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OCP AMENDMENT & REZONING

AVENIR PORT MOODY

2500 Block St. George Street Port Moody BC

PROJECT NO. DRAWN CF 221-127 RA	CHECK

2023-03-2

DATE

1 OCP AMENDMENT & REZONI

NO. ISSUE/ REVISION

PROJECT INFORMATION

UNIT COUNT

PROJECT NAME	KYLE PAR	K SENIOR LIV	ING		Level
CIVIC ADDRESS		ARY STREET			
	ST. GEOR	GE STREET P	ORIMOOD	Y V3H 2G6	
LEGAL DESCRIPTION), BLK 22, PL N (22, PL 58631,			
ZONING					
CURRENT ZONING	RS-1 & RM	1-4			
PROPOSED ZONING	CD				
OCP DEVELOPMENT PERMIT AREA	DPA-2 & D	IPA-5			1.000
HEIGHT					1
MAXIMUM STORIES PROPOSED	15				_
MAXIMUM HEIGHT PROPOSED	48.1 M	(157.8 FT)			Subt
SETBACKS					
	PROPOSE	D			
NORTH	4.0 M	(13.1 FT)			
EAST	7.0 M	(23.0 FT)			
SOUTH	4.0 M	(13.1 FT)			
WEST	4.0 M	(13.1 FT)			
SITE					
SITE DIMENSIONS	95.7 M	(314.0 FT)	x 40.2 M	(131.9 FT)	
SITE AREA (GROSS)	3850 SM	(41441 SF)			
FLOOR SPACE RATIO (FSR)					
GFA ABOVE GRADE	17179 SM	(184917 SF)			
FSR	4.46				
FSR CONDO / LEASE UNITS	2.65				
SITE COVERAGE	77%				
AMENITY SPACE					
OUTDOOR	1040 SM	(11199 SF)			
INDOOR	2375 SM	(25560 SF)			

					t (Raise			_		_
level	CC	IL-1B	IL-1B+	IL-2B	IL-2B+	R-18	R-1B+	R-2B	R-2B+	Total
1		1.00	-				1	100.00	1.0.0	0
2	24			1000	1.1					24
3	24	5	2	1	1				-	32
. 4		16	3	5						24
5		16	3	5						24
6		1		1000						0
7		5	4	2						11
8		5	4	2						11
9		5	4	2					1000	11
10		5	4	2						11
11				1.00		5	4	2		11
12						6		4	1	10
13				1	1.000	6		4		10
14		1				5		2	2	9
15	-								6	6
ubtotal	48	57	24	19	0	22	4	12	8	1
	48	1	1	00	-		4	6		194

OFF-STREET PARKING

RESIDENTIAL PARKING Community Care STUDIO VISITOR STAFF 48 0.00 Spaces Per Unit 0.20 Spaces Per Unit 0.25 Spaces Per Unit 0 Spaces Required 10 Spaces Required 12 Spaces Required TOTAL 22 Spaces Required ACCESSIBLE Apartment Rental 1.2 BED VISITOR STAFF 2 Spaces Provided 0.35 Spaces Per Unit 0.10 Spaces Per Unit 0.05 Spaces Per Unit 35 Spaces Required 10 Spaces Required 5 Spaces Required 100 TOTAL 50 Spaces Required ACCESSIBLE 2 Spaces Provided Apartment Ownership 1 BED 2 BED VISITOR 0.92 Spaces Per Unit 1.32 Spaces Per Unit 0.10 Spaces Per Unit 24 Spaces Required 26 Spaces Required 5 Spaces Required 26 20 46 TOTAL ACCESSIBLE SUMMARY Resident 55 Spaces Required 1 Spaces Provided Resident Parking Standard 69 Spaces Provided 6 Spaces Provided 52 Spaces Provided 40% max of total parking 34 Spaces Max 85 Spaces Required Subtotal Visitor Staff TOTAL PARKING COUNT 24 Spaces Required 127 Spaces Provided 17 127 Spaces Required

PARKING DIMENSIONS	Required (Width x Length x Height)		
Standard Space	2.6 M (8.53 FT) x 5.6 M (18.37 FT) x 2.1 M (6.89 FT)		
Small Cars	2.3 M (8.53 FT) x 5.1 M (16.73 FT) x 2.1 M (6.89 FT)		
Loading	3.0 M (9.8 FT) x 9.2 M (30 FT) x 4.3 M (14.1 FT)		
Accessible	3.7 M (12.14 FT) x 5.6 M (18.37 FT) x 2.1 M (6.89 FT)		

SCOOTER / BICYCLE PARKING

SCOOTER STALLS 20 LONG TERM BICYCLE STALLS (LARGE) 15 SHORT TERM BICYCLE STALLS 12 TOTAL 47 STALLS

DRAWING LIST:

RZ0.00	COVER PAGE
RZ0.10	PROJECT DATA
RZ0.20	SITE CONTEXT
RZ0.30	SITE PHOTOGRAPHS
RZ0.31	SHADOW STUDY
RZ0.43	3D RENDERING
RZ1.00	SITE SURVEY
RZ1.01	SITE PLAN (WITH SURVEY DATA)
RZ1.10	SITE PLAN (NO SURVEY DATA)
RZ1.11	SITE PLAN - EXISTING GRADE RELATIVE TO P2
RZ2.00A	FULL FLOOR PLAN - LEVEL P2
RZ2.01	FULL FLOOR PLAN - LEVEL 01 & P1
RZ2.02	FULL FLOOR PLAN - LEVEL 02
RZ2.03	FULL FLOOR PLAN - LEVEL 03
RZ2.04	FULL FLOOR PLAN - LEVEL 04 - 05
RZ2.06	FULL FLOOR PLAN - LEVEL 06
RZ2.07	FULL FLOOR PLAN - LEVEL 07-13
RZ2.14	FULL FLOOR PLAN - LEVEL 14-15
RZ3.00	BUILDING ELEVATIONS - NORTH
RZ3.01	BUILDING ELEVATIONS - SOUTH
RZ3.02	BUILDING ELEVATIONS - WEST
RZ3.03	BUILDING ELEVATIONS - EAST
RZ4.00	BUILDING SECTION
RZ4.01	BUILDING SECTION

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PROJECT TEAM: CLIENT

AVENIR SENOR LIVING 7105-D, W SJANICH ROAD BRENTWOOD BAY, BC V8M 1P7 JASON CRAK 250-880-678"

ARCHITECTURAL ZEIDLER ARCHITECTURE 1981 MAIN STREET VANCOUVER, BC V5T 3C1

MARCOS HU 778-838-9959

PMG LANDSCAPE ARCHITECTS 4185 STILL CREEK DR C100 BURNABY, BC V5C 6G9 MARY CHANYIP 604-294-0011

LANDSCAPE

CIVIL LANDMARK ENGINEERING & PLANNING LTD. 3030 LINCOIN AVE #226 COQUITLAM, BC V3B 6B4

TRAFFIC WATT CONSULTING GROUP 825 HOMER ST # 380 VANCOUVER, BC V6B 2W2 JEESHAN IS.AM 778-229-2390

GRAHAM WATSON 604-357-3541

GEOTECHNICAL METRO TESTING + ENGINEERING 6741 CARIBOO RD#401 BURNABY, EC V3N 4A3 MONTY ISLAM 604-830-7914

PROJECT ADDRESS 2500 Block St. George Street Port Moody BC

> TITLE PROJECT DATA

1 OCP AMENDMENT & REZONING

NOT FOR CONSTRUCTION

NO. ISSUE/ REVISION

2023-03-21 DATE

PROJECT NO.	DRAWN	CHECKED
221-127	Author	Checker
DRAWING NO.		REVISION NO.
RZ0.10		



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AVENIR PORT MOODY

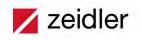
PROJECT



SITE CONTEXT

RZ0.20		1
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1 OCP AMENDMENT & REZONING 2023.03.2 DATE NO. ISSUE/ REVISION NOT FOR CONSTRUCTION PROJECT AVENIR PORT MOODY

PROJECT ADORESS 2500 Block St. George Street Port Moody BC TITLE SITE PHOTOGRAPHS

PROJECT NO. CHECKED DRAW 221-127 Checker DRAWING NO. REVISION NO.

RZ0.30

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2518





ST.GEORGE ST. (NORTH) (A)

250

MARY ST.

SUMMER SOLSTICE: JUNE 21



9AM



12PM





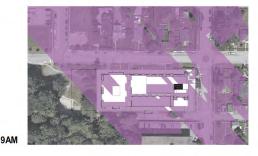
EQUINOX: SEPTEMBER 22 / MARCH 21



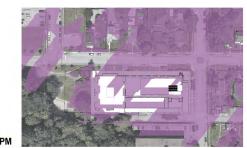




WINTER SOLSTICE: DECEMBER 21







12PM



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AVENIR PORT MOODY

SHADOW STUDY

PROJECT

PROJECT ADDRESS 2500 Block St. George Street Port Moody BC

TITLE

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Author



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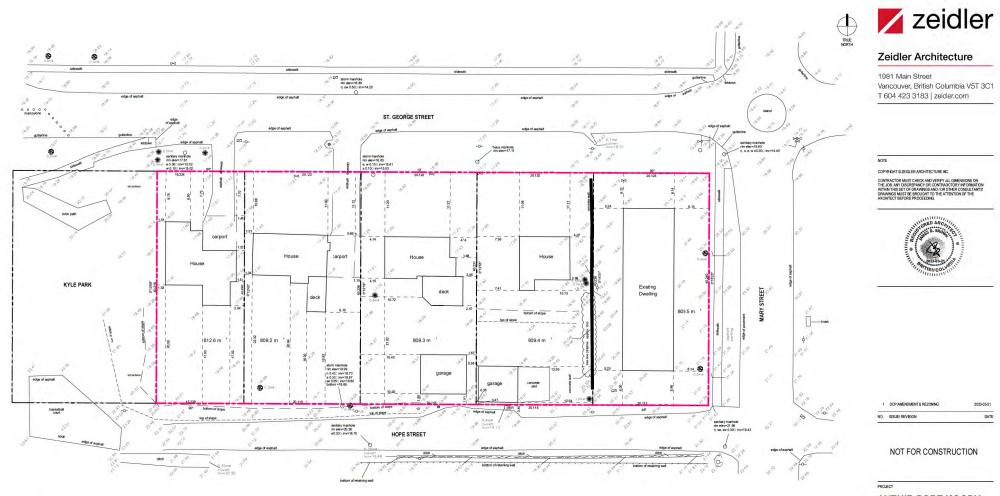
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3D RENDERING

PROJECT NO.	DRAWN	CHECKED
221-127	sc	J B
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RZ0.43		Λ

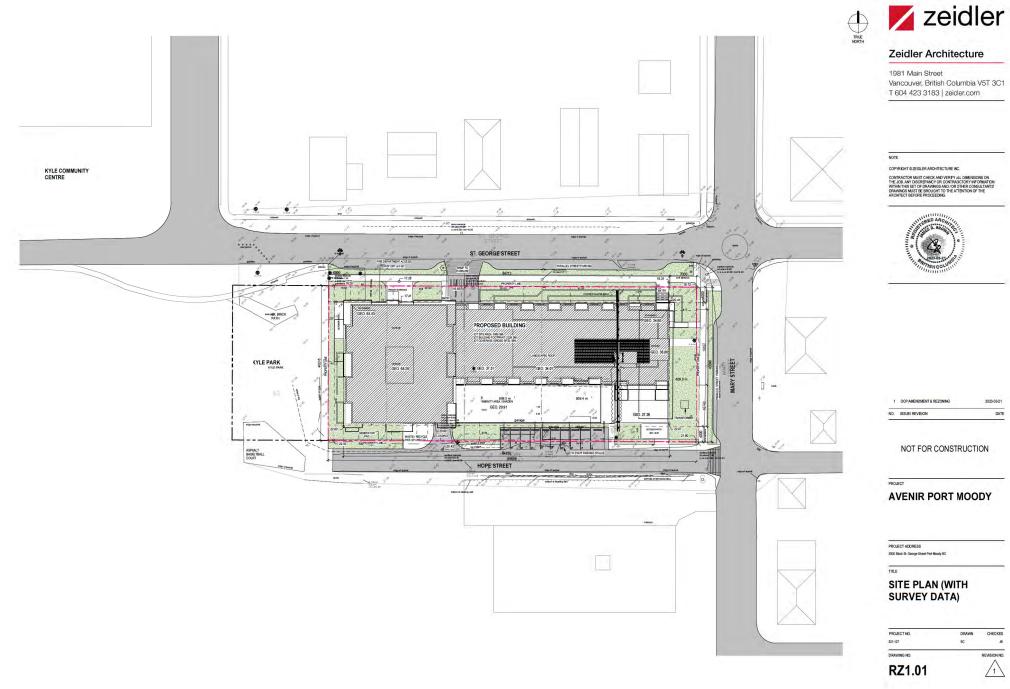
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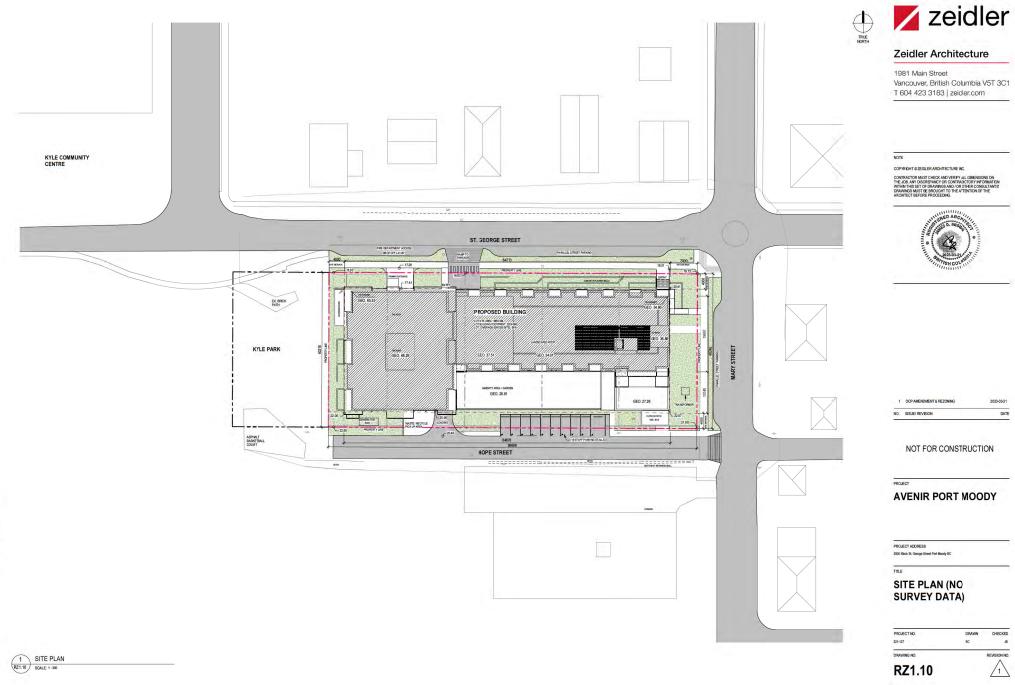


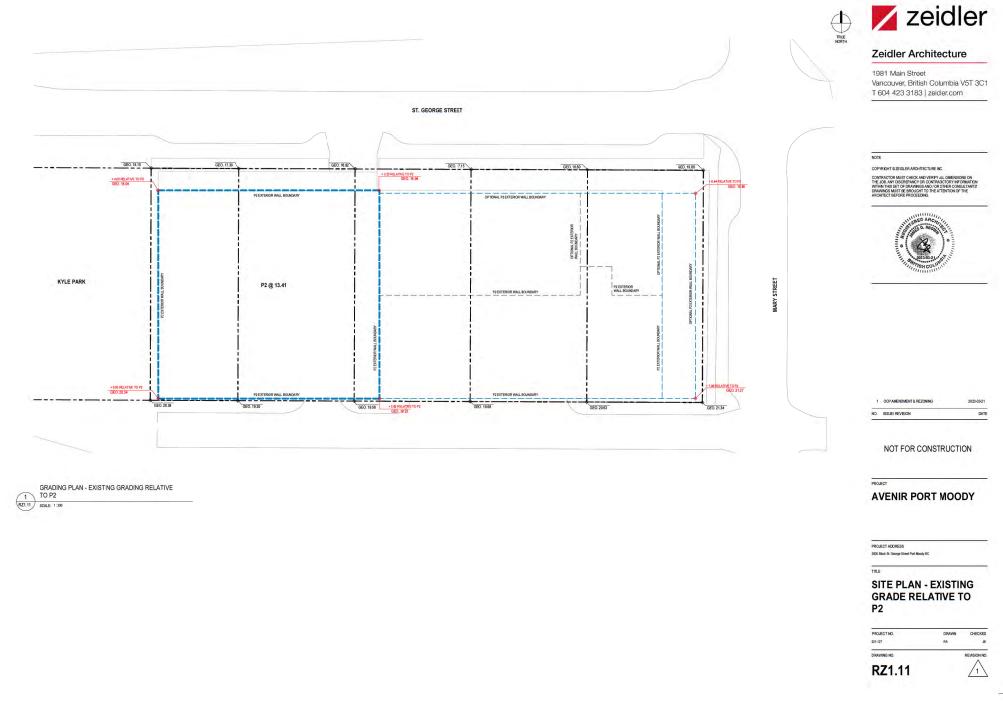
1 SITE PLAN RZ1.00 SCALE: 1:200 AVENIR PORT MOODY

PROJECT ADDRESS 250 Bits & Groups Baser Part Moody BC TITLE SITE SURVEY

PROJECT NO.	DRAWN	CHECKED
221-127	sc	JB
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RZ1.00		Λ







Area Legend Circulation Core

1 RZ4.00

1 RZ3.03

(28)

ROOT SETBACK PER CITY'S BYLAW

(b) ROPERTY LINE

-(e)

-(g)

- ROOT SETBACK

P S A Standard Size Parking Small Size Parking Accessible Parking

1 RZ300

(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (22) (23) (24) (25) (26) (27)

6

107 108 109 110 111 112

8 8 P.

PARKING 3071 SF

113 114 115

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116 117

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TOTAL PARKING COUN Standard Size Parking Small Size Parking Accessible Parking

Scooter Long Term Bicycle Short Term Bicycle

69 Stalls 52 Stalls <u>6 Stalls</u> 127 Stalls

20 Stals 15 Stals <u>12 Stals</u> 47 Stals

2 RZ4.01

66 67 66 65

8

105 106

.

1 RZ401

8

8 8

93 94 95

2 RZ4.01

< 5%-

100 99 98 97 96

101 102 103 164

6

90 91 92

PARKING 13390 SF

8

ROOT SETBACK PER CITY'S BYLAW

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(b)-

B (2302)

(g)-

ROOT SETBACK PER CITY'S IMLAW

1 LEVEL P2 RZ2.00A SCALE: 1:200

UTILITIES 407 SP

77

78

79

80 81

82

83

84

UTILITIES 375 SF

78 75 74

> 86 87 8 89

85

72 71

GE0. 13.41

1 RZ401





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AVENIR PORT MOODY

FULL FLOOR PLAN -

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REVISION NO. Λ

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PROJECT

PROJECT ADORESS 2500 Block St. George Street Port Moody BC

LEVEL P2

TITLE

PROJECT NO.

DRAWING NO.

RZ2.00A

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AVENIR PORT MOODY

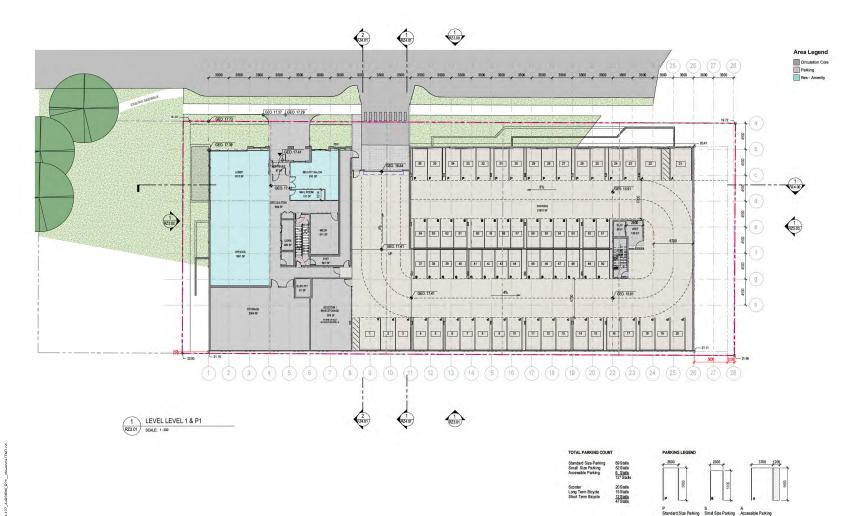
NO. ISSUE/ REVISION

PROJECT

PROJECT ADDRESS 2500 Block St. George Street Port Moody BC

TITLE

NOTE



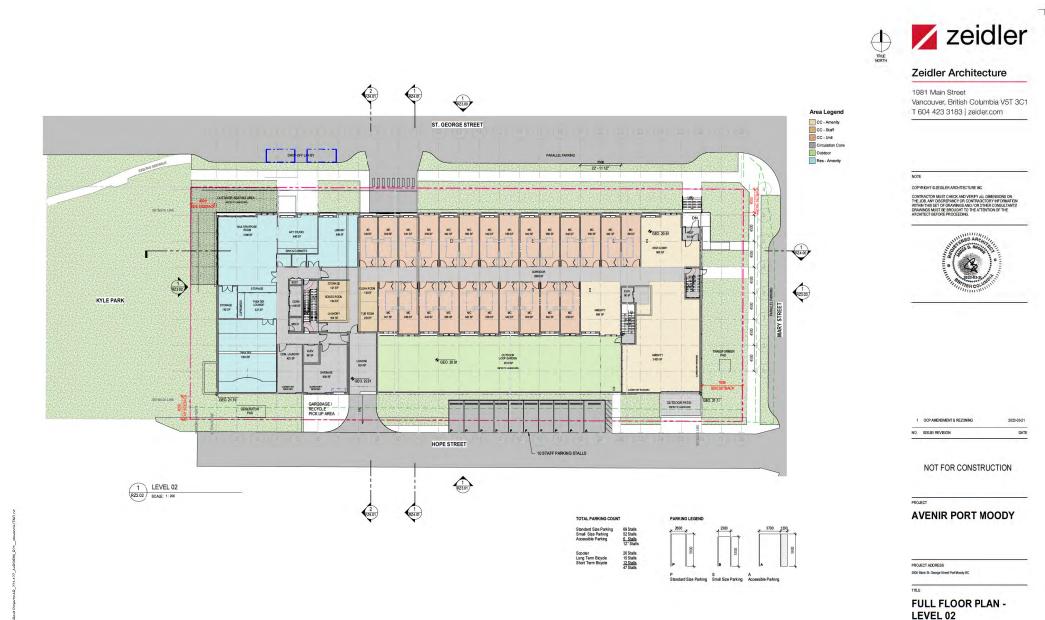
PROJECT NO. 221-127 DRAWING NO. RZ2.01

FULL FLOOR PLAN -LEVEL 01 & P1

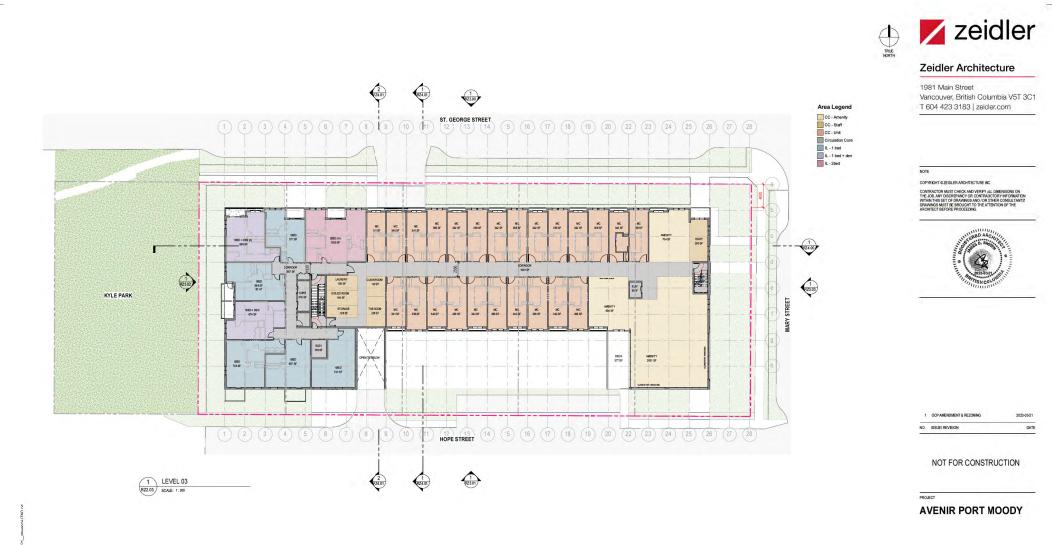
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2023.03.2

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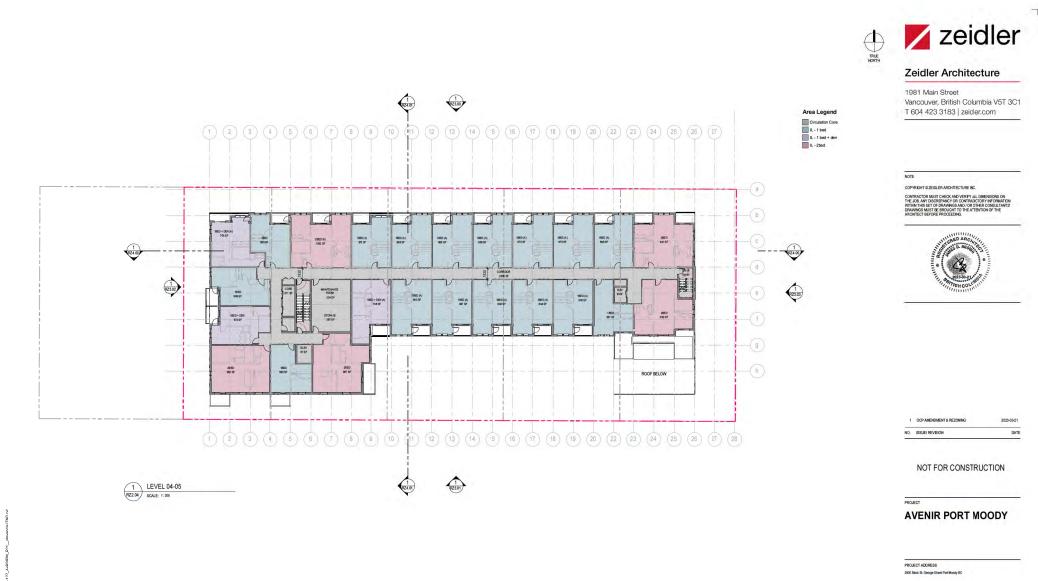
FULL FLOOR PLAN -

PROJECT ADORESS 2500 Block St. George Street Port Moody BC

LEVEL 03

TITLE

221-127



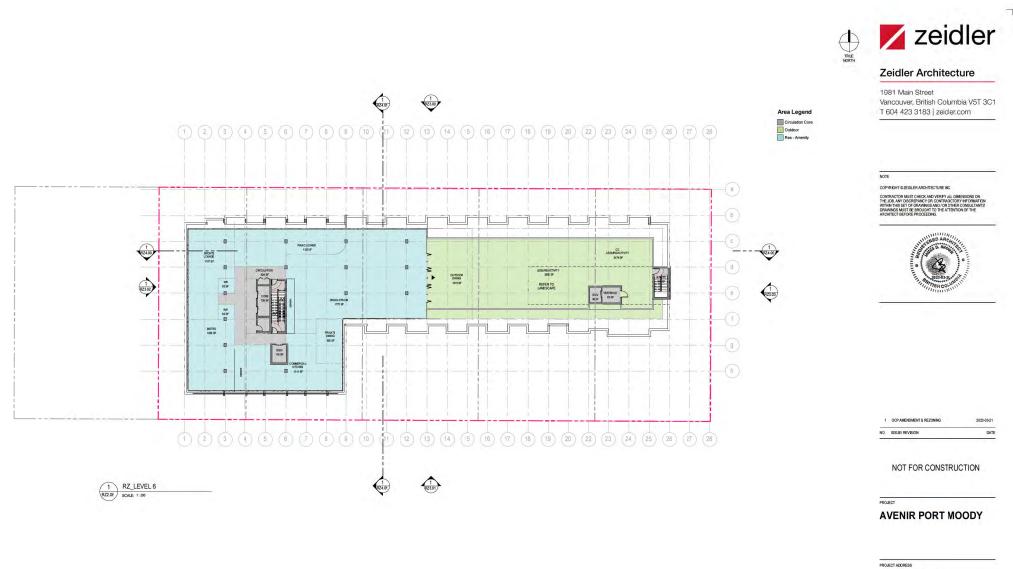
FULL FLOOR PLAN -LEVEL 04 - 05

TITLE

PROJECT NO.

DRAWING NO.

221-127

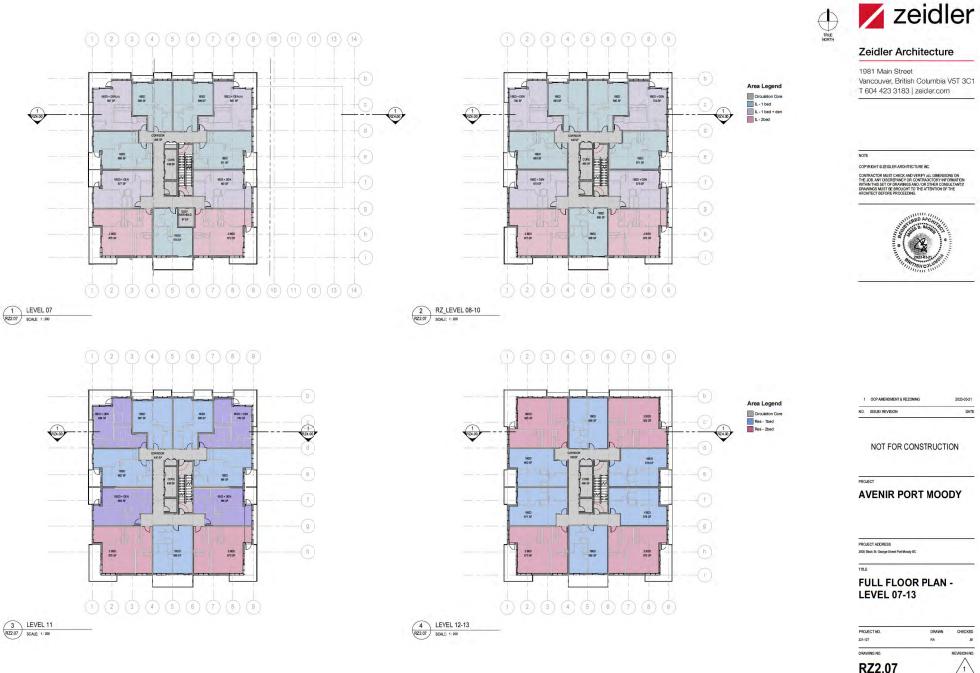


FULL FLOOR PLAN -

2500 Block St. George Street Port Moody BC

LEVEL 06

TITLE



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DATE

Area Legend

Circulation Core Res - 2bed + Den



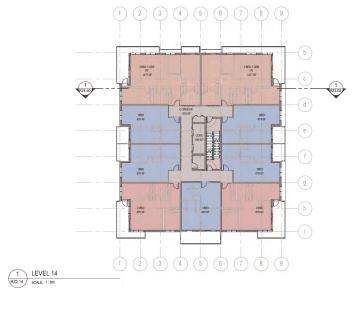
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	1200 + 1000y 127 / / 2100 - 1000y 127 / / 2100 - 1000y	C 1
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2 LEVEL 15 RZ2.14 SCALE: 1:200		



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AVENIR PORT MOODY

PROJECT

LEVEL 14-15

PROJECT ADDRESS

TITLE

PROJECT NO.

DRAWING NO.

RZ2.14

221-127

2500 Block St. George Street Port Moody BC

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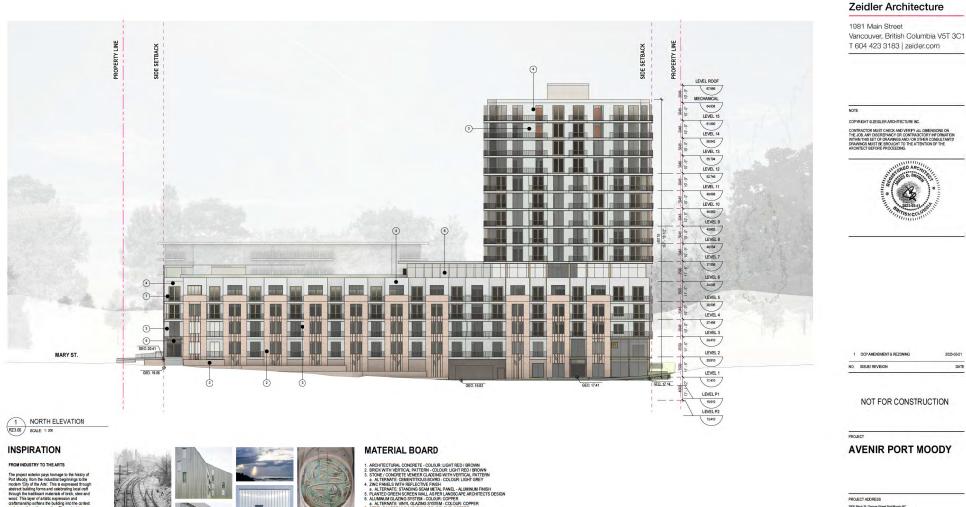
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REVISION NO. 1

JB

FULL FLOOR PLAN -





TITLE	
BUI	DING
ELE	VATIONS - NORTH

PROJECT NO.	DRAWN	CHECKED
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RZ3.00		1

The anticological intervences and the second of the states of Peer Moody, from the industrial beginnings to the modern 'City' of the Art'. This is expressed through about builting forms and obtaining local and wood. This layer of astice captures and wood. This layer of astice captures and and strengthese the rearries. The project term commit to calabouts with the local communities and catterpapties to trig these dates to the.



1 ARCHITECTURAL CONCRETE - COLURE UIGHT RED/ BROWN 2. BROCKWITH KERTICAL PATTERN - COLURE, UIGHT RED/ BROWN 3. STORE (CONCRETE - WAREER CLARCHWITH VERTICAL PATTERN a. ALTERNATE: CEMENTITIONS SOME -COLURE. UIGHT GREY 2. ALTERNATE: CEMENTITIONS SOME -COLURE. UIGHT GREY 2. ALTERNATE: CHARGE SOME AND SOME - AND SOME PARCHTECTS DESIGN 3. ALTERNATE: VARIAL ASPER LANDECKP ARCHTECTS DESIGN 4. ALTERNATE: VARIA SOFTEM- COLURE: COPPER 4. ALTERNATE: VARIAL ASPER LANDECKP ARCHTECTS 5. TELEL OWNERDANS SOFTEM- COLURE: COPPER 5. TELEL OWNERDA SAME MUNICIPAL COMPER 5. TELEL OWNERDA SAME MUNICIPAL COMPER 5. METAL SCREEN / TRELLS



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AVENIR PORT MOODY

PROJECT

PROJECT ADDRESS	
2500 Block St. George Street Port Moody BC	

BUILDING ELEVATIONS - SOUTH

RZ3.01		
DRAWING NO.		REVISION NO
221-127	SC	8,
PROJECT NO.	DRAWN	CHECKED



1 SOUTH ELEVATION RZ3.01 SCALE: 1:200

INSPIRATION

FROM INDUSTRY TO THE ARTS

The project device have hand by the history of Port Mood, itom the industrial beginnings to the nodem: 'Diry of the Art's This is expressed through abstract building forms and outbraining local carll wood. This layer of artistic appression and craftsmanning briefins the building into the context and strengthere he narrative. The project team commits to outbraine with the local communities to the and cathopped the borg these solves to the.



MATERIAL BOARD

1. ARCHITECTURAL CONCRETE - COLOUR: LIGHT RED/BROWN 2. BROCKWITH VERTICAL PATTERN - COLOUR: LIGHT RED/BROWN 8. ALTERNATE: CEMERITIZATION WITH VERTICAL PATTERN 4. ALTERNATE: CEMERITIZATION WITH VERTICAL PATTERN 4. ALTERNATE: CEMERITIZATION BROWN - COLOUR: LIGHT CRET 2. PLANTEL DIRECT SCHEMENT, SMEL: ALLBANK FINSH 5. PLANTED CRETE SCHEMENT VALL AS PREL AND CAMPAR ARCHITECTS DESIGN 4. ALLBANKTE, VIENCI GLAVIER, SCHEMENT, COLOUR COPPER 4. ALTERNATE: VIENCI GLAVIER SCHEMENT - COLOUR COPPER 5. TELEC GARGENERS SCHEMENT - COLOUR COPPER 5. PLANTERS AND FAULTS. COLOUR CONTERS FAULTS AND FAULTS. COLOUR COPPER 5. PLANTERS AND FAULTS. COLOUR CONTERS FAULTS FAULTS

C:Revit Projects/AR_221-127_AVBS



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The project electron pays homage to the history of Port Moody, from the industrial beginnings to the modern 'City' of the Art's This is expressed through aberrat builting forms and orisbraining local craft wood. This layer of article capresion and craftsmanicips offens the building into the context and strengthere have narrative. The project lean commits to caliaborate with the local communities to file.



1 ARCHTECTURAL CONCRETE - COLOUR LIGHT RED / BROWN 2 BROK WITH VERTICAL PATTERN - COLURE, LIGHT RED / BROWN a UTERWITE CEMENTITION SIGNAD. COLOR: LIGHT GREY 3 STORE (CONCRETE VEHEER LIGHTON), PAREI - ALIBANIA FINAL 5 PLATTERWITE - TORMON SIGNATERN, PAREI - ALIBANIA FINAL 5 PLATTED GREEN SOFEEN VALL AS PER LANGEAR ARCHTECTS DESION 6 ALIBANIA STATUS - COLURE COPPER a ALTERWITE VANG, GLADING SYSTEM - COLUNE COPPER 1 STEEL, OMERGING SYSTEM - COLUR COPPER 5 TELE, MARGEN SA DADINUMS, SYSTEM - COLURI COPPER 1 STEEL, OMERGING SYSTEM - COLURI COPPER 1 STEEL, OMERGING SYSTEM - COLURI COPPER 1 STEEL OMERGING SYSTEM - COLURI COMERCINE - UNIT STEEL OMERGING SYSTEM 1 STEEL OMERGING SYSTEM - COLURI COMERCINE - UNIT STEEL OMERGING SYSTEM 1 STEEL OMERGING SYSTEM - STEEL OMERGING SYSTEM - STEEL OMERGING SYSTEM 1 STEEL OMERGING SYSTEM - STEEL OMERGING SYSTEM - STEEL OMERGING SYSTEM 1 STEEL OMERGING SYSTEM - STEEL OMERGING SYSTEM 1 STEEL OMERGING SYSTEM - STEEL OMERGING SYSTEM - STEEL STEE

PROJECT ADDRESS 2500 Block St. George Street Port Moody BC TITLE

BUILDING **ELEVATIONS - WEST**

2023-03-2

DATE

PROJECT NO.	DRAWN	CHECKED
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AVENIR PORT MOODY

PROJECT

PROJECT ADDRESS	
2500 Block St. George Street Port Moody BC	
TITLE	
BUILDING	

ELEVATIONS - EAST

PROJECT NO.	DRAWN	CHECKED
221-127	SC	JB
DRAWING NO.		REVISION NO
RZ3.03		Λ



1 EAST ELEVATION RZ3.03 SCALE: 1:200

INSPIRATION

FROM INDUSTRY TO THE ARTS

The project outwine pays homage to the history of Port Mood, from the industrial beginnings to the above Civel of the XT. This is expressed through above Civeling from and observating local craft wood. This layer of artistic apresent on and craftmanahys influents the building info the contour and sterengthers the number of the contour commits to collaborate with the local communities of collaborate with the local communities information.



MATERIAL BOARD

ARCHTECTURAL CONCRETE - COLOUR, LIGHT RED / BROWN
 2. RRCV WITYVERTOAL PATTERN - COLORE, LIGHT RED / BROWN
 3. STORE / COURSE TV VEREE CALORING WITYVERTICAL PATTERN
 4. ATERNATE. CEMENTIOUS BOARD. - COLORE, LIGHT GREY
 2. MARC PAGES WITH REPLICIT. FEINING MITHVERTICAL PATTERN
 5. FUNCTIONED SORED WILL & FER ANDSCAPE ARCHTECTS DESIGN
 6. ALUMINA GLADXS SYSTEM. - COLORE: OPPER
 4. ATERNATE. VMICI. SANDA SYSTEM. - COLORE: COPPER
 6. MEDIA GRADUAL SAN PAURIOS. - COLURE: COMPER
 8. METIAL SAND FAURIOS.

wrac

NOTE

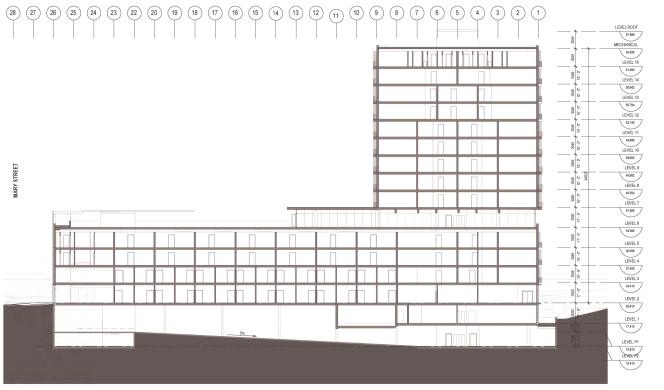
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1 SECTION - LONG SECTION R24.00 SCALE 1:20

AVENIR PORT MOODY

PROJECT

BUILDING SECTION

1 OCP AMENDMENT & REZONING

NO. ISSUE/ REVISION

TITLE

221-127

PROJECT ADDRESS 2500 Block St. George Street Port Moody BC

NOT FOR CONSTRUCTION

2023-03-21

DATE

CHECKED

PROJECT NO. DRAWN ZS JB DRAWING NO. REVISION NO. $\sqrt{1}$ RZ4.00



Zeidler Architecture



1	OCP AMENDMENT & REZONING	2023-03-21
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

AVENIR PORT MOODY





PROJECT ADDRESS

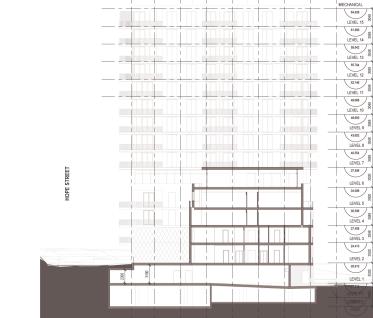
PROJECT

2500 Block St. George Street Port Moody BC

TITLE

BUILDING SECTION

PROJECT NO. DRAWN CHECKED 221-127 ZS JB DRAWING NO. REVISION NO. 1RZ4.01



h (g)

(i)

(d)

(c) (b a

ST. GEORGE STREET

(f) (e)

