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OCP AMENDMENT & REZONING

AVENIR PORT MOODY

2500 Block St. George Street Port Moody BC

1 OCP AMENDMENT & REZONING			2023-08-21
NO.	ISSUE/REVISION	DATE	

PROJECT NO.	DRAWN	CHECKED
224-127	RA	MC

DRAWING NO.	REVISION NO.
RZ0.00	1



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1 OCP AMENDMENT & REZONING 2023-03-21
NO ISSUE/REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE
PROJECT DATA

DRAWING NO. 221-127 DRAWN Author CHECKED Checker

REVISION NO. **RZ0.10**



PROJECT INFORMATION

PROJECT NAME	KYLE PARK SENIOR LIVING		
CIVIC ADDRESS	123-129 MARY STREET & 2505, 2509, 2513, 2517 ST. GEORGE STREET PORT MOODY V3H 2G6		
LEGAL DESCRIPTION	LT 7, 8, 9, 10, BLK 22, PL. NWP72, DL 201, NWD LT 64, BLK 22, PL. S6631, DL 201, NWD		
ZONING	RS-1 & RM-4		
CURRENT ZONING	CD		
PROPOSED ZONING	DPA-2 & DPA-5		
OCP DEVELOPMENT PERMIT AREA			
HEIGHT			
MAXIMUM STORIES PROPOSED	15		
MAXIMUM HEIGHT PROPOSED	48.1 M (157.8 FT)		
SETBACKS	PROPOSED		
NORTH	4.0 M (13.1 FT)		
EAST	7.0 M (23.0 FT)		
SOUTH	4.0 M (13.1 FT)		
WEST	4.0 M (13.1 FT)		
SITE			
SITE DIMENSIONS	95.7 M (314.0 FT) x 40.2 M (131.9 FT)		
SITE AREA (GROSS)	3850 SM (4144 SF)		
FLOOR SPACE RATIO (FSR)			
GFA ABOVE GRADE	17179 SM (184917 SF)		
FSR	4.46		
FSR CONDO / LEASE UNITS	2.65		
SITE COVERAGE	77%		
AMENITY SPACE			
OUTDOOR	1040 SM (11199 SF)		
INDOOR	2375 SM (25560 SF)		

UNIT COUNT

Unit Count (Raised Parking)										
Level	CC	IL-1B	IL-1B+	IL-2B	IL-2B+	R-1B	R-2B	R-2B+	Total	
1									0	
2	24								24	
3	24	5	2	1					32	
4		16	3	5					24	
5		16	3	5					24	
6									0	
7		5	4	2					11	
8		5	4	2					11	
9		5	4	2					11	
10		5	4	2					11	
11						5	4	2	11	
12						6		4	10	
13						6		4	10	
14						5		2	9	
15									6	
Subtotal	48	57	24	19	0	22	4	12	8	194
	48			100				46		

OFF-STREET PARKING

RESIDENTIAL PARKING				
	# Units		Proposed Ratio	Provided
Community Care				
STUDIO	48	0.00 Spaces Per Unit	0 Spaces Required	
VISITOR		0.20 Spaces Per Unit	10 Spaces Required	
STAFF		0.25 Spaces Per Unit	12 Spaces Required	
TOTAL ACCESSIBLE			22 Spaces Required	2 Spaces Provided
Apartment Rental				
1-2 BED	100	0.35 Spaces Per Unit	35 Spaces Required	
VISITOR		0.10 Spaces Per Unit	10 Spaces Required	
STAFF		0.05 Spaces Per Unit	5 Spaces Required	
TOTAL ACCESSIBLE			50 Spaces Required	2 Spaces Provided
Apartment Ownership				
1 BED	26	0.92 Spaces Per Unit	24 Spaces Required	
2 BED	20	1.32 Spaces Per Unit	26 Spaces Required	
VISITOR	46	0.10 Spaces Per Unit	5 Spaces Required	
TOTAL ACCESSIBLE			55 Spaces Required	1 Spaces Provided
SUMMARY				
Resident Parking				
Standard				69 Spaces Provided
Accessible				8 Spaces Provided
Small			40% max of total parking	32 Spaces Provided
Subtotal			34 Spaces Max	
			85 Spaces Required	
Visitor			24 Spaces Required	127 Spaces Provided
Staff			17	
TOTAL PARKING COUNT			127 Spaces Required	
PARKING DIMENSIONS				
Required (Width x Length x Height)				
Standard Space				
2.6 M (8.53 FT) x 5.6 M (18.37 FT) x 2.1 M (6.89 FT)				
Small Cars				
2.3 M (8.53 FT) x 5.1 M (16.73 FT) x 2.1 M (6.89 FT)				
Loading				
3.0 M (9.8 FT) x 9.2 M (30 FT) x 4.3 M (14.1 FT)				
Accessible				
3.7 M (12.14 FT) x 5.6 M (18.37 FT) x 2.1 M (6.89 FT)				

SCOOTER / BICYCLE PARKING

SCOOTER STALLS	20
LONG TERM BICYCLE STALLS (LARGE)	15
SHORT TERM BICYCLE STALLS	12
TOTAL	47 STALLS

DRAWING LIST:

RZ0.00	COVER PAGE
RZ0.10	PROJECT DATA
RZ0.20	SITE CONTEXT
RZ0.30	SITE PHOTOGRAPHS
RZ0.31	SHADOW STUDY
RZ0.43	3D RENDERING
RZ1.00	SITE SURVEY
RZ1.01	SITE PLAN (WITH SURVEY DATA)
RZ1.10	SITE PLAN (NO SURVEY DATA)
RZ1.11	SITE PLAN - EXISTING GRADE RELATIVE TO P2
RZ2.0A	FULL FLOOR PLAN - LEVEL P2
RZ2.01	FULL FLOOR PLAN - LEVEL 01 & P1
RZ2.02	FULL FLOOR PLAN - LEVEL 02
RZ2.03	FULL FLOOR PLAN - LEVEL 03
RZ2.04	FULL FLOOR PLAN - LEVEL 04 - 05
RZ2.06	FULL FLOOR PLAN - LEVEL 06
RZ2.07	FULL FLOOR PLAN - LEVEL 07-13
RZ2.14	FULL FLOOR PLAN - LEVEL 14-15
RZ3.00	BUILDING ELEVATIONS - NORTH
RZ3.01	BUILDING ELEVATIONS - SOUTH
RZ3.02	BUILDING ELEVATIONS - WEST
RZ3.03	BUILDING ELEVATIONS - EAST
RZ4.00	BUILDING SECTION
RZ4.01	BUILDING SECTION

PROJECT TEAM:

CLIENT
AVENIR SENIOR LIVING
7105 D. W. BLANCH ROAD
BRENTWOOD BAY, BC V8M 1P7
JASON CRAY
250-880-6767

ARCHITECTURAL
ZEIDLER ARCHITECTURE
1981 MAIN STREET
VANCOUVER, BC V5T 3C1
MARCOS HU
778-638-9959

LANDSCAPE
PMO LANDSCAPE ARCHITECTS
4188 STILL CREEK DR C100
BURNABY, BC V5C 6G9
MARY CHANYIP
604-294-0011

CIVIL
LANDMARK ENGINEERING & PLANNING LTD.
3030 LINCOLN AVE # 228
COQUITLAM, BC V8B 6B4
GRAHAM WATSON
604-357-3541

TRAFFIC
WATT CONSULTING GROUP
625 HOMER ST # 380
VANCOUVER, BC V6B 2W2
JEEHAN ISLAM
778-229-2396

GEOTECHNICAL
METRO TESTING + ENGINEERING
6741 CARIBOO RD #401
BURNABY, BC V3N 4A3
MONTY ISLAM
604-830-7914

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NO.	ISSUE/ REVISION	DATE

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PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

SITE CONTEXT

PROJECT NO.	DRAWN	CHECKED
221-127	Author	Checker

DRAWING NO. **RZ0.20** REVISION NO. 



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PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

SITE PHOTOGRAPHS

PROJECT NO.	DRAWN	CHECKED
221-127	Author	Checker

DRAWING NO. **RZ0.30** REVISION NO. 

2506

2505

251C

2514

2518

250€

A photograph of a single-story white house with a grey roof and a small front porch, situated on a grassy lot with a driveway and surrounded by trees and other houses.

2513

A photograph of a two-story house with a white upper half and a dark grey lower half, featuring a large evergreen tree in the front yard and a white car parked on the driveway.

2517

A photograph of a traditional Japanese house with a dark tiled roof and a wooden fence, surrounded by trees and a clear blue sky. The house is partially obscured by a tall wooden fence and lush green trees. In the background, other houses and distant mountains are visible under a clear blue sky. The foreground shows a gravel driveway and some small plants.

2601 (C)

125-129 (D)



195 (E)

A photograph of Kyle Park, showing a grassy area with trees and a sign that reads "Kyle Park". The sign is blue with white text and is mounted on two wooden posts. The park is surrounded by lush green trees and a clear blue sky. In the foreground, there is a paved path and a small sign that reads "Kyle Park".

Kyle Park



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PROJECT
AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE
SHADOW STUDY

PROJECT NO. 221-127 DRAWN Author CHECKED Checker

DRAWING NO. **RZ0.31** REVISION NO. 1

SUMMER SOLSTICE: JUNE 21

EQUINOX: SEPTEMBER 22 / MARCH 21

WINTER SOLSTICE: DECEMBER 21

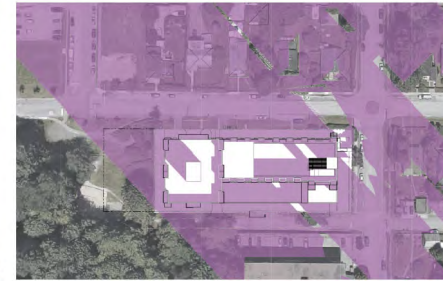
9AM



9AM



9AM



12PM



12PM



12PM



3PM



3PM



3PM



5PM





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TITLE

3D RENDERING

PROJECT NO.	DRAWN	CHECKED
224-127	SC	JB

DRAWING NO.	REVISION NO.
RZ0.43	1



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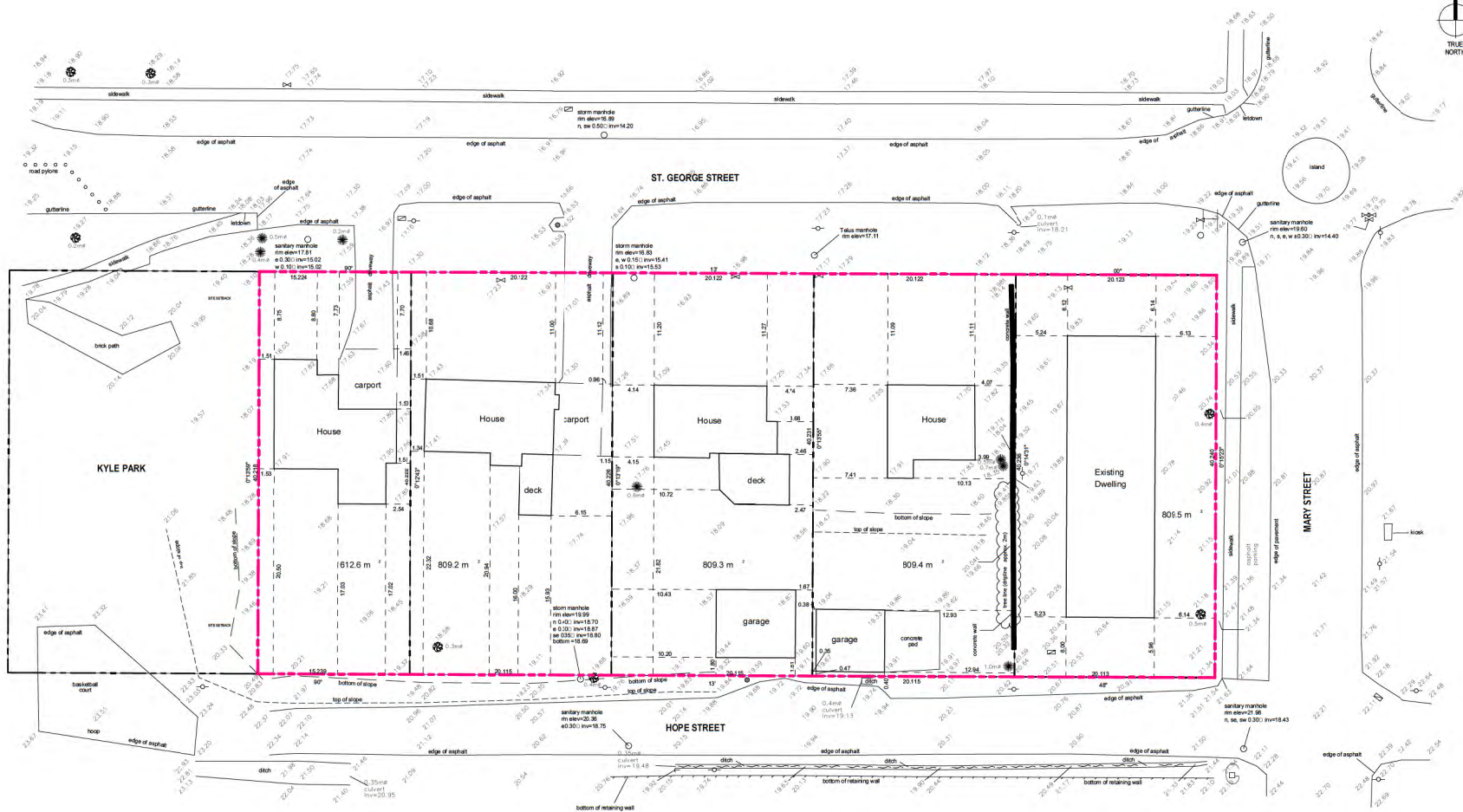
PROJECT
AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE
SITE SURVEY

PROJECT NO. 223-127 DRAWN SC CHECKED JB

DRAWING NO. **RZ1.00** REVISION NO. 1




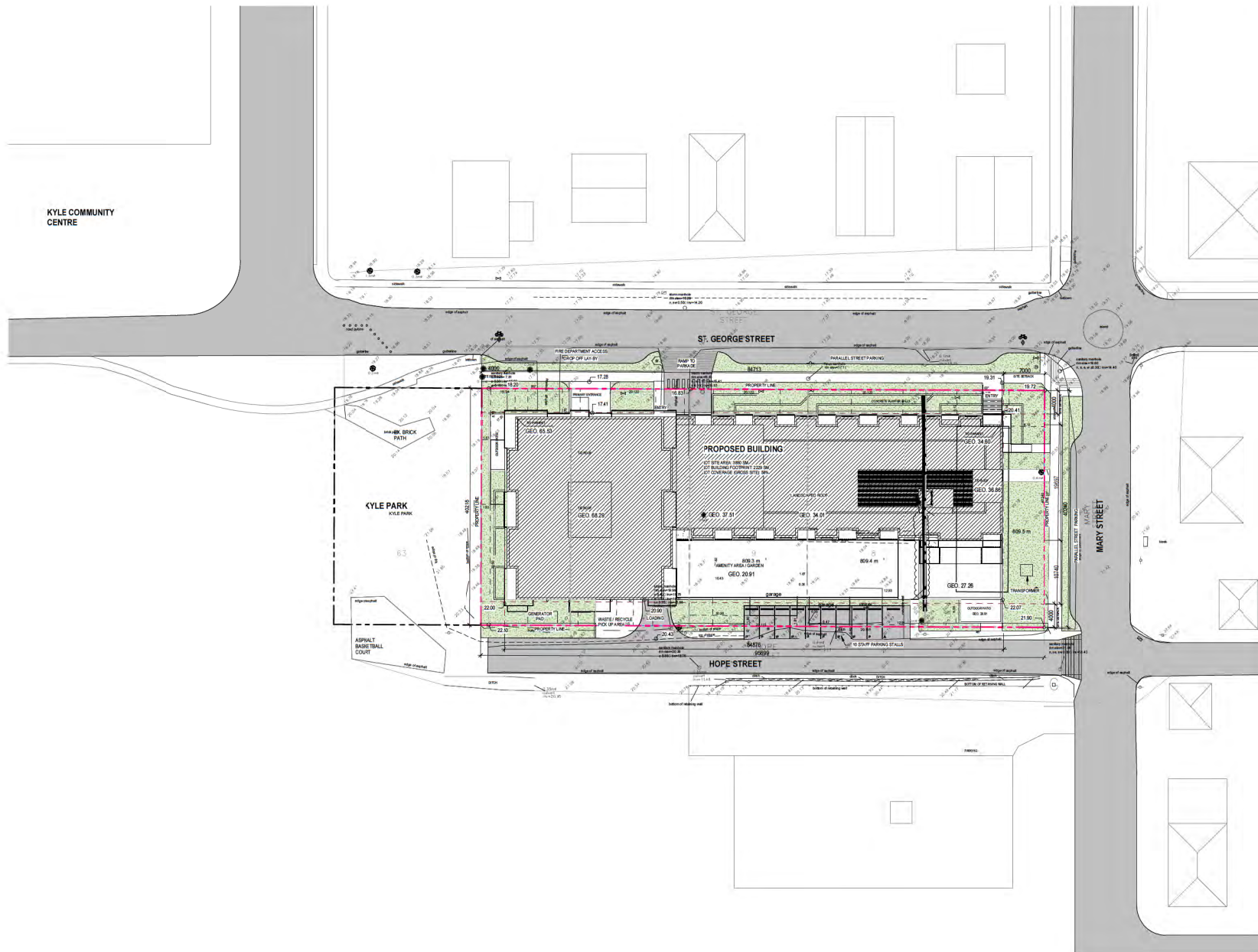
1 SITE PLAN
SCALE: 1:200

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DRAWING NO. **RZ1.01** REVISION NO. 

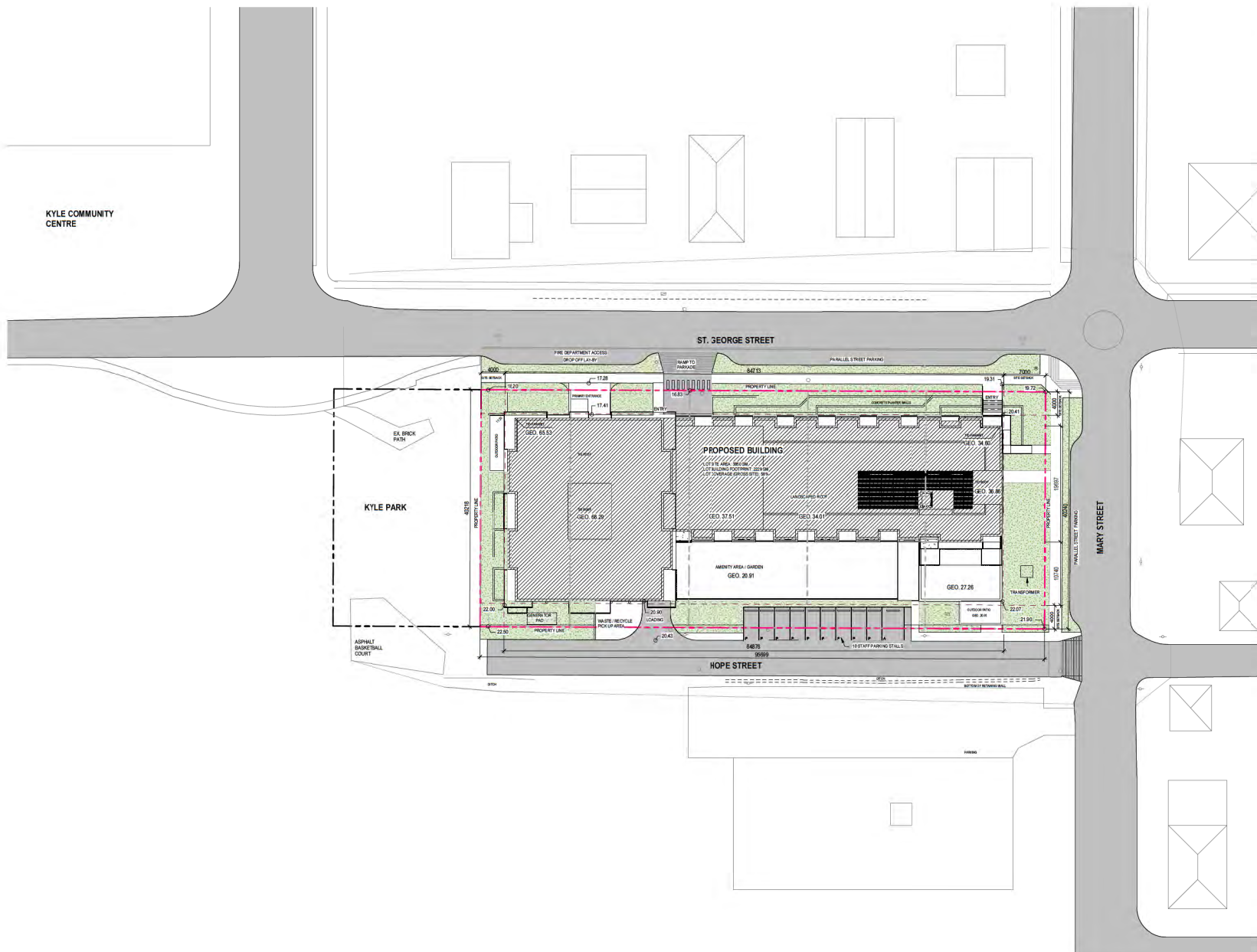


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2500 Block St. George Street Port Moody BC

TITLE

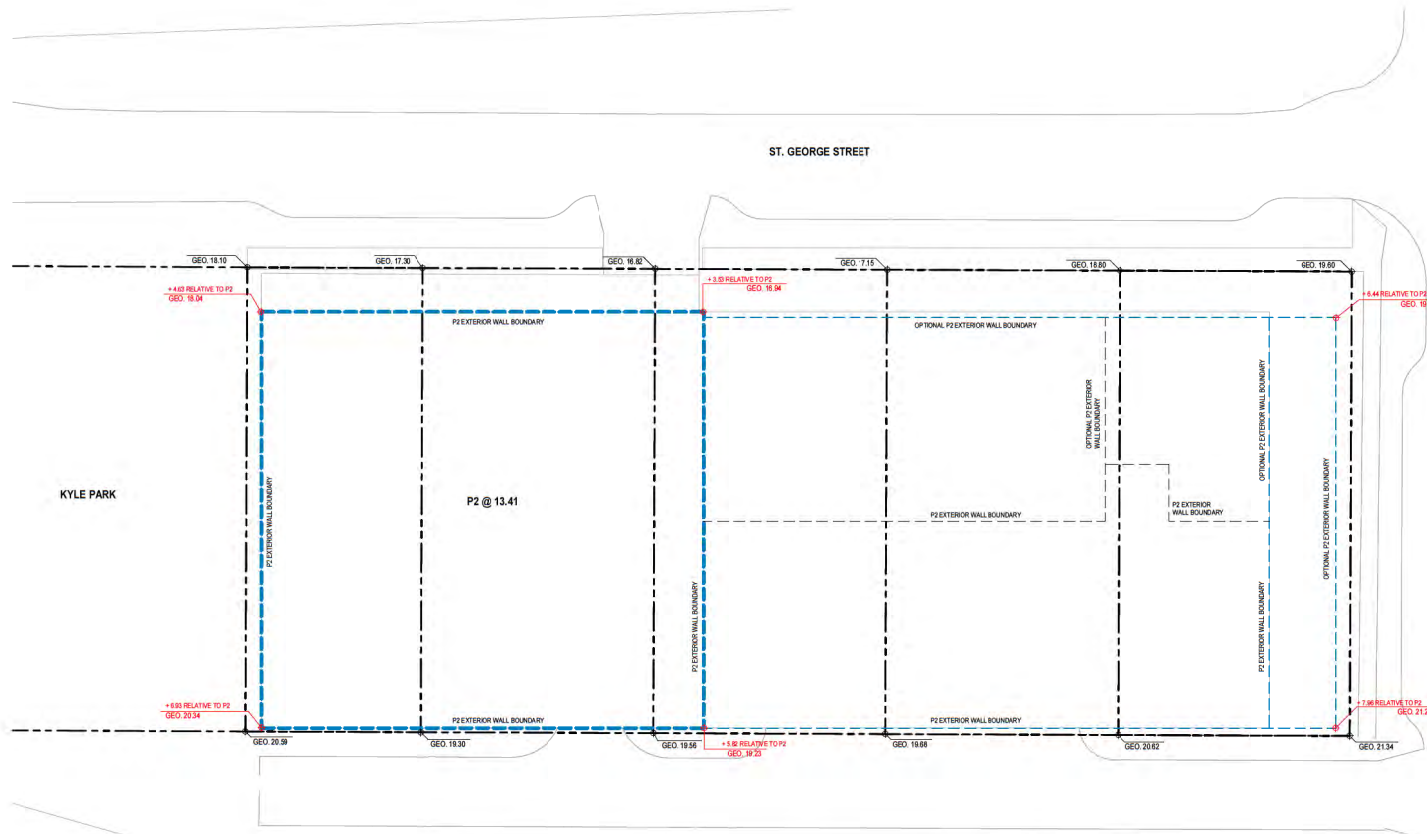
**SITE PLAN - EXISTING
GRADE RELATIVE TO
P2**

PROJECT NO.	DRAWN	CHECKED
225-127	RA	JB

DRAWING NO.	REVISION NO.
-------------	--------------

RZ1.11

1



GRADING PLAN - EXISTING GRADING RELATIVE
TO P2

1
RZ1.11
SCALE: 1:200

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AVENIR PORT MOODY

**FULL FLOOR PLAN -
LEVEL P2**

RZ2.00A

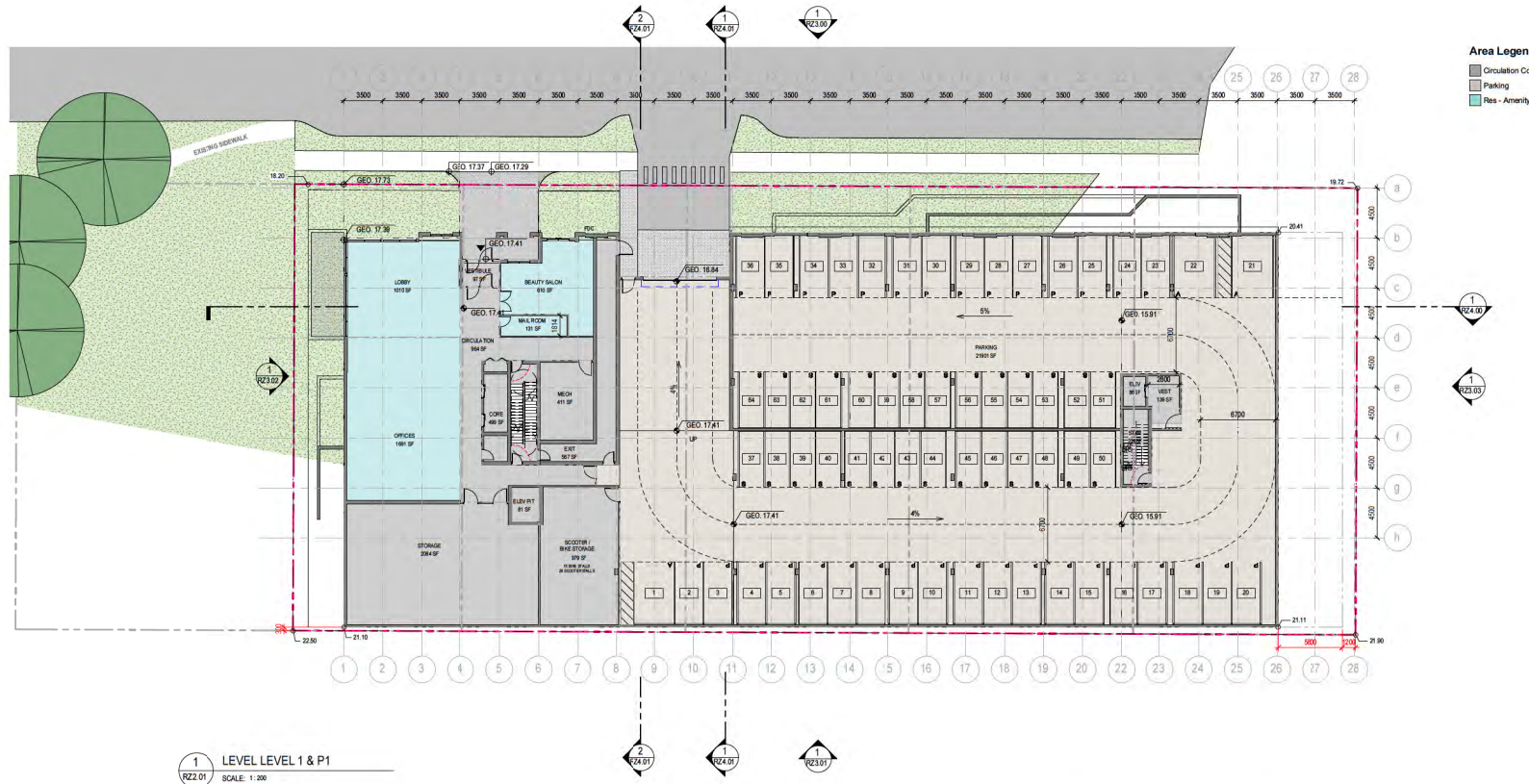


Standard Size Parking	66 Stalls
Small Size Parking	52 Stalls
Accessible Parking	<u>6 Stalls</u> 12' Stalls
Scooter	20 Stalls
Long Term Bicycle	15 Stalls
Short Term Bicycle	<u>12 Stalls</u> 47 Stalls

P Standard Size Parking

S Small Size Parking

A Accessible Parking



Area Legend

- Circulation Core
- Parking
- Res - Amenity

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PROJECT

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 2500 Block St. George Street Port Moody BC

TITLE

FULL FLOOR PLAN -
 LEVEL 01 & P1

PROJECT NO. 221-127 DRAWN ZS CHECKED JB

DRAWING NO. REVISION NO.

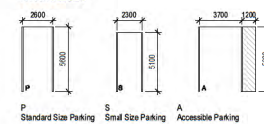
R22.01



TOTAL PARKING COUNT

Standard Size Parking 69 Stalls
 Small Size Parking 8 Stalls
 Accessible Parking 12 Stalls
 Scooter 20 Stalls
 Long Term Bicycle 15 Stalls
 Short Term Bicycle 47 Stalls

PARKING LEGEND





Area Legend

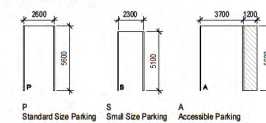
- CC - Amenity
- CC - Staff
- CC - Unit
- Circulation Core
- Outdoor
- Res - Amenity


 1 LEVEL 02
 RZ2.02 SCALE: 1:200

TOTAL PARKING COUNT

- Standard Size Parking 69 Stalls
- Small Size Parking 8 Stalls
- Accessible Parking 12 Stalls
- Scoter 20 Stalls
- Long Term Bicycle 15 Stalls
- Short Term Bicycle 47 Stalls

PARKING LEGEND



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TITLE

 FULL FLOOR PLAN -
 LEVEL 02

PROJECT NO. 223-127 DRAWN RA CHECKED JB

DRAWING NO. RZ2.02 REVISION NO. 1

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A triangle with the number 1 inside it.

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A triangle with the number 1 inside it.



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Area Legend
 ■ Circulation Core
 ■ Outdoor
 ■ Res - Amenity

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PROJECT

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PROJECT ADDRESS
 2500 Block St. George Street Port Moody BC

TITLE

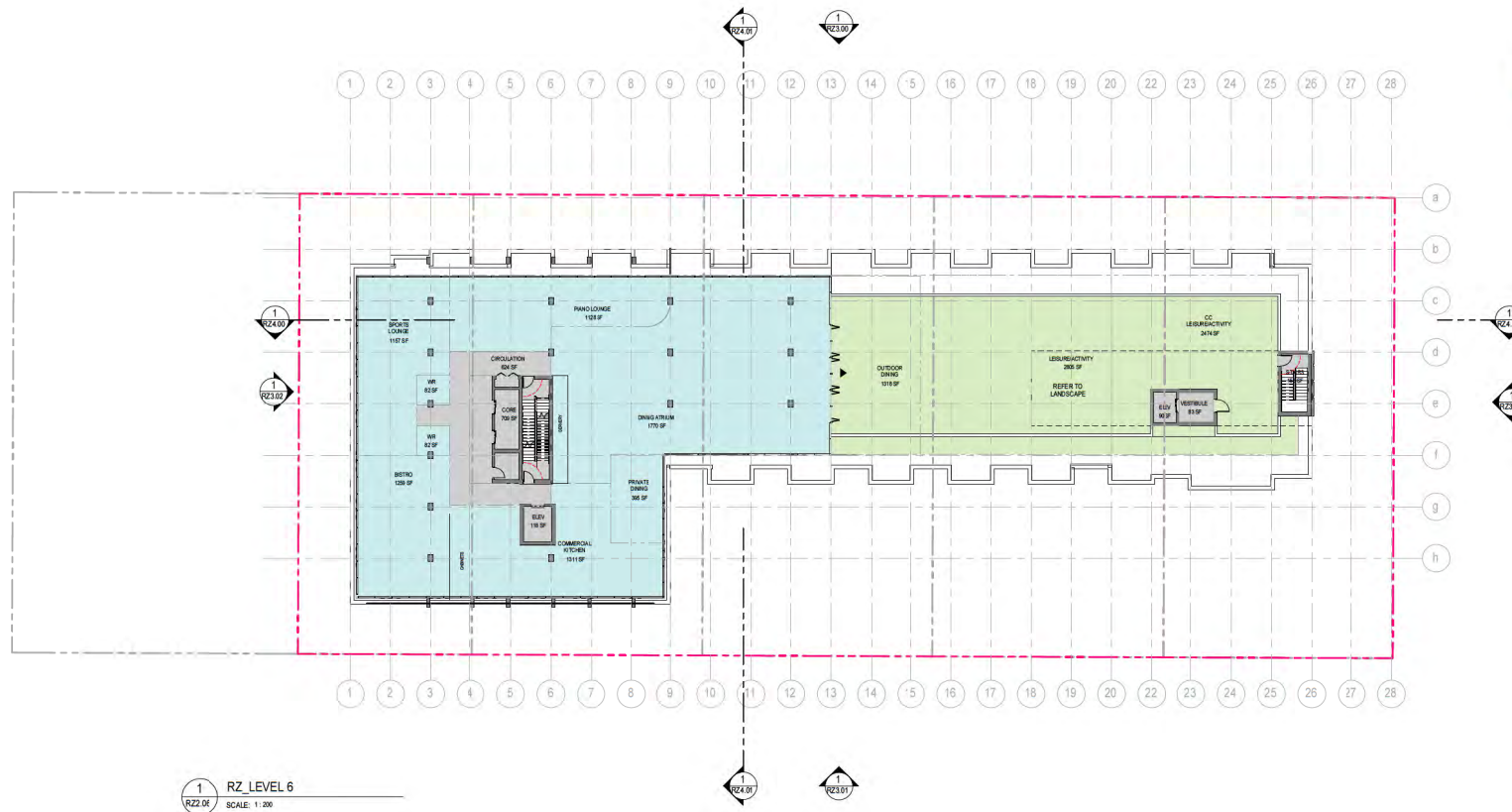
**FULL FLOOR PLAN -
 LEVEL 06**

PROJECT NO. 221-127 DRAWN RA CHECKED JB

DRAWING NO. REVISION NO.

RZ2.06

1



1 RZ LEVEL 6
 RZ2.06 SCALE: 1:200



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PROJECT
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PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE
**FULL FLOOR PLAN -
LEVEL 07-13**

PROJECT NO. 225-127 DRAWN RA CHECKED JB

DRAWING NO. REVISION NO.

RZ2.07

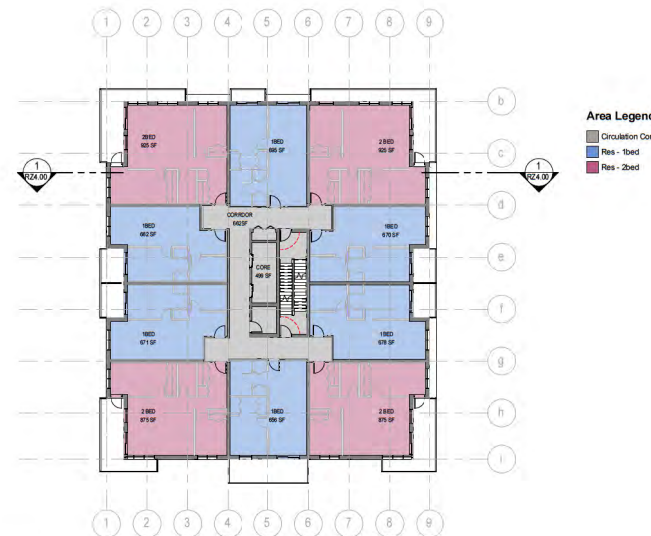
1 LEVEL 07
RZ2.07 SCALE: 1:200



2 RZ LEVEL 08-10
RZ2.07 SCALE: 1:200



3 LEVEL 11
RZ2.07 SCALE: 1:200



4 LEVEL 12-13
RZ2.07 SCALE: 1:200



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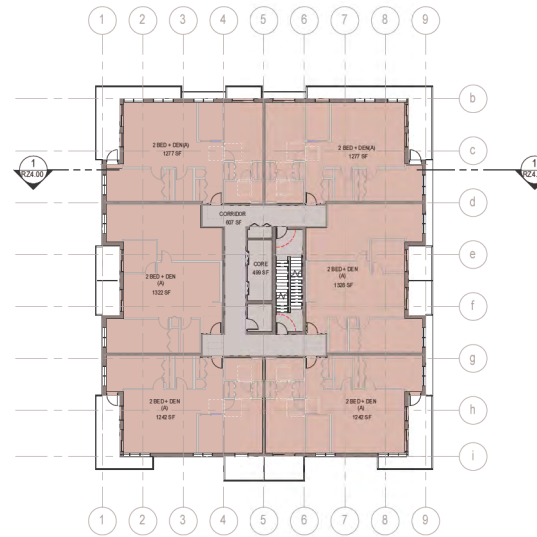
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Area Legend

■ Circulation Core
■ Res - 2bed + Den



1 LEVEL 14
R22.14 SCALE: 1:200



2 LEVEL 15
R22.14 SCALE: 1:200

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PROJECT ADDRESS

2500 Block St. George Street Port Moody BC

TITLE

FULL FLOOR PLAN -
LEVEL 14-15

PROJECT NO. 221-127 DRAWN RA CHECKED JB

DRAWING NO. REVISION NO.

R22.14

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PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE

**BUILDING
ELEVATIONS - NORTH**

PROJECT NO. 224-127 DRAWN SC CHECKED JB

DRAWING NO. REVISION NO. 1

RZ3.00

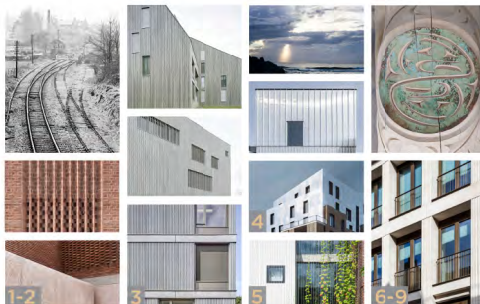


1 NORTH ELEVATION
RZ3.00 SCALE: 1:200

INSPIRATION

FROM INDUSTRY TO THE ARTS

The project exterior pays homage to the history of Port Moody, from the industrial beginnings to the modern 'City of the Arts'. This is expressed through abstract building forms and celebrating local craft through the traditional materials of brick, steel and wood. This layer of artistic expression and craftsmanship softens the building into the context and strengthens the narrative. The project team commits to collaborate with the local communities and craftspeople to bring these stories to life.



MATERIAL BOARD

1. ARCHITECTURAL CONCRETE - COLOUR: LIGHT RED / BROWN
2. BRICK WITH VERTICAL PATTERN - COLOUR: LIGHT RED / BROWN
3. STONE / CONCRETE VENEER CLADDING WITH VERTICAL PATTERN
4. ALTERNATE: COMBUSTIBLE BOARD - COLOUR: LIGHT GREY
5. ZINC PANELS WITH REFLECTIVE FINISH
6. ALTERNATE: STANDING SEAM METAL PANEL - ALUMINUM FINISH
7. PLANTED GREEN SCREEN WALL, ASPER LANDSCAPE ARCHITECTS DESIGN
8. ALUMINUM GLAZING SYSTEM - COLOUR: COPPER
9. ALTERNATE: VINYL GLAZING SYSTEM - COLOUR: COPPER
10. STEEL BALCONY RAILS AND RAILINGS - COLOUR: COPPER
11. BALCONY FASCIA AND SOFFIT: CONCRETE - LIGHT GREY
12. METAL SCREEN / TRELLIS



Zeidler Architecture

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1 OCP AMENDMENT & REZONING 2023-03-21
NO ISSUE / REVISION DATE

NOT FOR CONSTRUCTION

PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE

BUILDING ELEVATIONS - SOUTH

PROJECT NO. 221-127 DRAWN SC CHECKED JB

DRAWING NO. REVISION NO.

RZ3.01

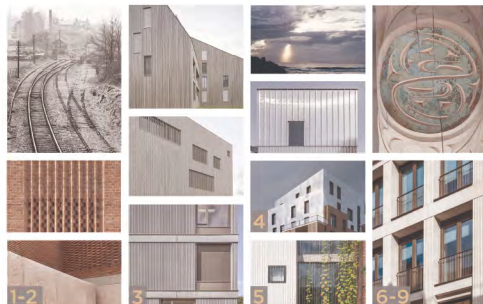


1 SOUTH ELEVATION
RZ3.01 SCALE: 1:200

INSPIRATION

FROM INDUSTRY TO THE ARTS

This project exterior pays homage to the history of Port Moody, from the industrial beginnings to the modern 'City of the Arts'. This is expressed through abstract building forms and celebrating local craft through the traditional materials of brick, steel and wood. This layer of artistic expression and craftsmanship softens the building into the context and strengthens the narrative. The project team commits to collaborate with the local communities and craftspeople to bring these stories to life.



MATERIAL BOARD

1. ARCHITECTURAL CONCRETE - COLOUR: LIGHT RED / BROWN
2. BRICK WITH VERTICAL PATTERN - COLOUR: LIGHT RED / BROWN
3. STONE / CONCRETE VENEER CLADDING WITH VERTICAL PATTERN
4. ALTERNATE: CEMENTITIOUS BOARD - COLOUR: LIGHT GREY
5. ZINC PANELS WITH REFLECTIVE FINISH
6. ALTERNATE: STANDING SEAM METAL PANEL - ALUMINUM FINISH
7. PAINTED GREEN SCREEN WALL, AS PER LANDSCAPE ARCHITECT'S DESIGN
8. ALUMINUM GLAZING SYSTEM - COLOUR: COPPER
9. ALTERNATE VINYL GLAZING SYSTEM - COLOUR: COPPER
10. STEEL GUARDRAILS AND RAILINGS - COLOUR: COPPER
11. BALCONY FASCIA AND SOFFIT - CONCRETE - LIGHT GREY
12. METAL SCREEN / TRELLIS

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1 OCP AMENDMENT & REZONING 2023-03-21
NO ISSUE/REVISION DATE

NOT FOR CONSTRUCTION

PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

TITLE

**BUILDING
ELEVATIONS - WEST**

PROJECT NO. 223-127 DRAWN SC CHECKED JB

DRAWING NO. REVISION NO. 1

RZ3.02

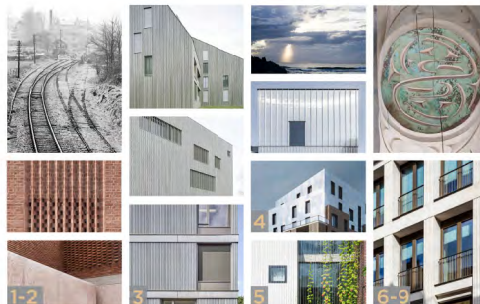


1 WEST ELEVATION
RZ3.02 SCALE: 1:200

INSPIRATION

FROM INDUSTRY TO THE ARTS

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MATERIAL BOARD

1. ARCHITECTURAL CONCRETE - COLOUR LIGHT RED / BROWN
2. BRICK WITH VERTICAL PATTERN - COLOUR LIGHT RED / BROWN
3. STONE / CONCRETE VENEER CLADDING WITH VERTICAL PATTERN
4. ALTERNATE: CEMENTITIOUS BOARD - COLOUR: LIGHT GREY
5. ZINC PANELS WITH REFLECTIVE FINISH
6. ALTERNATE: STANDING SEAM METAL PANEL - ALUMINUM FINISH
7. PLANTED GREEN SCREEN WALL AS PER LANDSCAPE ARCHITECTS DESIGN
8. ALUMINUM GLAZING SYSTEM - COLOUR: COPPER
9. ALTERNATE: VINYL GLAZING SYSTEM - COLOUR: COPPER
10. STEEL GAUDDRAILS AND RAILINGS - COLOUR: COPPER
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12. METAL SCREEN / TRELLIS



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1 OCP AMENDMENT & REZONING 2023-03-21
NO ISSUE/REVISION DATE

NOT FOR CONSTRUCTION

PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS

2500 Block St. George Street Port Moody BC

TITLE

**BUILDING
ELEVATIONS - EAST**

PROJECT NO. 224-127 DRAWN SC CHECKED JB

DRAWING NO. REVISION NO.

RZ3.03

1

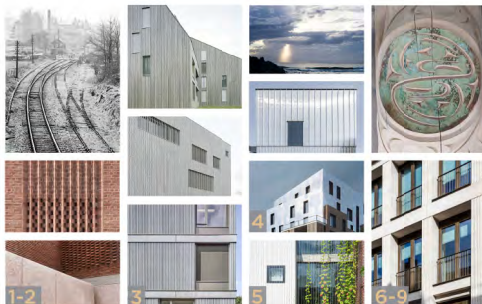


1 EAST ELEVATION
SCALE: 1:200

INSPIRATION

FROM INDUSTRY TO THE ARTS

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MATERIAL BOARD

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7. PLANTED GREEN SCREEN WALL, AS PER LANDSCAPE ARCHITECTS DESIGN
8. ALUMINUM GLAZING SYSTEM - COLOUR: COPPER
9. ALTERNATE: VINYL GLAZING SYSTEM - COLOUR: COPPER
10. STEEL GARDEN RAILS AND RAILINGS - COLOUR: COPPER
11. BALCONY FASCIA AND SOFFIT: CONCRETE - LIGHT GREY
12. METAL SCREEN / TRELLIS



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PROJECT

AVENIR PORT MOODY

PROJECT ADDRESS

2500 Block St. George Street Port Moody BC

TITLE

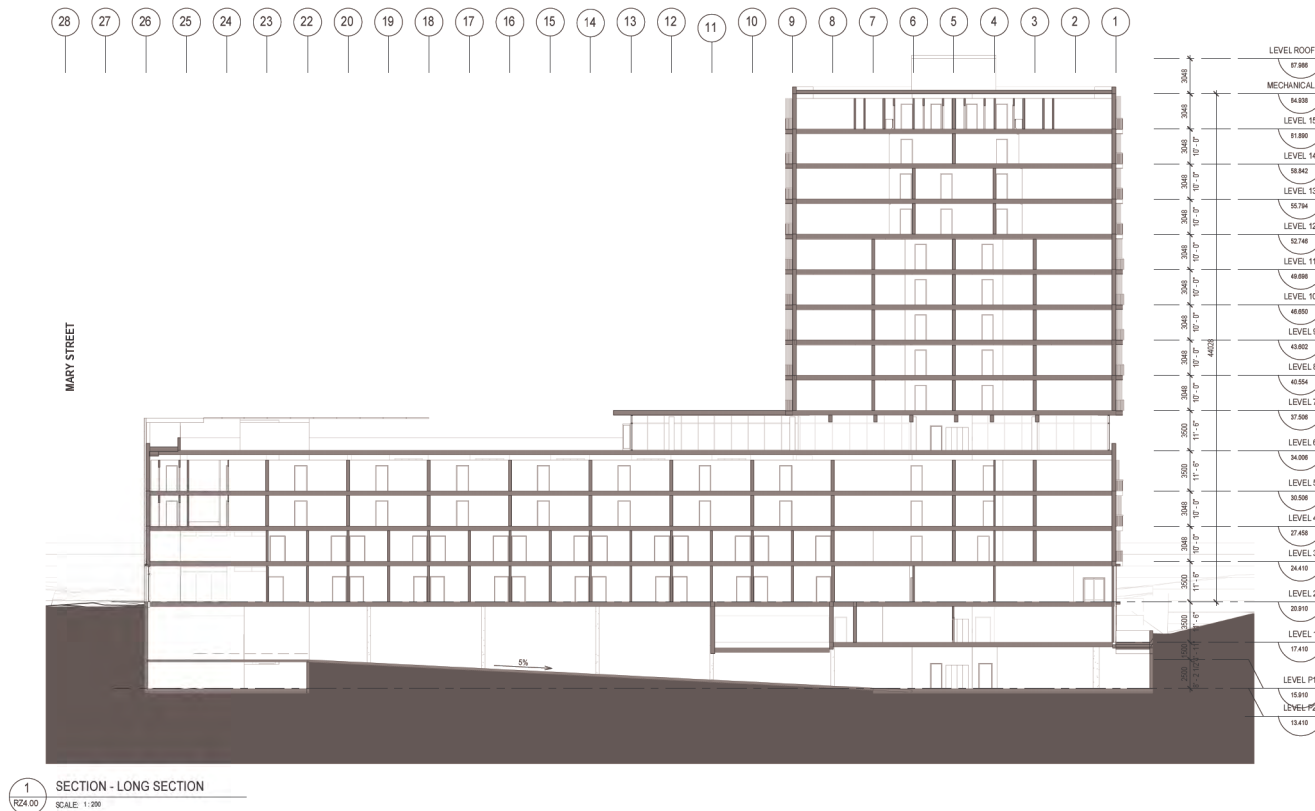
BUILDING SECTION

PROJECT NO. DRAWN CHECKED
221-127 ZS JB

DRAWING NO. REVISION NO.

R24.00

1





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NO. ISSUE / REVISION DATE

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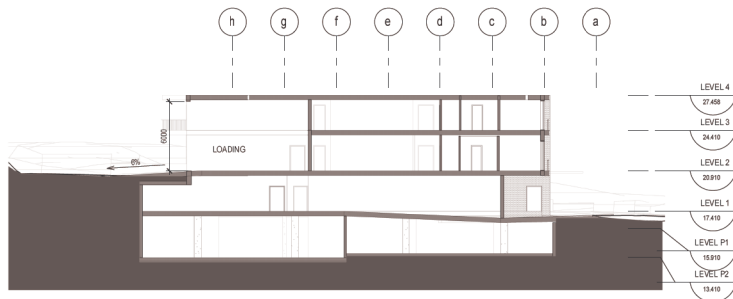
PROJECT
AVENIR PORT MOODY

PROJECT ADDRESS
2500 Block St. George Street Port Moody BC

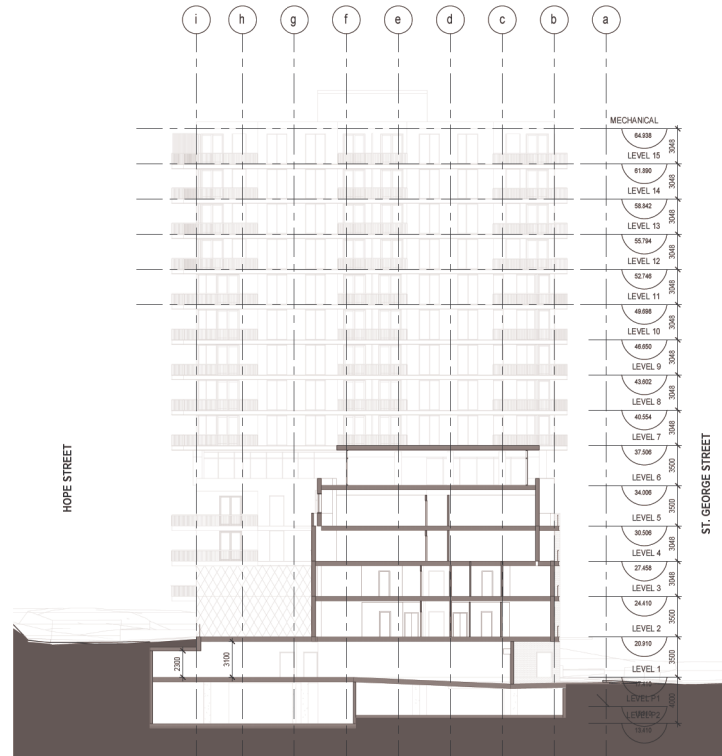
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BUILDING SECTION

PROJECT NO. 221-127 DRAWN ZS CHECKED JB

DRAWING NO. **RZ4.01** REVISION NO. 1



2 SECTION - LOADING SECTION
RZ4.01 SCALE: 1:200



1 SECTION - SHORT SECTION
RZ4.01 SCALE: 1:200