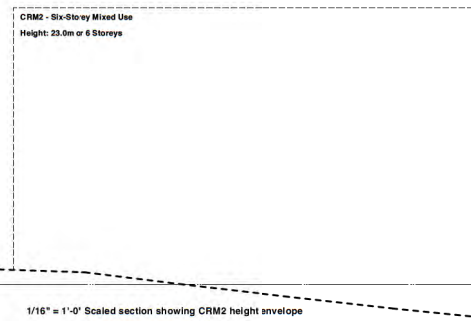
**PROJECT NO.** 2119  
**DRAWING NO.** **A4.7**

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**G** Section G-G  
**A 4.8** Scale: 1/16" = 1'-0"



Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
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2	2022-11-07	Issue for Preliminary DP Application
1	2022-08-05	Issue for Review

PROJECT  
**Bosa Foods**  
2335 St Johns St

BUILDING CODE BCBC 2018  
ZONING RM4, C3  
DEVELOPMENT PERMIT #  
BUILDING PERMIT #

DRAWING  
**Building Section G-G**  
Context

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SCALE 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE Aug 9, 2023

PROJECT NO. **2119** DRAWING NO. **A4.8**







View across the Northwest intersection from the proposed podium level



View towards the West from the proposed level 6 deck



View towards the East from the proposed level 6 deck



View towards the North from the proposed level 6 deck

**CORNERSTONE**  
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Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-06	Issue for Review
3	2023-04-18	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-08-05	Issue for Review

PROJECT  
**Bosa Foods**  
2335 St Johns St

BUILDING CODE: BCBC 2018  
ZONING: RM4, C3  
DEVELOPMENT PERMIT #:   
BUILDING PERMIT #:

DRAWING  
**Site Photos**

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SCALE: 1/8" = 1'-0" (unless noted otherwise)

PLOT DATE: Aug 9, 2023
PROJECT NO. <b>2119</b> DRAWING NO. <b>A6.2</b>

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1 Northeast View  
A 6.3 Scale: 1/4" = 1'-0"



2 Southeast View  
A 6.3 Scale: 1/4" = 1'-0"

Num.	YY MM DD	ISSUE / REVISION
5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Perspective view**

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**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** A6.3



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1  
A6.5 Main Entry View  
Scale: 3/16" = 1'-0"



2  
A6.5 Retail Parking Entry  
Scale: 3/16" = 1'-0"

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5	2023-06-19	Issue for DP Application
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1	2022-09-05	Issue for Review

**PROJECT**  
**Bosa Foods**  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Perspective view**

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**SCALE**  
1/8" = 1'-0" (unless noted otherwise)

**PLOT DATE** Aug 9, 2023  
**PROJECT NO.** 2119  
**DRAWING NO.** A6.5

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1  
A 6.5  
Birds Eye View  
Scale: 1/16" = 1'-0"

5	2023-06-19	Issue for DP Application
4	2023-06-05	Issue for Review
3	2023-04-19	Issue for Review
2	2022-11-07	Issue for Preliminary DP Application
1	2022-09-05	Issue for Review
Num. YY MM DD		▲ISSUE / REVISION ▼

**PROJECT**  
Bosa Foods  
2335 St Johns St

**BUILDING CODE** BCBC 2018  
**ZONING** RM4, C3  
**DEVELOPMENT PERMIT #**  
**BUILDING PERMIT #**

**DRAWING**  
**Perspective View**

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**PLOT DATE** Aug 9, 2023

**PROJECT NO.** 2119  
**DRAWING NO.** A6.6

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