

**PRELIMINARY - NOT FOR CONSTRUCTION**

LEGAL DESCRIPTION  
LOT 52, DISTRICT LOT 205, GROUP 1, NEW WESTMINSTER DISTRICT PLAN 24319

ELEVATIONS ARE GEODETIC DERIVED FROM CITY OF PORT MOODY COORDINATES ELEVATION=127.720m (CVD200/90)

REV.	DATE	DESCRIPTION	BY
4			
3			
2			
1			
0	22 APR 2022	ISSUED FOR APPROVAL	25

"BY SEALING AND SIGNING THIS DRAWING, I CERTIFY THAT THE INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN, APPENDIX, CHANGE ORDERS AND MATERIAL DESIGN CHANGES MADE DURING CONSTRUCTION AND FIELD REVIEWED BY ME, OR MY REPRESENTATIVE, AND THAT THE AS-CONSTRUCTED WORKS SUBSTANTIALLY COMPLY WITH THE ORIGINAL DESIGN INTENT. HOWEVER, I DO NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS."

**CONSULTANT**

**Westridge Engineering & Consulting Ltd.**

PERMIT TO PRACTICE NO: 1001693

SUITE 215, 12992 - 76 Avenue, Surrey, BC V3W 2V6  
TEL: (778) 564 - 6506, FAX: (778) 564 - 6507  
info@westridgeengineering.ca



**CLIENT**

**MAJINDER KAHLON**  
604-754-1101

**TITLE**

**SITE SERVICING PLAN**  
2 LOT SUBDIVISION AT  
832 - BALLANTRAE COURT, PORT MOODY, BC

**SCALE**

1:250

**DESIGNED**

ZD

**DRAWN**

ZD

**REVIEWED**

DK

**DATE**

2022.04.22

**CONSULTANT PROJ. NO.**

WEL-2021-C588

**DWG. NO.**

1 OF 2

**REV.**

0

**PROJECT NUMBER**

WEL-2021-C588

**DRAWING TYPE**

**KEY PLAN**

DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS

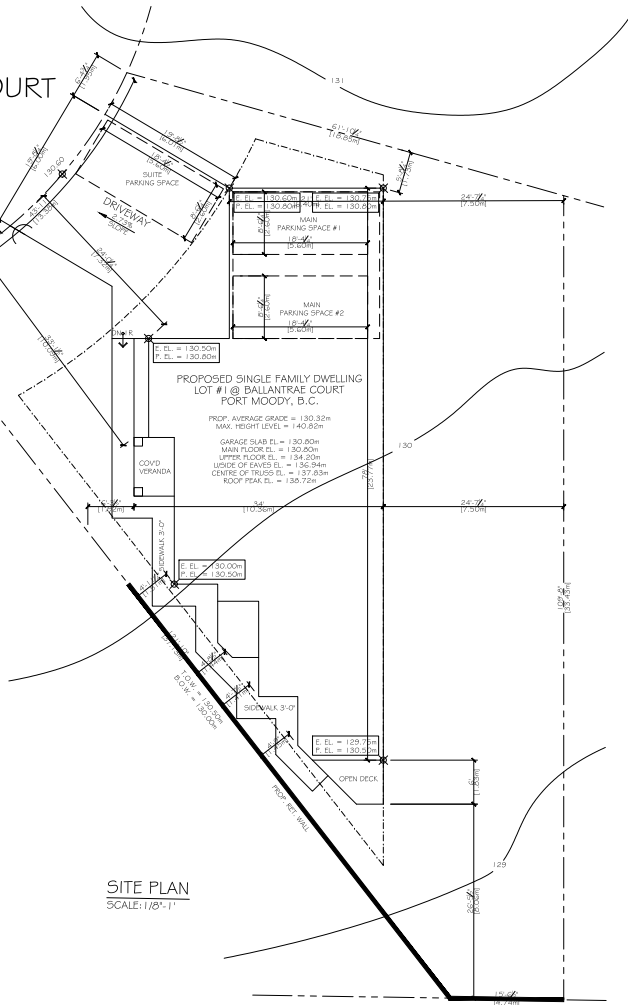
LEGAL DESCRIPTION: LOT 52, BLOCK Q, PLAN 24319, DISTRICT LOT 1058, NEW WEST DISTRICT



BALLANTRAE COURT

STORM  
INV. =  
@PROPERTY LINE

SANITARY  
INV. =  
@PROPERTY LINE



SITE PLAN  
SCALE: 1/8"=1'

AISLA AVE

#### COMPLIANCE PATH CHOSEN:

PERSPECTIVE METHOD AS PER  
SECTION 9.36.2-9.36.4 of CBC

#### HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

#### R51-5 ZONING

LOT 1			
LOT AREA		6624.35 SQ. FT. (62'1" x 107')	
COVERED AREA (45%)	PERMITTED	PROPOSED	
	3006 SQ. FT.	3006 SQ. FT.	
FLOOR AREA RATIO (50%)	3342 SQ. FT.	3342 SQ. FT.	
MAIN FLOOR AREA	1428 SQ. FT.	1428 SQ. FT.	
UPPER FLOOR AREA	1424 SQ. FT.	1424 SQ. FT.	
GARAGE AREA	441 SQ. FT.	441 SQ. FT.	
SEPPACKS			
FRONT YARD	5.0m	4.5m	
RIGHT SIDE	1.5m	1.4m	
LEFT SIDE	1.5m	1.2m	
REAR YARD	7.5m	7.5m	
DECK AREA			
FRONT COVERED VERANDA	N/A	44 SQ. FT.	
ALL OTHER COVERED DECK/BALCONY	N/A	0 SQ. FT.	
TOTAL COVERED DECK AREA	N/A	44 SQ. FT.	
IMPERMEABLE AREA			
IMPERMEABLE AREA	N/A	3769 SQ. FT.	
PERMEABLE AREA (15%)	N/A	991.5 SQ. FT.	

#### NOTES

1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, 2018 EDITION.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF CSA 3-A23.1 LATEST EDITION.
5. CONCRETE STRENGTH AT 28 DAYS, MIN. 15 MPa, AND 20 MPa FOR FLOORS, AND 32 MPa FOR GARAGE SLABS.
6. ALL FRAMING AND WALLING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION.
7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
8. WOOD TRUSSES SHALL BE DESIGNED AND SEALED BY P. ENG. REGISTERED IN B.C.
9. ALL PLYWOOD SHALL BE DOUGLAS FIR AND CONFORM TO CSA O12.1 LATEST EDITION.
10. ALL NEW WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW HAFS STANDARDS AND SPECIFICATIONS (9.7.4 B.C.B.C. 2018 EDITION).
11. THE OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
12. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.
13. PROTECTIVE GRATE ENCLOSURE CONFORMING TO 9.9.10.1 (5) TO BE INSTALLED OVER WINDOW WELLS.
14. WINDOW SEAT MUST BE RAISED AT LEAST 0.5m OFF FLOOR.

#### CLIMATE ZONE 4

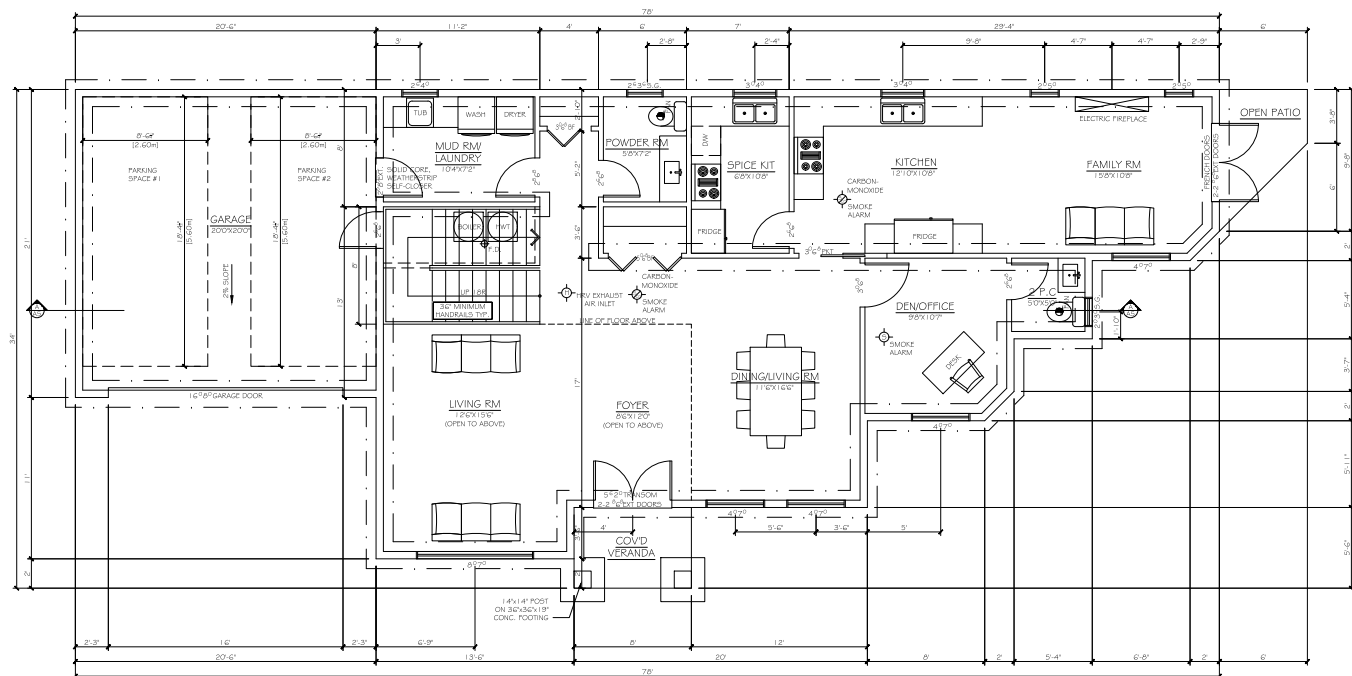
THESE PLANS CONFORM TO REQUIREMENTS IN THE  
B.C. BUILDING CODE 2018.

#### TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS:  
FAX: (604) 951-4373 12960 - 107th AVE  
EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED SINGLE FAMILY DWELLING  
LOT #1 @ BALLANTRAE COURT  
PORT MOODY, B.C.

TITLE:	SITE PLAN	DESIGNER:	RAJ TOORA	A1
SCALE:	1/8"=1'	DRAWN BY:		
DATE:	APRIL/2022			



NET FLOOR AREA	1405 SQ. FT.
GROSS FLOOR AREA	1846 SQ. FT.
GARAGE FLOOR AREA	441 SQ. FT.
COVERED VERANDA AREA	44 SQ. FT.
OPEN PATIO AREA	40 SQ. FT.

MAIN FLOOR  
SCALE: 1/4" = 1'

#### COMPLIANCE PATH CHOSEN:

PERSCRIPTIVE METHOD AS PER  
SECTION 9.3.6.2-9.3.6.4 of CBC

#### HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

#### CLIMATE ZONE 4

THESE PLANS CONFORM TO REQUIREMENTS IN THE  
B.C. BUILDING CODE 2018.

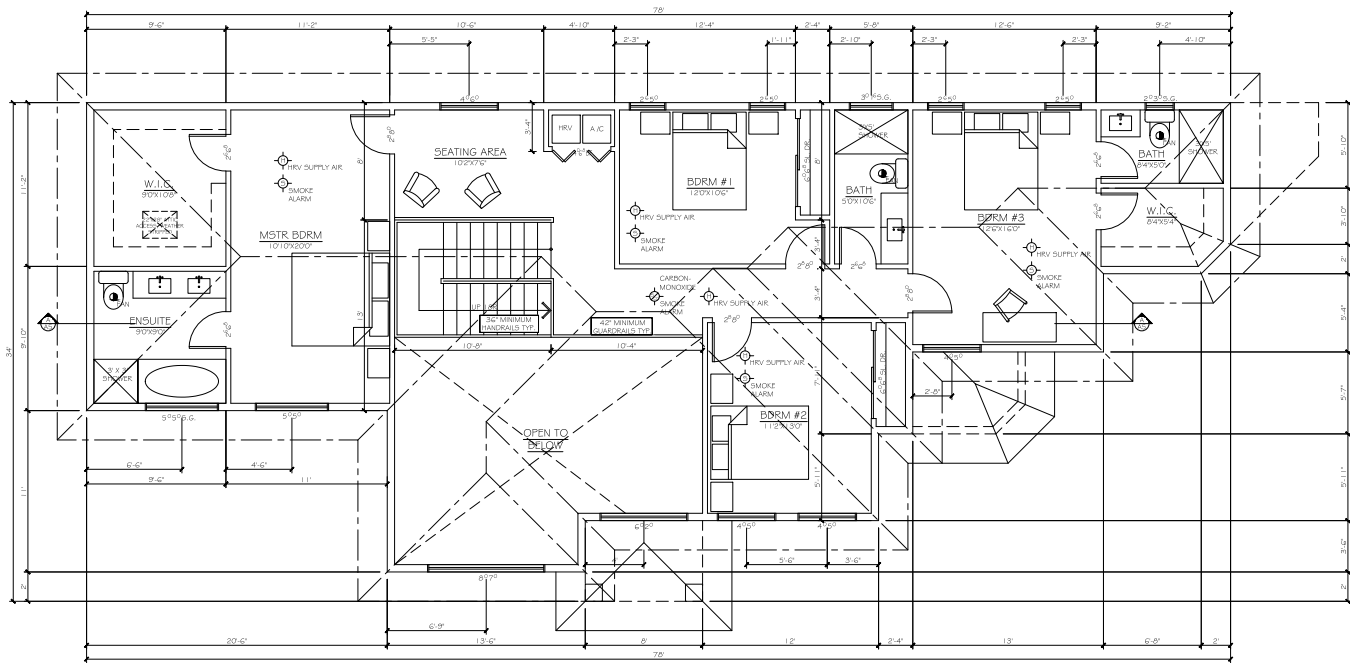
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PROPOSED SINGLE FAMILY DWELLING  
LOT #1 @ BALLANTRAE COURT  
PORT MOODY, B.C.

TITLE	MAIN FLOOR PLAN	DESIGNER	RAJ TOORA
SCALE	1/4" = 1'	DRAWN BY	
DATE	APRIL 2022		

A2



NET FLOOR AREA 1424 SQ. FT.  
 OPEN TO BELOW 351 SQ. FT.  
 GROSS FLOOR AREA 1805 SQ. FT.

**UPPER FLOOR**  
 SCALE: 1/4" = 1'

#### COMPLIANCE PATH CHOSEN:

PERSCRPTIVE METHOD AS PER  
SECTION 9.36.2-9.36.4 of BCBC

#### HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

#### CLIMATE ZONE 4

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B.C. BUILDING CODE 2018.

#### TOORA HOME PLANS

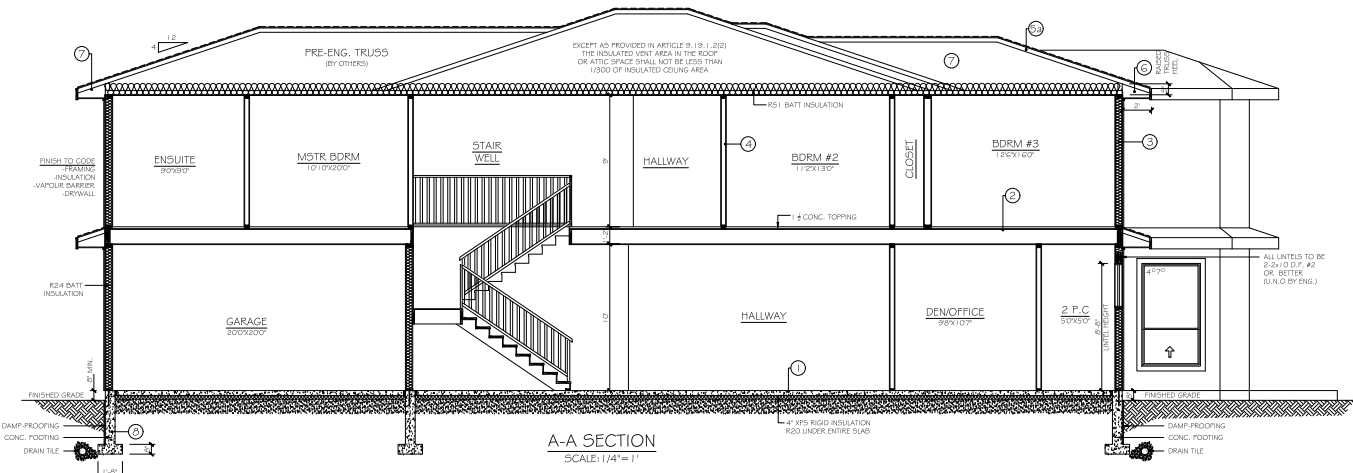
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PROPOSED SINGLE FAMILY DWELLING  
 LOT #1 @ BALLANTRAE COURT  
 PORT MOODY, B.C.

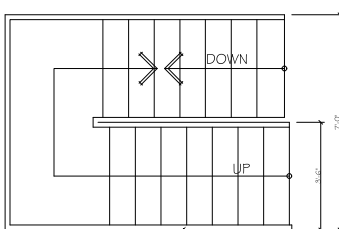
TITLE:	UPPER FLOOR PLAN	DESIGNER:	RAJ TOORA
SCALE:	1/4" = 1'	DRAWN BY:	
DATE:	APRIL/2022		

A3





A-A SECTION  
SCALE: 1/4" = 1'

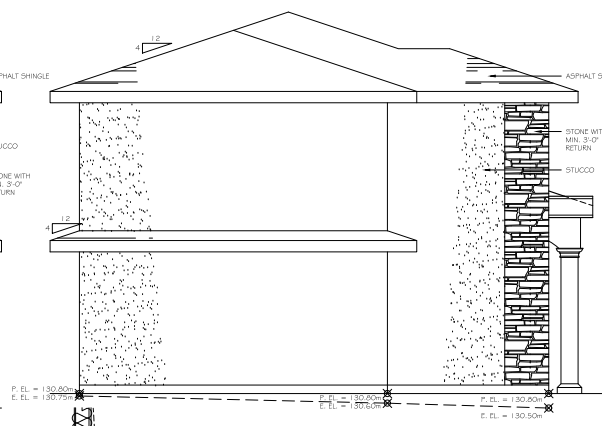


STAIR DETAIL  
SCALE: 1/2" = 1'



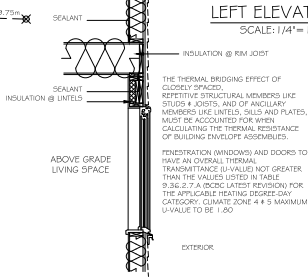
RIGHT ELEVATION  
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.41m
TOTAL EXPOSED WALL AREA	593 SQ. FT.
PERMITTED OPENING (8.5%)	46 SQ. FT.
PROPOSED OPENING	0.0 SQ. FT.

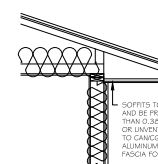


LEFT ELEVATION  
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.72m
TOTAL EXPOSED WALL AREA	418 SQ. FT.
PERMITTED OPENING (8.5%)	40 SQ. FT.
PROPOSED OPENING	0.0 SQ. FT.



OPAQUE ABOVE GRADE  
WALL ASSEMBLY DETAIL  
SCALE: 1/2" = 1'



SOFFIT DETAIL  
SCALE: 1/2" = 1'

**COMPLIANCE PATH CHOSEN:**  
 PREScriptive METHOD AS PER  
 SECTION 9.36.2-9.36.4 of CBC  
**HEATING:**  
 IN-FLOOR RADIANT HEAT WITH  
 HRV SYSTEM FOR VENTILATION  
 (PASSIVE AIR INLET FOR SECONDARY SUITE)

CONSTRUCTION SPECIFICATIONS	
1	MAIN FLOOR SLAB 2" CONC. SLAB 4"x6" WELDED WIRE MESH 4" MIL. POLY VAPOR BARRIER 6" MIN. COMPACTED SAND (TYP.)
2	UPPER FLOOR - 1" CONC. TOPPING - 5/8" TAG PLYWOOD SUBFLOOR GLUED & SCREWED - 11" 7/8" 13 PL. 201 @ 16" O.C. (S.N.O.) - 2x2 CROSS BRIDGES @ 7' O.C. MAX. - 1/2" G.W.B.
3	EXTERIOR WALLS STONE (EXT. S.D.) - 2 LAYERS 30 MIL. BUILDING PAPER - 3/4" AIR GAP - PRE-PAINTED METAL FLASHING - 1/2" EXT. GRADE PLYWOOD SHEATHING - 2x6 STUDS @ 16" O.C. (S.N.O.) - 1/2" BATT INSULATION - 4 MIL. POLY VAPOR BARRIER - 1/2" G.W.B.
4	INTERIOR PARTITIONS 7/8" G.W.B. BOTH SIDES (S.N.O.) 2x4 STUDS @ 16" O.C. (S.N.O.)
5a	TRUSS ROOF WOOD SHINGLE BUILDING PAPER - 5/8" TAG PLYWOOD SHEATHING - PRE-ENGINEERED TRUSSES @ 24" O.C. (SEE TRUSS LAYOUT) - 2x2 BATT INSULATION - 4 MIL. POLY VAPOR BARRIER - 5/8" G.W.B.
5b	FLAT ROOF TERRAZZO ROOF BUILDING PAPER - 5/8" TAG PLYWOOD SHEATHING - 1/4" CROSS FURROWS - PRE-ENGINEERED TRUSSES @ 24" O.C. (SEE TRUSS LAYOUT) - 1/2" BATT INSULATION - 4 MIL. POLY VAPOR BARRIER - 5/8" G.W.B.
6	EAVES INTERNAL GUTTER SYSTEM 3x12 FASCIA BOARD 2x4 BACK RAILER METAL SOFFIT WITH 2" CONT. SCREEN VENT
7	ASTIC VENTILATION 2" RAFFLE CLEARANCE WITH INSULATION STOPS
8	FOUNDATION SEE FOUNDATION DETAIL

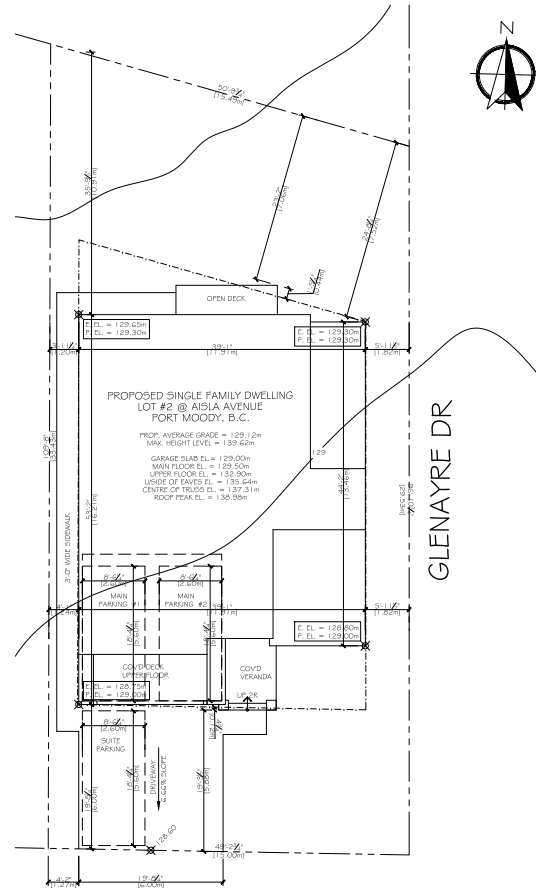
**CLIMATE ZONE 4**  
 THESE PLANS CONFORM TO REQUIREMENTS IN THE  
 B.C. BUILDING CODE 2018.

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PROPOSED SINGLE FAMILY DWELLING  
 LOT #1 @ BALLANTRAE COURT  
 PORT MOODY, B.C.

TITLE	ELEVATION/SECTION & DETAILS	A5
SCALE	1/4" = 1'	
DATE	APRIL/2022	
DESIGNER	RAJ TOORA	
DRAWN BY		

LEGAL DESCRIPTION: LOT 52, BLOCK Q, PLAN 24319, DISTRICT LOT 1058, NEW WEST DISTRICT



AISLA AVE

GLENAYRE DR

SITE PLAN  
SCALE: 1/8" = 1'

#### COMPLIANCE PATH CHOSEN:

PERSPECTIVE METHOD AS PER  
SECTION 9.3G.2-9.3G.4 of CBC

#### HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

#### R51-5 ZONING

LOT 2		
LOT AREA		
	5000.80 SQ. FT.	
	(47.14)	
COVERED AREA (45%)		
	2281 SQ. FT.	2034 SQ. FT.
FLOOR AREA RATIO (FAR)		
	3549 SQ. FT.	2845 SQ. FT.
MAIN FLOOR AREA		
		1492 SQ. FT.
UPPER FLOOR AREA		
		1353 SQ. FT.
GARAGE AREA		
		430 SQ. FT.
SETBACKS		
FRONT YARD	5.0m	6.50m
RIGHT SIDE	1.8m	1.82m
LEFT SIDE	1.8m	1.82m
REAR YARD	7.5m	7.53m
DECK AREA		
FRONT COVERED VERANDA	N/A	67 SQ. FT.
ALL OTHER COVERED BALCONY	N/A	106 SQ. FT.
TOTAL COVERED DECK AREA	N/A	173 SQ. FT.
IMPERMEABLE AREA		
IMPERMEABLE AREA	N/A	2464 SQ. FT.
PERMEABLE AREA (1%)	N/A	2406 SQ. FT.

#### NOTES

1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, 2018 EDITION.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF CSA 3-A23.1 LATEST EDITION.
5. CONCRETE STRENGTH AT 28 DAYS, MIN. 15 MPa, AND 20 MPa FOR FLOORS, AND 32 MPa FOR GARAGE SLABS.
6. ALL FRAMING AND NAILING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION.
7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
8. WOOD TRUSSES SHALL BE DESIGNED AND SEALED BY P. ENG. REGISTERED IN B.C.
9. ALL PLYWOOD SHALL BE DOUGLAS FIR AND CONFORM TO CSA 0121 LATEST EDITION.
10. ALL NEW WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW NAIP STANDARDS AND SPECIFICATIONS (9.7.4 B.C.B.C. 2018 EDITION).
11. THE OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
12. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.
13. PROTECTIVE GRATE ENCLOSURE CONFORMING TO 9.9.10.1 (B) TO BE INSTALLED OVER WINDOW WELLS.
14. WINDOW SEAT MUST BE RAISED AT LEAST 0.5m OFF FLOOR.

#### CLIMATE ZONE 4

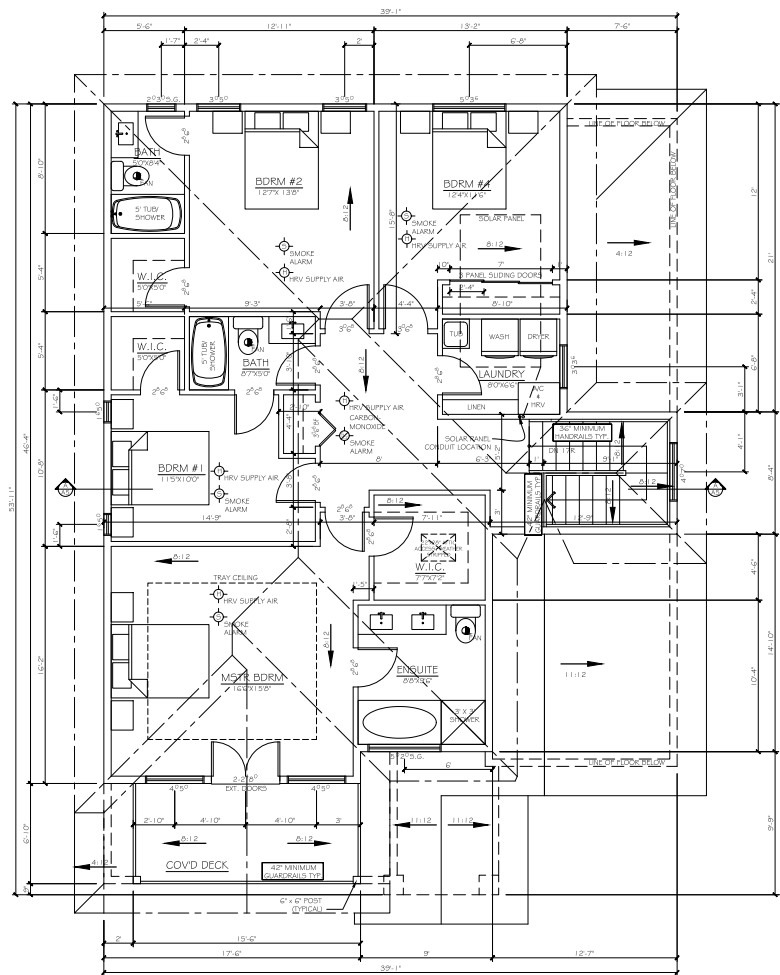
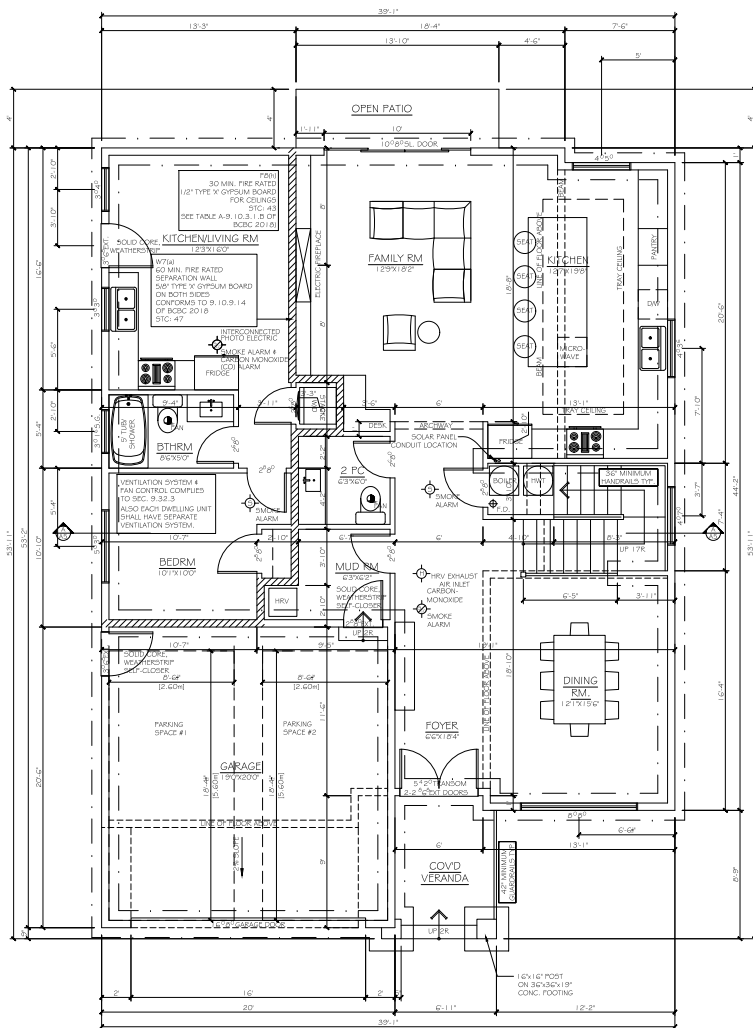
THESE PLANS CONFORM TO REQUIREMENTS IN THE  
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#### TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS:  
FAX: (604) 951-4373 12960 - 107th AVE  
EMAIL: toorahomes@gmail.com SURREY, B.C. V3T 2E9

PROPOSED SINGLE FAMILY DWELLING  
LOT #2 @ AISLA AVENUE  
PORT MOODY, B.C.

TITLE:	SITE PLAN	DESIGNER:	RAJ TOORA	A1
SCALE:	1/8" = 1'	DRAWN BY:		
DATE:	APRIL 2022			



#### COMPLIANCE PATH CHOSEN:

PERSPECTIVE METHOD AS PER  
SECTION 9.3.6.2-9.3.6.4 of CBC

#### HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

#### CLIMATE ZONE 4

THESE PLANS CONFORM TO REQUIREMENTS IN THE  
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#### TOORA HOME PLANS

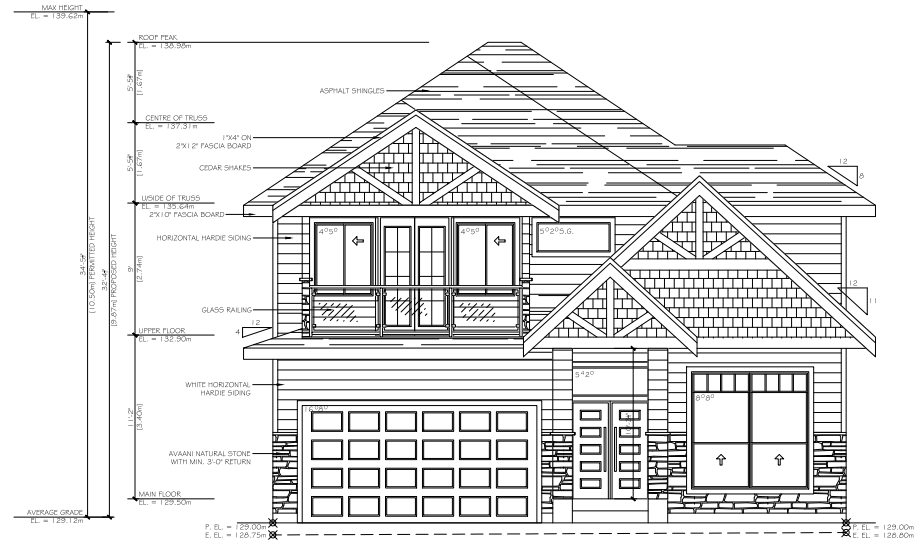
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PROPOSED SINGLE FAMILY DWELLING  
LOT #2 @ AISLA AVENUE  
PORT MOODY, B.C.

TITLE: MAIN & UPPER FLOOR PLAN  
SCALE: 1/4" = 1' DESIGNER: RAJ TOORA  
DATE: APRIL 2022 DRAWN BY:

A2





FRONT ELEVATION  
SCALE: 1/4"= 1'



REAR ELEVATION  
SCALE: 1/4"= 1'

#### CLIMATE ZONE 4

THESE PLANS CONFORM TO REQUIREMENTS IN THE  
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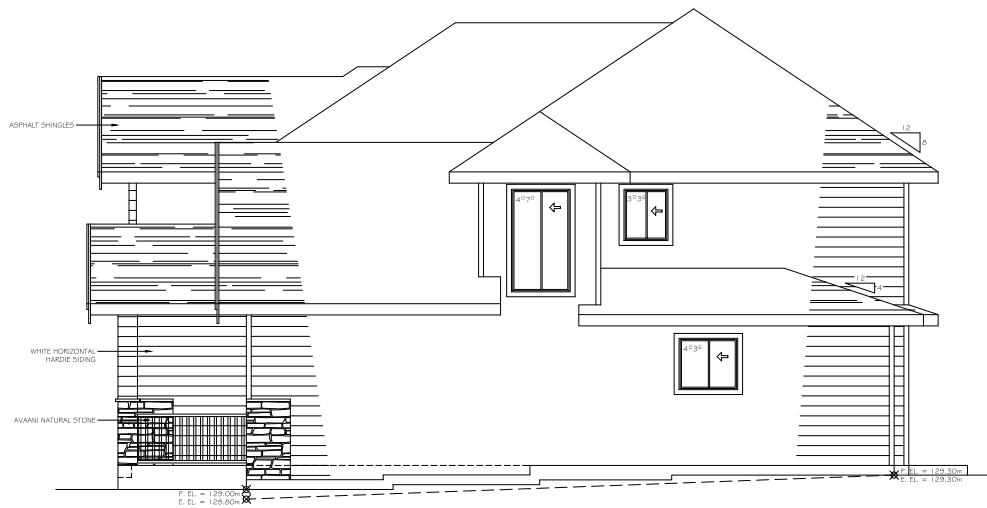
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PROPOSED SINGLE FAMILY DWELLING  
LOT #2 @ AISLA AVENUE  
PORT MOODY, B.C.

TITLE:	FRONT & REAR ELEVATIONS	
SCALE:	1/4"= 1'	DESIGNER: RAJ TOORA
DATE:	APRIL 2022	DRAWN BY:

A3



RIGHT ELEVATION  
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.20m
TOTAL EXPOSED WALL AREA	561 SQ. FT.
PERMITTED OPENING (9.25%)	52 SQ. FT.
PROPOSED OPENING	45.0 SQ. FT.



LEFT ELEVATION  
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.20m
TOTAL EXPOSED WALL AREA	1017 SQ. FT.
PERMITTED OPENING (7.0%)	71 SQ. FT.
PROPOSED OPENING	55.5 SQ. FT.

#### COMPLIANCE PATH CHOSEN:

PERSPECTIVE METHOD AS PER  
SECTION 9.3G.2-9.3G.4 of CBC

#### HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

#### CLIMATE ZONE 4

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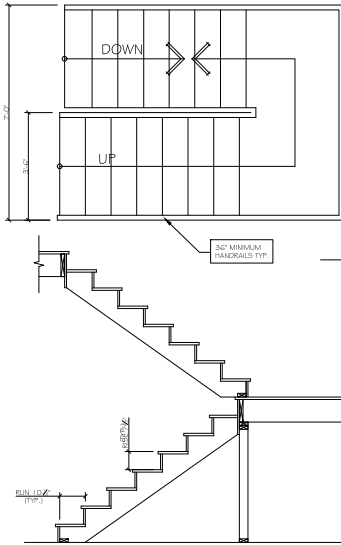
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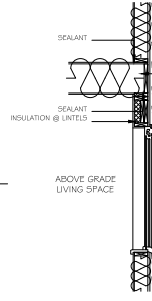
PROPOSED SINGLE FAMILY DWELLING  
LOT #2 @ AISLA AVENUE  
PORT MOODY, B.C.

TITLE	SIDE ELEVATIONS	DESIGNER	RAJ TOORA
SCALE	1/4" = 1'	DRAWN BY	
DATE	APRIL 2022		

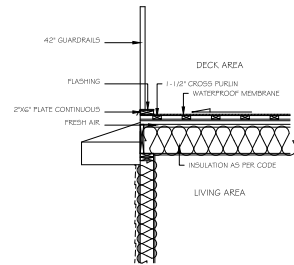
A4



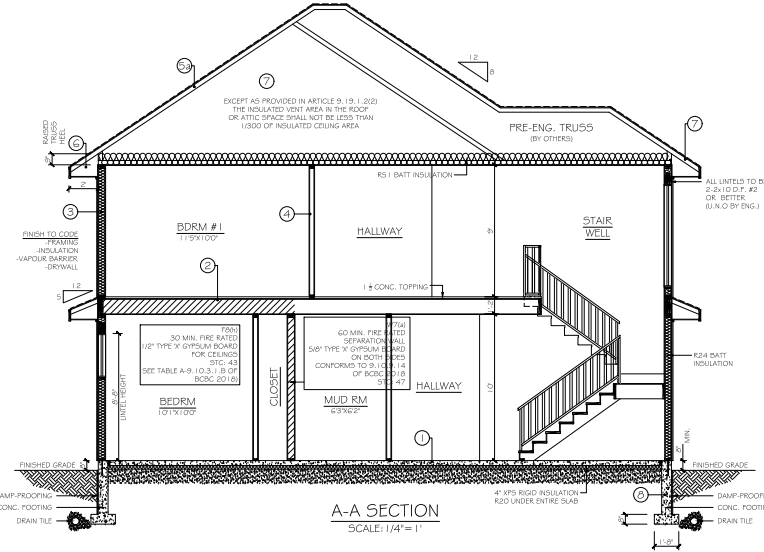
**STAIR DETAIL**  
SCALE: 1/2" = 1'



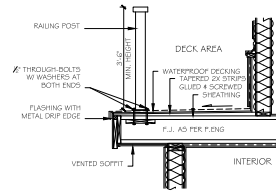
**OPAQUE ABOVE GRADE WALL ASSEMBLY DETAIL**  
SCALE: 1/2" = 1'



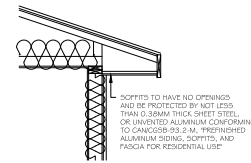
**DECK DETAIL FOR ENCLOSED ROOF**  
SCALE: 1/2" = 1'



**A-A SECTION**  
SCALE: 1/4" = 1'



**DECK DETAIL OVER GARAGE (SURFACE MOUNTED GUARDRAILS)**  
SCALE: 1/2" = 1'



**SOFFIT DETAIL**  
SCALE: 1/2" = 1'

## COMPLIANCE PATH CHOSEN:

PERSPECTIVE METHOD AS PER  
SECTION 9.36.2-9.36.4 of B.C.B.C.

## HEATING:

IN-FLOOR RADIANT HEAT WITH  
HRV SYSTEM FOR VENTILATION  
(PASSIVE AIR INLET FOR SECONDARY SUITE)

## CONSTRUCTION SPECIFICATIONS

1	MAIN FLOOR SLAB 2\"/>
2	UPPER FLOOR 1.8\"/>
3	EXTERIOR WALLS SHIMME FIBREGLASS SIDING 2 LAYERS 30 MIL BUILDING PAPER 3/4\"/>
4	INTERIOR PARTITIONS 7/16\"/>
5a	TRUSS ROOF CONTROL SHINGLE BUILDING PAPER 5/8\"/>
5b	FLAT ROOF TERRAZZO ROOF BUILDING PAPER 5/8\"/>
6	EAVES INTERNAL GUTTER SYSTEM 3/4\"/>
7	ATTIC VENTILATION 2\"/>
8	FOUNDATION SEE FOUNDATION DETAIL

## CLIMATE ZONE 4

THESE PLANS CONFORM TO REQUIREMENTS IN THE  
B.C. BUILDING CODE 2018.

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PROPOSED SINGLE FAMILY DWELLING  
LOT #2 @ AISLA AVENUE  
PORT MOODY, B.C.

TITLE	ELEVATIONS	DESIGNER	RAJ TOORA
SCALE	1/4" = 1'	DRAWN BY	
DATE	APRIL 2022		

A5