



DRAWING LIST:		
Cover		
A-0.000	Cover	
A-0.100	Data	
A-0.200	Zoning / OCP	
A-0.201	Site Context Plan	
A-0.202	Site Context Photos	
A-0.400	Perspective	
A-0.401	Perspective	
A-0.402	Perspective	
A-0.403	Perspective	
A-0.404	Perspective	
A-0.405	Perspective	
A-0.406	Perspective	
Site		
A-1.100	Survey (Reference)	1/8" = 1'-0"
A-1.200	Site Plan	1/8" = 1'-0"
A-1.300	Fire Department Access Plan	1/8" = 1'-0"
Plans		
A-2.010	Level P2 Parking Plan	1/8" = 1'-0"
A-2.020	Level P1 Parking Plan	1/8" = 1'-0"
A-2.100	Level 1 Floor Plan	1/8" = 1'-0"
A-2.200	Level 2 Floor Plan	1/8" = 1'-0"
A-2.300	Level 3 Floor Plan	1/8" = 1'-0"
A-2.400	Level 4 Floor Plan	1/8" = 1'-0"
A-2.500	Level 5 Floor Plan	1/8" = 1'-0"
A-2.600	Level 6 Floor Plan	1/8" = 1'-0"
A-2.700	Roof Plan	1/8" = 1'-0"
Enlarged Plans		
A-3.100	Unit Plans	
A-3.101	Unit Plans	
A-3.102	Unit Plans	
A-3.103	Unit Plans	
A-3.104	Unit Plans	
A-3.105	Unit Plans	
A-3.106	Unit Plans	
Elevations		
A-4.000	Street Elevations	1/8" = 1'-0"
A-4.100	North Elevation	1/8" = 1'-0"
A-4.110	West Elevation	1/8" = 1'-0"
A-4.120	South Elevation	1/8" = 1'-0"
A-4.130	East Elevation	1/8" = 1'-0"
A-4.140	North Courtyard Elevation	1/8" = 1'-0"
A-4.150	West Courtyard Elevation	1/8" = 1'-0"
A-4.160	South Courtyard Elevation	1/8" = 1'-0"
Sections		
A-5.110	Building Sections	1/8" = 1'-0"
A-5.120	Building Sections	1/8" = 1'-0"
Supplemental		
A-6.100	Materials & Finishes	
A-6.300	Shadow Study	

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ARCHITECTURAL DRAWING ISSUES:		
2022-05-27	Issue 1 - RZ/DP Submission	

Cover		
20560		
Friday, May 27, 2022		
RZ/DP SUBMISSION		
A-0.000		



(PROJECT NAME)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST JOHNS ST
PORT MOODY, BC

(TITLE)

ST JOHNS STREET | 3121 ST JOHNS ST
PORT MOODY BC

RZ/DP SUBMISSION

Friday, May 27, 2022
Drawings Not to Scale Unless Printed on 24" x 36" Paper

		1980	1985	1990	1995	2000	2005	2010	2015	2020	2025	2030	2035	2040	2045	2050	2055	2060	2065	2070	2075	2080	2085	2090	2095	2100	2105	2110	2115	2120	2125	2130	2135	2140	2145	2150	2155	2160	2165	2170	2175	2180	2185	2190	2195	2200	2205	2210	2215	2220	2225	2230	2235	2240	2245	2250	2255	2260	2265	2270	2275	2280	2285	2290	2295	2300	2305	2310	2315	2320	2325	2330	2335	2340	2345	2350	2355	2360	2365	2370	2375	2380	2385	2390	2395	2400	2405	2410	2415	2420	2425	2430	2435	2440	2445	2450	2455	2460	2465	2470	2475	2480	2485	2490	2495	2500	2505	2510	2515	2520	2525	2530	2535	2540	2545	2550	2555	2560	2565	2570	2575	2580	2585	2590	2595	2600	2605	2610	2615	2620	2625	2630	2635	2640	2645	2650	2655	2660	2665	2670	2675	2680	2685	2690	2695	2700	2705	2710	2715	2720	2725	2730	2735	2740	2745	2750	2755	2760	2765	2770	2775	2780	2785	2790	2795	2800	2805	2810	2815	2820	2825	2830	2835	2840	2845	2850	2855	2860	2865	2870	2875	2880	2885	2890	2895	2900	2905	2910	2915	2920	2925	2930	2935	2940	2945	2950	2955	2960	2965	2970	2975	2980	2985	2990	2995	3000	3005	3010	3015	3020	3025	3030	3035	3040	3045	3050	3055	3060	3065	3070	3075	3080	3085	3090	3095	3100	3105	3110	3115	3120	3125	3130	3135	3140	3145	3150	3155	3160	3165	3170	3175	3180	3185	3190	3195	3200	3205	3210	3215	3220	3225	3230	3235	3240	3245	3250	3255	3260	3265	3270	3275	3280	3285	3290	3295	3300	3305	3310	3315	3320	3325	3330	3335	3340	3345	3350	3355	3360	3365	3370	3375	3380	3385	3390	3395	3400	3405	3410	3415	3420	3425	3430	3435	3440	3445	3450	3455	3460	3465	3470	3475	3480	3485	3490	3495	3500	3505	3510	3515	3520	3525	3530	3535	3540	3545	3550	3555	3560	3565	3570	3575	3580	3585	3590	3595	3600	3605	3610	3615	3620	3625	3630	3635	3640	3645	3650	3655	3660	3665	3670	3675	3680	3685	3690	3695	3700	3705	3710	3715	3720	3725	3730	3735	3740	3745	3750	3755	3760	3765	3770	3775	3780	3785	3790	3795	3800	3805	3810	3815	3820	3825	3830	3835	3840	3845	3850	3855	3860	3865	3870	3875	3880	3885	3890	3895	3900	3905	3910	3915	3920	3925	3930	3935	3940	3945	3950	3955	3960	3965	3970	3975	3980	3985	3990	3995	4000	4005	4010	4015	4020	4025	4030	4035	4040	4045	4050	4055	4060	4065	4070	4075	4080	4085	4090	4095	4100	4105	4110	4115	4120	4125	4130	4135	4140	4145	4150	4155	4160	4165	4170	4175	4180	4185	4190	4195	4200	4205	4210	4215	4220	4225	4230	4235	4240	4245	4250	4255	4260	4265	4270	4275	4280	4285	4290	4295	4300	4305	4310	4315	4320	4325	4330	4335	4340	4345	4350	4355	4360	4365	4370	4375	4380	4385	4390	4395	4400	4405	4410	4415	4420	4425	4430	4435	4440	4445	4450	4455	4460	4465	4470	4475	4480	4485	4490	4495	4500	4505	4510	4515	4520	4525	4530	4535	4540	4545	4550	4555	4560	4565	4570	4575	4580	4585	4590	4595	4600	4605	4610	4615	4620	4625	4630	4635	4640	4645	4650	4655	4660	4665	4670	4675	4680	4685	4690	4695	4700	4705	4710	4715	4720	4725	4730	4735	4740	4745	4750	4755	4760	4765	4770	4775	4780	4785	4790	4795	4800	4805	4810	4815	4820	4825	4830	4835	4840	4845	4850	4855	4860	4865	4870	4875	4880	4885	4890	4895	4900	4905	4910	4915	4920	4925	4930	4935	4940	4945	4950	4955	4960	4965	4970	4975	4980	4985	4990	4995	5000
Commercial Garbage																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														

GROSS FLOOR AREA (GFA)									
Floor Areas		Residential (GFA)	Commercial (GFA)	Common Areas		Total Area	Total Floor Area	GFA/m ²	
Level	ST			Common	Utility				
Level 1	14,118.00	4,802.00	1,900.00	1,389.00	8,100.00	36,207.00	36,207.00	2,554.77	
Level 2	22,226.00	0.00	0.00	2,074.00	2,074.00	30,896.00	30,896.00	2,330.45	
Level 3	22,226.00	0.00	0.00	2,074.00	2,074.00	30,896.00	30,896.00	2,330.45	
Level 4	22,226.00	0.00	0.00	2,074.00	2,074.00	30,896.00	30,896.00	2,330.45	
Level 5	22,226.00	0.00	0.00	2,074.00	2,074.00	30,896.00	30,896.00	2,330.45	
Level 6	22,226.00	0.00	0.00	2,074.00	2,074.00	30,896.00	30,896.00	2,330.45	
Level 7	22,226.00	0.00	0.00	2,074.00	2,074.00	30,896.00	30,896.00	2,330.45	
Area Totals	118,142.00	4,802.00	1,900.00	13,889.00	0.00	167,732.00	167,732.00	925	

Commercial Unit Areas								
Unit Types	Floor Areas				Total	Number of Units	Total Unit Area	% of Use
	Level	Gr	Gr	Second				
CU-A	1.5	4,000.00	29.97	400.00	4,630.00	8	4,630.00	100.00
Total					4,630.00	8	4,630.00	100.00

APARTMENT UNIT MIX			
	Units	Percentage	
Studio	4	3.3%	
1 Bedroom	10	61.5%	Apartment Units
2 Bedroom	40	24.3%	Required/Possible
3 Bedroom	2	12.9%	55 Units
Total	156	100.0%	Family Dwell Units 35.4%



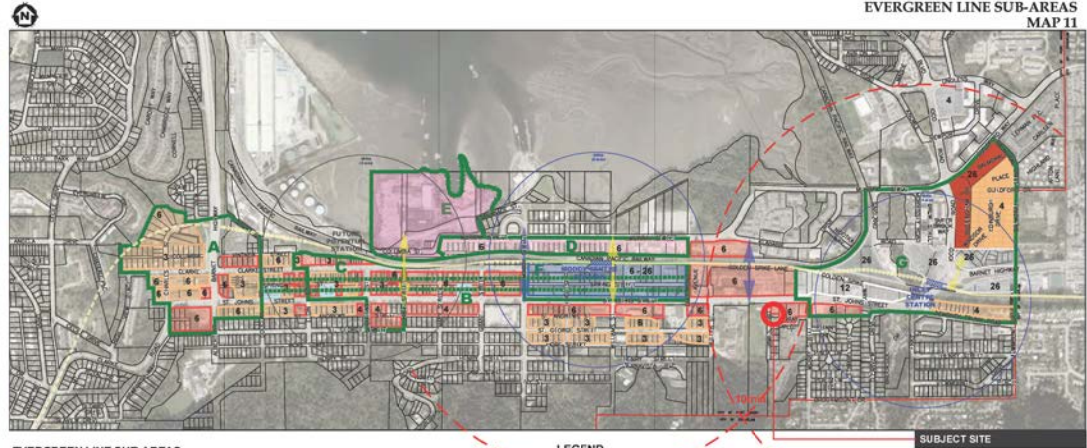
EXISTING ZONING - P2 (PRIVATE INSTITUTIONAL) & RM1 (SEMI-DETACHED AND TOWNHOUSE RESIDENTIAL)



OCP DESIGNATION - MIXED USE MOODY CENTRE



ENVIRONMENTAL - ESA AND WATERCOURSES



EVERGREEN LINE SUB AREAS

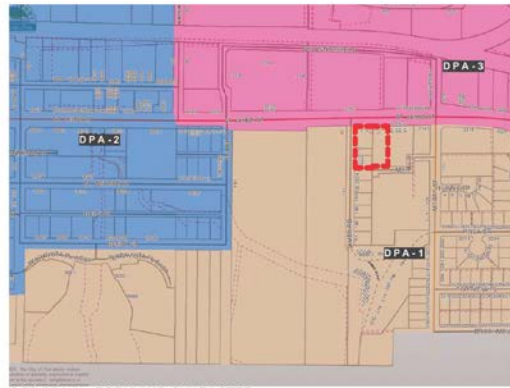
- A** Westport
- B** Spring Street Promenade
- C** Heritage Commercial District
- D** Murray Street Boulevard
- E** Oceanfront District
- F** Moody Centre Station Transit Oriented Development
- G** Inlet Centre Station Transit Oriented Development

LEGEND

- Mixed Use - Residential**
- High-Rise Residential**
- Mixed Use - Inlet Centre**
- Mixed Use - Moody Centre**
- Moody Centre Station Transit Oriented Development**
- Public and Institutional**
- Mixed Employment**
- Mixed Use - Oceanfront District**
- Evergreen Line - Tunnel**
- Evergreen Line - Elevated**
- Evergreen Line - Ground Level**
- 400m Radius from Station (> 5-min Walk)**
- Existing Connections**
- Future Connections**
- Proposed Number of Storeys**
- Municipal Boundary**

OCP MAP 11 - EVERGREEN LINE SUB AREAS

PROJECT LOCATED OUTSIDE OF DESIGNATED EVERGREEN LINE SUB-AREAS
ESTIMATED 10 MIN WALK TO INLET CENTRE STATION



OCP DPA 1 - FORM AND CHARACTER

OFFICIAL COMMUNITY PLAN EVERGREEN LINE SUB-AREAS MAP 11



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET

5121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Zoning / OCP

(PROJECT)

20560

(SCALE)

Friday, May 27, 2022

(DATE)

RZ/CP SUBMISSION

(DROVE)

(DRAWING)

A-0.200



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(PROJECT TEAM)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET

3121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Site Context Plan

(PROJECT)

20560

(SCALE)

Friday, May 27, 2022

(DATE)

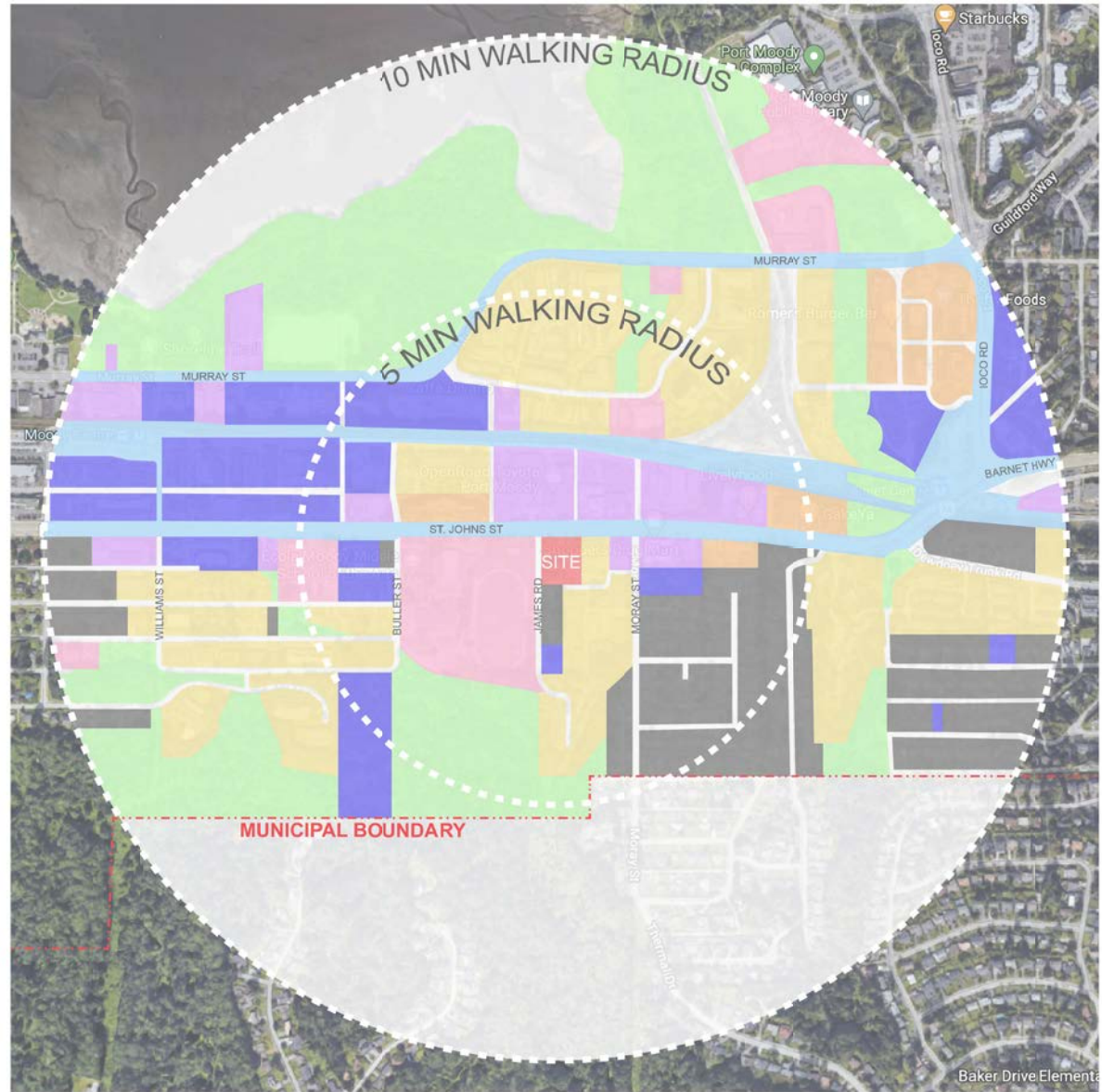
RZ/CP SUBMISSION

(SUBJECT)

(DRAWING)

A-0.201

- PARKS & GREENSPACE
- TRANSIT ROUTE
- DEVELOPMENT APPLICATIONS
- COMMUNITY BUILDINGS
- COMMERCIAL
- MIXED-USE
- MULTI-FAMILY RESIDENTIAL
- SINGLE-FAMILY RESIDENTIAL





SITE CONTEXT - AERIAL VIEW NORTH



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET

1121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Site Context
Photos

(PROJECT)

20660

(SCALE)

Friday, May 27, 2022

(DATE)

RZ/DP SUBMISSION

(DRAWING)

A-0.202



1 St. John's St - View of Lobby



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(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST. JOHNS ST
PORT MOODY, BC

(TITLE)

Perspectives

20560 (PROJECT)

(SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (DISPOS)

(DRAWING)

A-0.400



1 St. John's St - Elevation View



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(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST. JOHN'S ST
PORT MOODY, BC

(TITLE)

Perspectives

20560 (PROJECT)

(SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (DISCLOSURE)

(DRAWING)

A-0.401



1 Corner of St. John's St & James Rd



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET

3121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Perspectives

2022 (PROJECT)

(SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (DRAWING)

(DRAWING)

A-0.402



1 James Rd - Elevation View



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(PROJECT NAME)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST. JOHNS ST
PORT MOODY, BC

(TITLE)

Perspectives

20560 (PROJECT)

(SCALE)

Friday, May 27, 2022 (DATE)

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1 Moray Place - South Elevation



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(DRAWING)

(PROJECT)



1 Courtyard - Looking East



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST JOHNS ST
PORT MOODY, BC

(TITLE)

Perspectives

20660 (PROJECT)

(SCALE)

Friday, May 27, 2022 (DATE)

RZ/CP SUBMISSION (DROVE)

(DRAWING)

A-0.405



1 Courtyard - Looking South-West



2 Courtyard - Looking North-West



3 Courtyard - Amenity Entrances



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

(TITLE)

3121 ST JOHNS ST

PORT MOODY, BC

(TITLE)

Perspectives

(PROJECT)

20560

(SCALE)

Friday, May 27, 2022

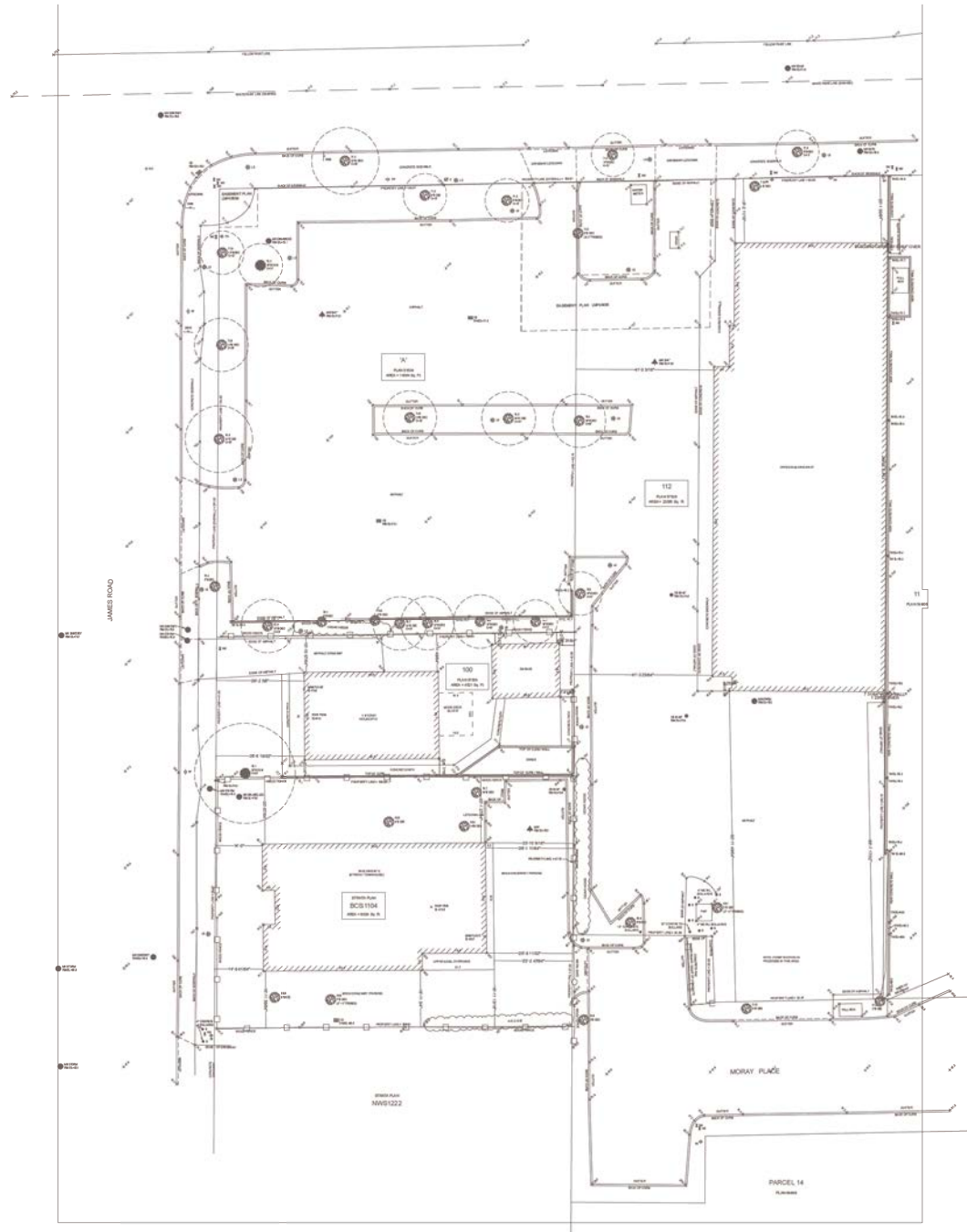
(DATE)

RZ/DP SUBMISSION

(DROVE)

(DRAWING)

A-0.406



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET
3121 ST JOHNS ST
PORT MOODY, BC

(TITLE)

Survey
(Reference)

(PROJECT)

20560

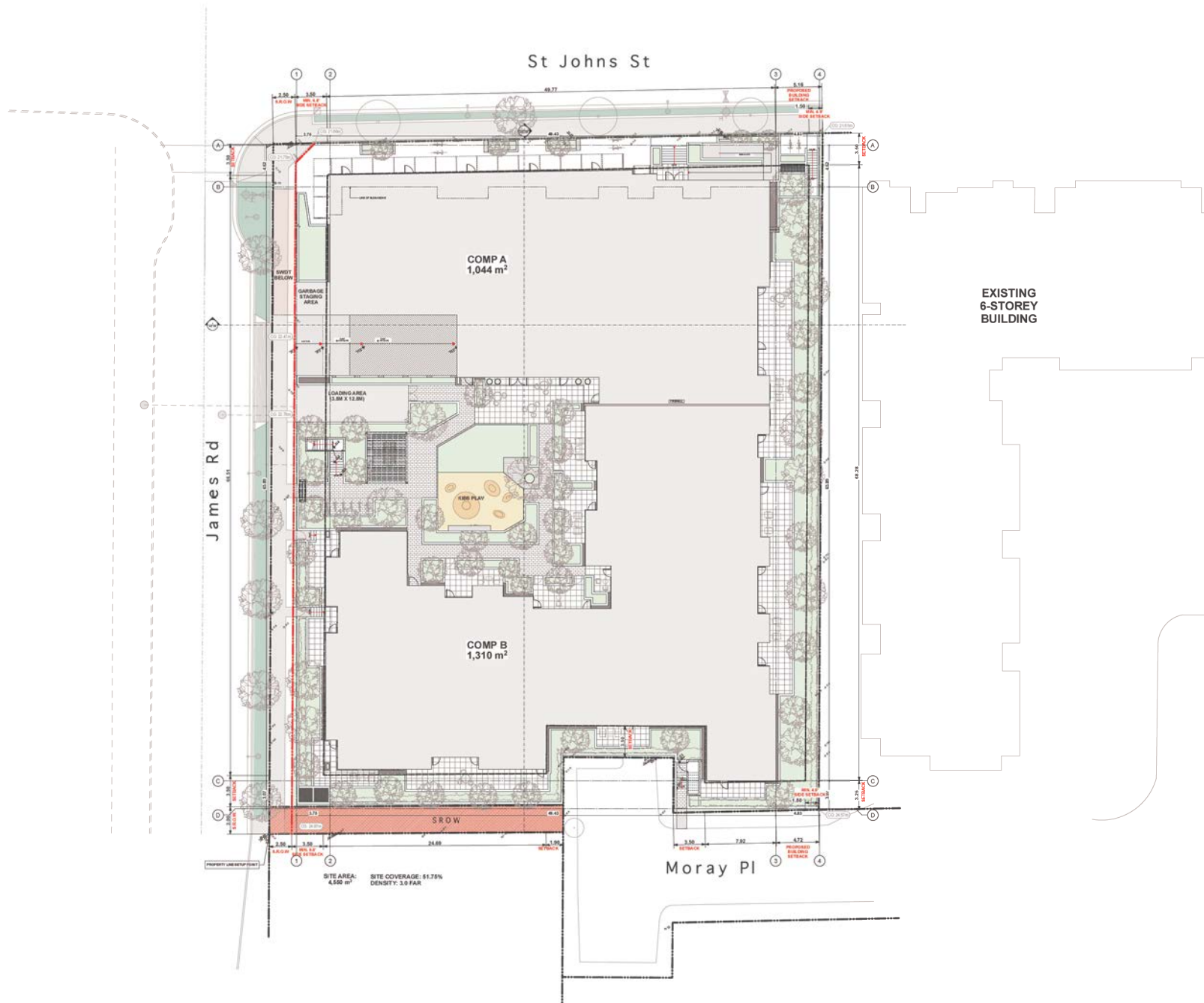
1/16" = 1'-0"

Friday, May 27, 2022

RZ/DP SUBMISSION

(DRAWING)

A-1.100



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(PROJECT YEAR)

EXISTING
6-STORY
BUILDING



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET
3121 ST JOHNS ST
PORT MOODY, BC

(TITLE)

Site Plan

20560 (PROJECT)

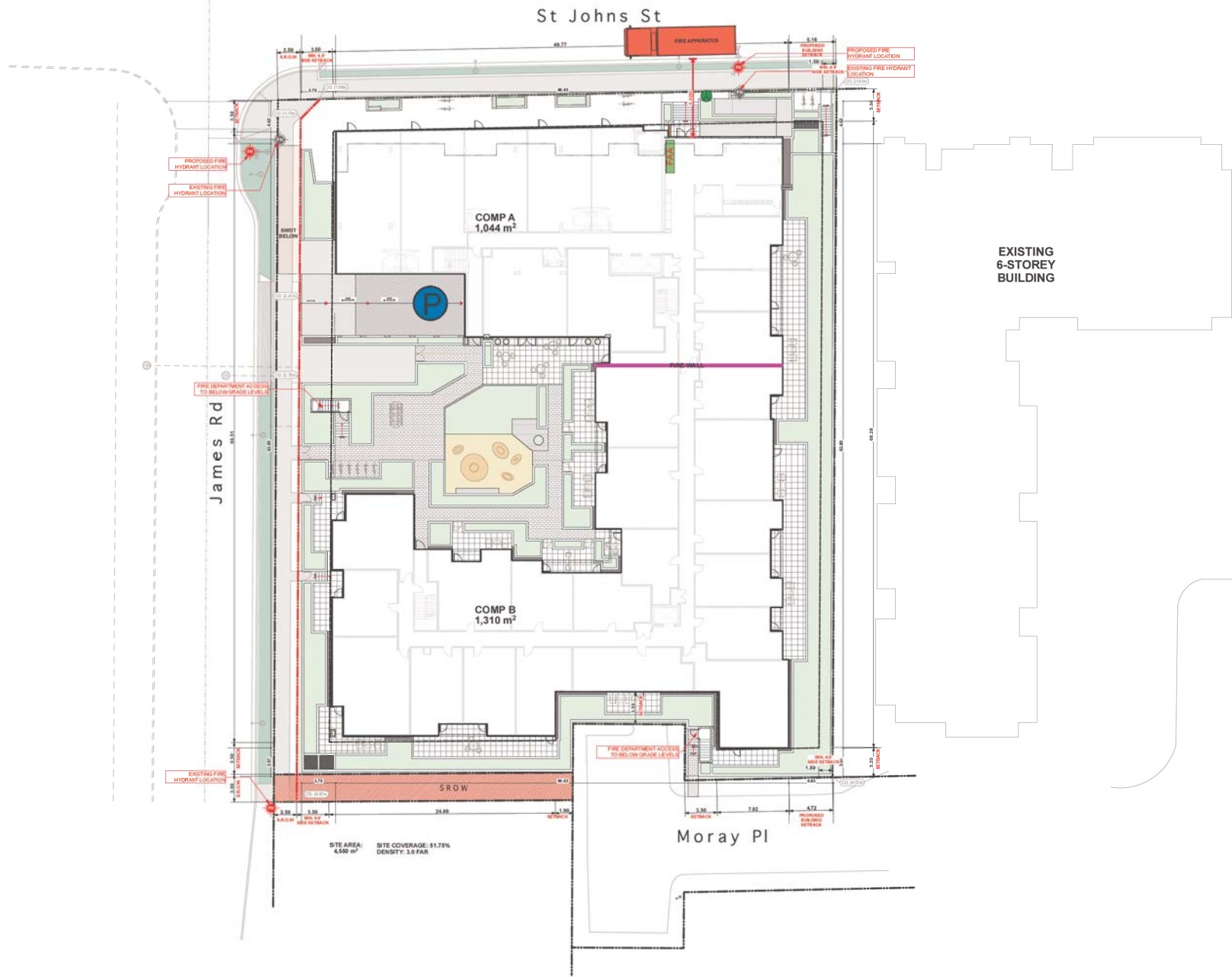
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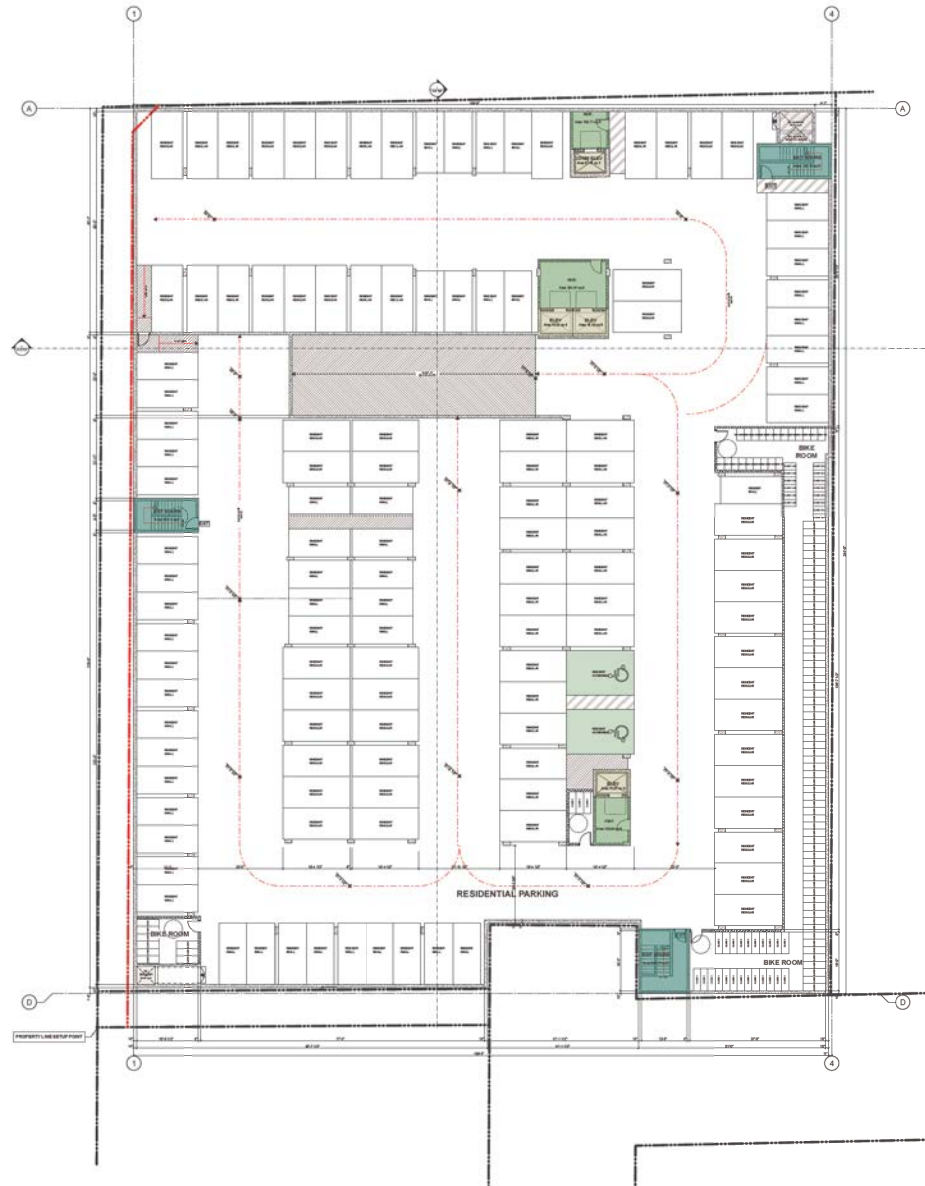
Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (SUBMIT)

(DRAWING)

A-1.200





BICYCLES P1			
	LEVEL	TYPE	SUBTYPE
BICYCLES	Level P2 Parking Plan	CLASS 1	99
BICYCLES	Level P2 Parking Plan	CLASS 1(V)	35
BICYCLES	Level P1 Parking Plan	CLASS 1	49
BICYCLES	Level P1 Parking Plan	CLASS 1(V)	106
			289

PARKING SUMMARY		
	TYPE	SUBTYPE
PARKING, Level P1 Parking Plan		
	COMMERCIAL	REGULAR
		8
	COMMERCIAL	SMALL
		3
	RESIDENT	ACCESSIBLE
		2
	RESIDENT	REGULAR
		43
	RESIDENT	SMALL
		29
	VISITOR	ACCESSIBLE
		1
	VISITOR	REGULAR
		16
	VISITOR	SMALL
		11
		113

PARKING P2		
	TYPE	SUBTYPE
PARKING, Level P2 Parking Plan		
	RESIDENT	ACCESSIBLE
		2
	RESIDENT	REGULAR
		72
	RESIDENT	SMALL
		54
		128

*ALL STALLS TO BE READY FOR EV CHARGING LEVEL 2



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET
3121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Level P2 Parking Plan

20560 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (SUBJECT)

(DRAWING)

A-2.010



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(PROJECT YEAR)



BICYCLES P1			
	LEVEL	TYPE	SUBTYPE
BICYCLES	Level P2 Parking Plan	CLASS 1	
			99
BICYCLES	Level P2 Parking Plan	CLASS 1(V)	
			35
BICYCLES	Level P1 Parking Plan	CLASS 1	
			49
BICYCLES	Level P1 Parking Plan	CLASS 1(V)	
			106
			289

PARKING SUMMARY		
	TYPE	SUBTYPE
PARKING, Level P1 Parking Plan		
	COMMERCIAL	REGULAR
		8
	COMMERCIAL	SMALL
		3
	RESIDENT	ACCESSIBLE
		2
	RESIDENT	REGULAR
		43
	RESIDENT	SMALL
		29
	VISITOR	ACCESSIBLE
		1
	VISITOR	REGULAR
		15
	VISITOR	SMALL
		11
		113

PARKING P2		
	TYPE	SUBTYPE
PARKING, Level P2 Parking Plan		
	RESIDENT	ACCESSIBLE
		2
	RESIDENT	REGULAR
		72
	RESIDENT	SMALL
		54
		128

*ALL STALLS TO BE READY FOR EV CHARGING LEVEL 2



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET
3121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Level P1 Parking
Plan

(PROJECT)

20560

1/16" = 1'-0"

Friday, May 27, 2022

RZ/DP SUBMISSION

(DRAWING)

A-2.020



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(PROJECT YEAR)

EXISTING
6-STORY
BUILDING



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET
3128 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Level 1 Floor Plan

20560 (PROJECT)

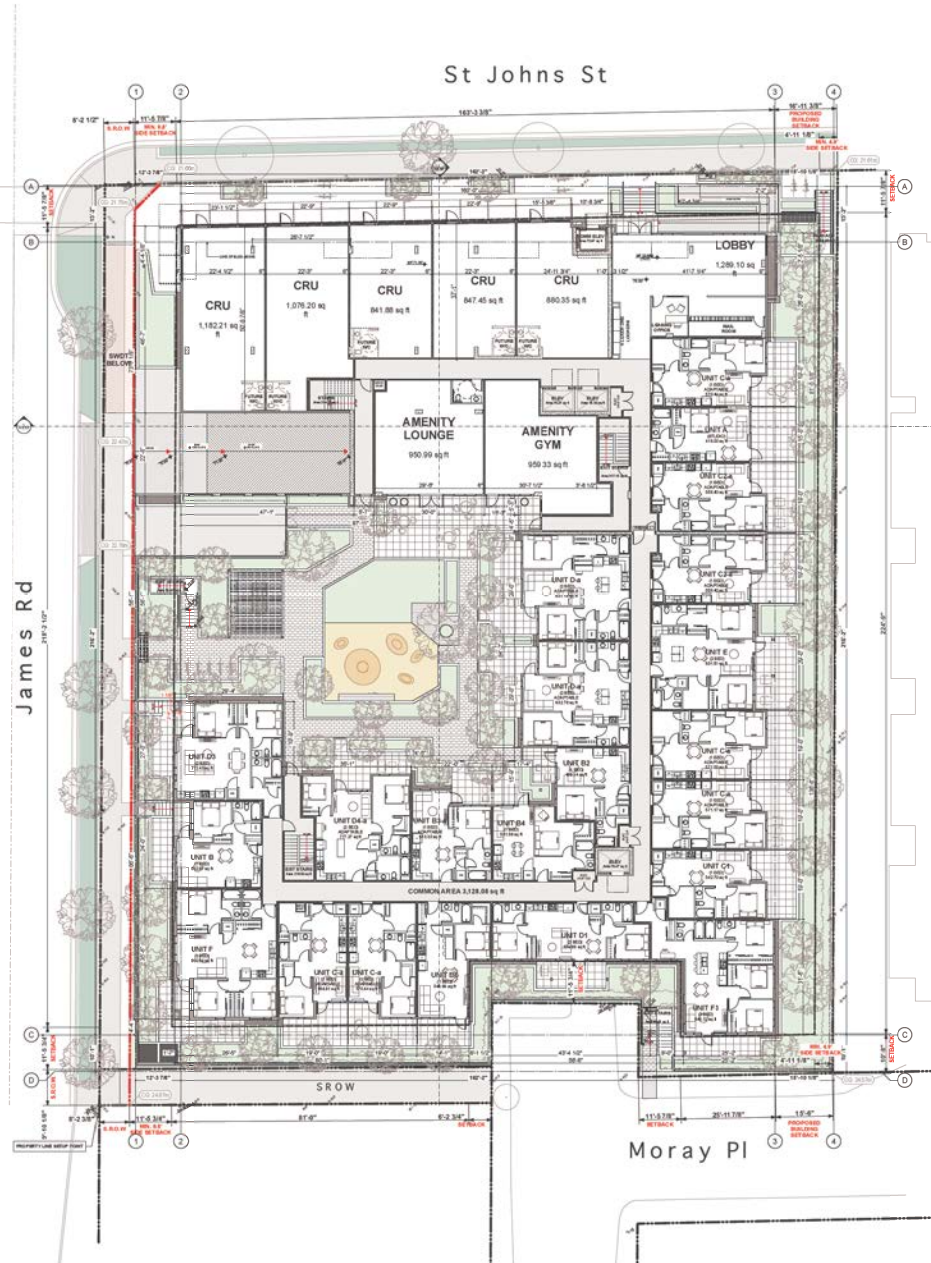
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Friday, May 27, 2022 (DATE)

RZ/CP SUBMISSION (SUBJECT)

(DRAWING)

A-2.100





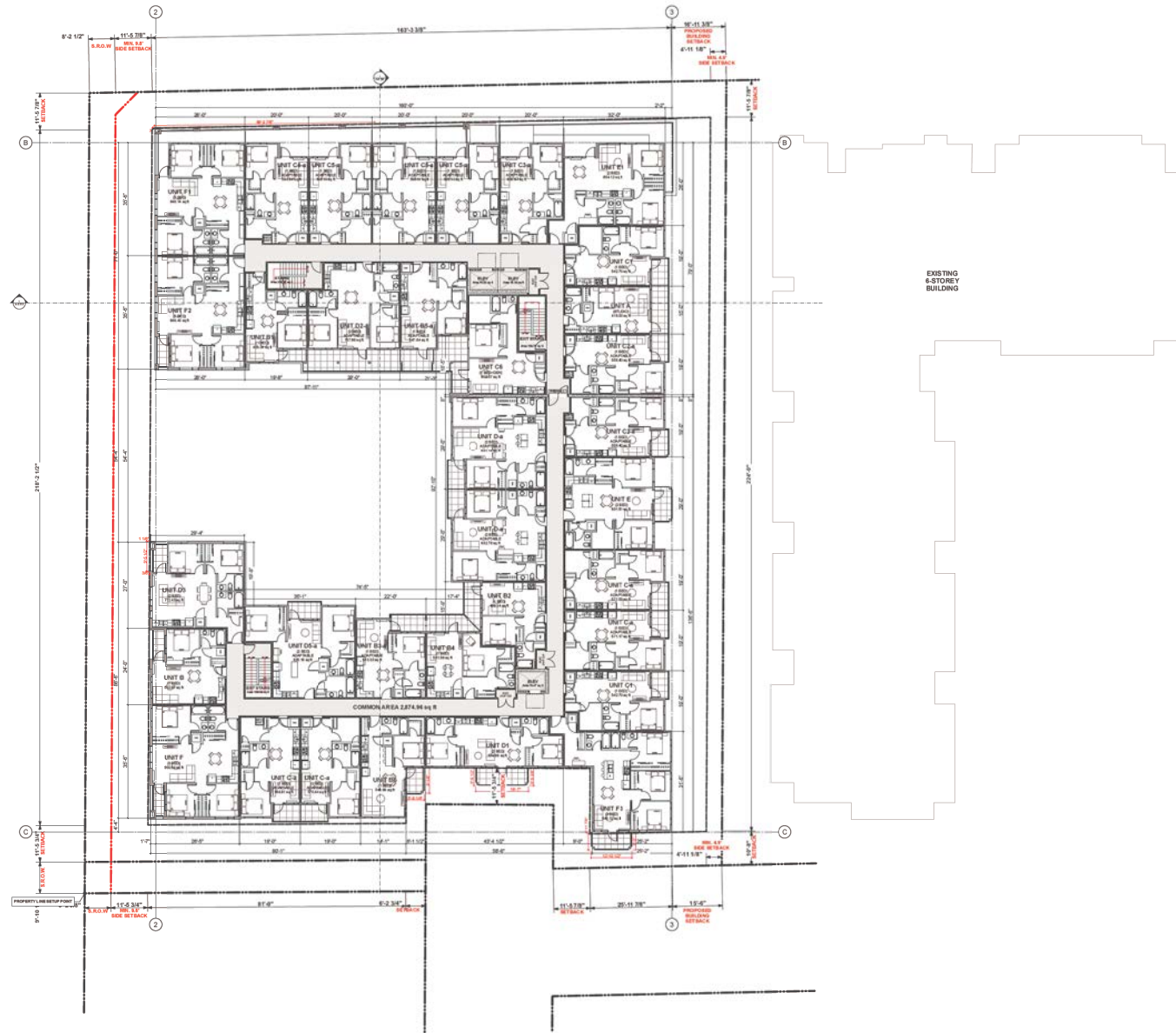
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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST. JOHNS STREET
3121 ST. JOHNS ST
PORT MOODY, BC

(TITLE)

Level 2 Floor Plan

20560 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (SUBJECT)

(DRAWING)

A-2.200



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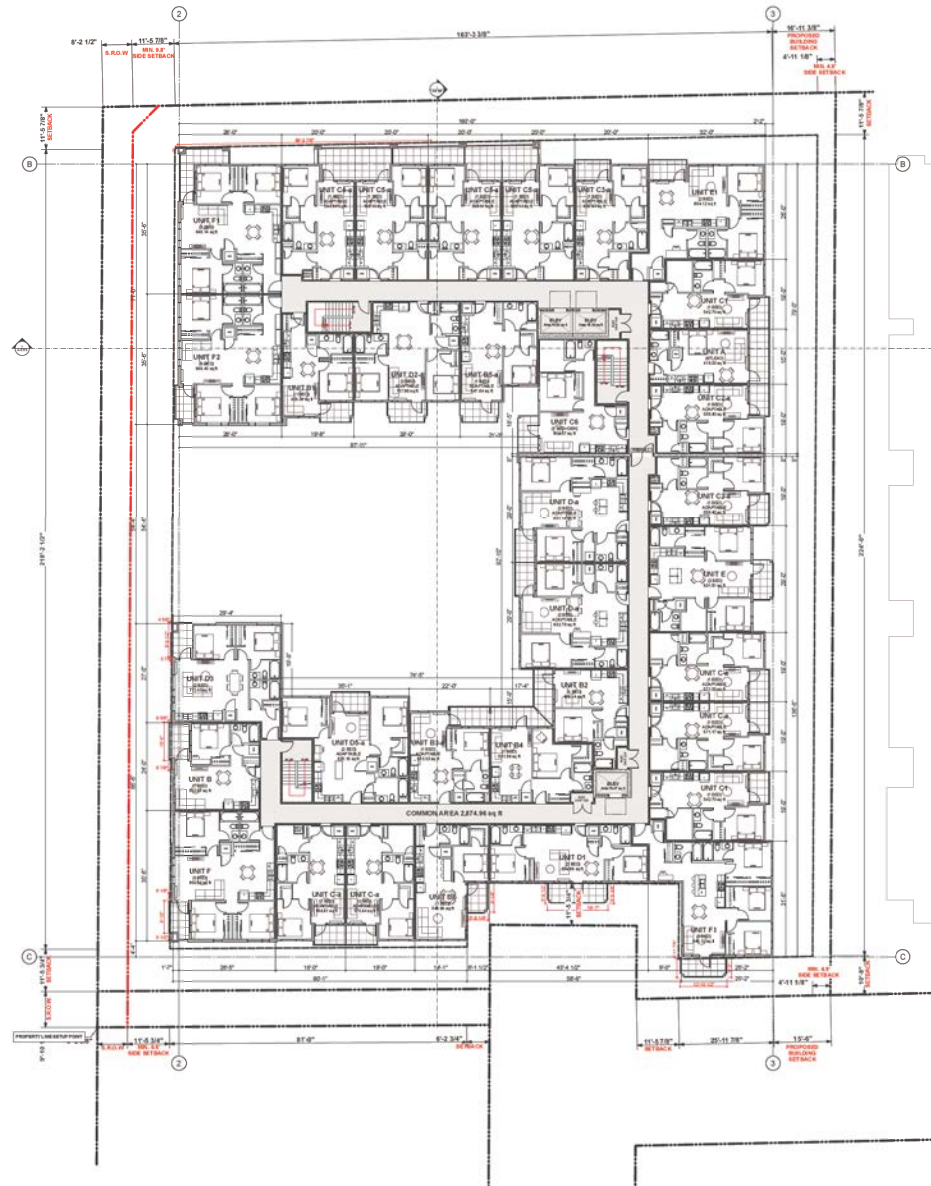
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(PROJECT YEAR)



EXISTING
6-STORY
BUILDING



ANTHEM PROPERTIES

ST. JOHNS STREET
3121 ST. JOHN'S ST
PORT MOODY, BC

Level 3 Floor Plan

20560 (PROJECT)
1/16" = 1'-0" (SCALE)
Friday, May 27, 2022 (DATE)
RZ/DP SUBMISSION (DISPOS)
(DRAWING)

A-2.300



Integra

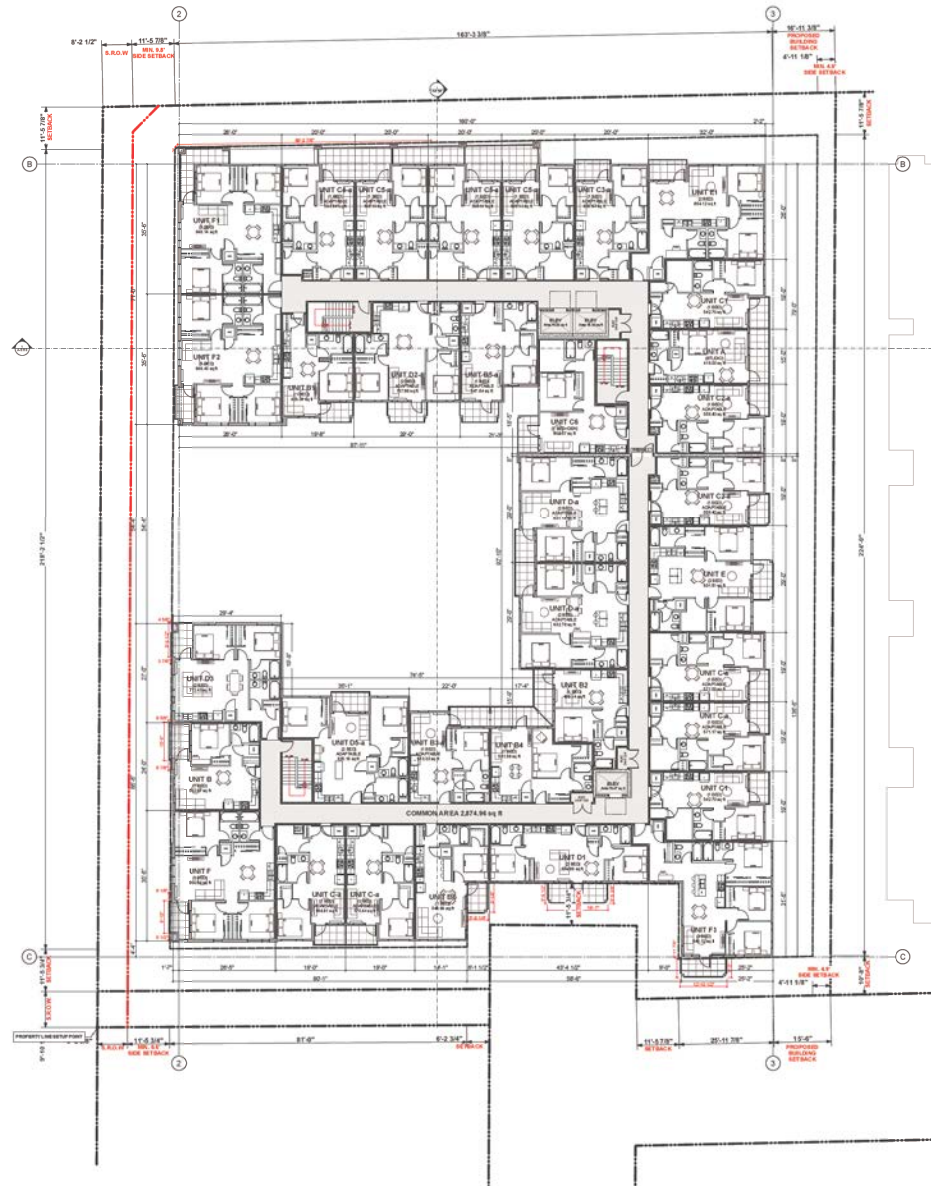
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EXISTING
6-STORY
BUILDING



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST. JOHNS STREET
3121 ST. JOHN'S ST
PORT MOODY, BC

(TITLE)

Level 4 Floor Plan

20660 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (SUBJECT)

(DRAWING)

A-2.400



Integra

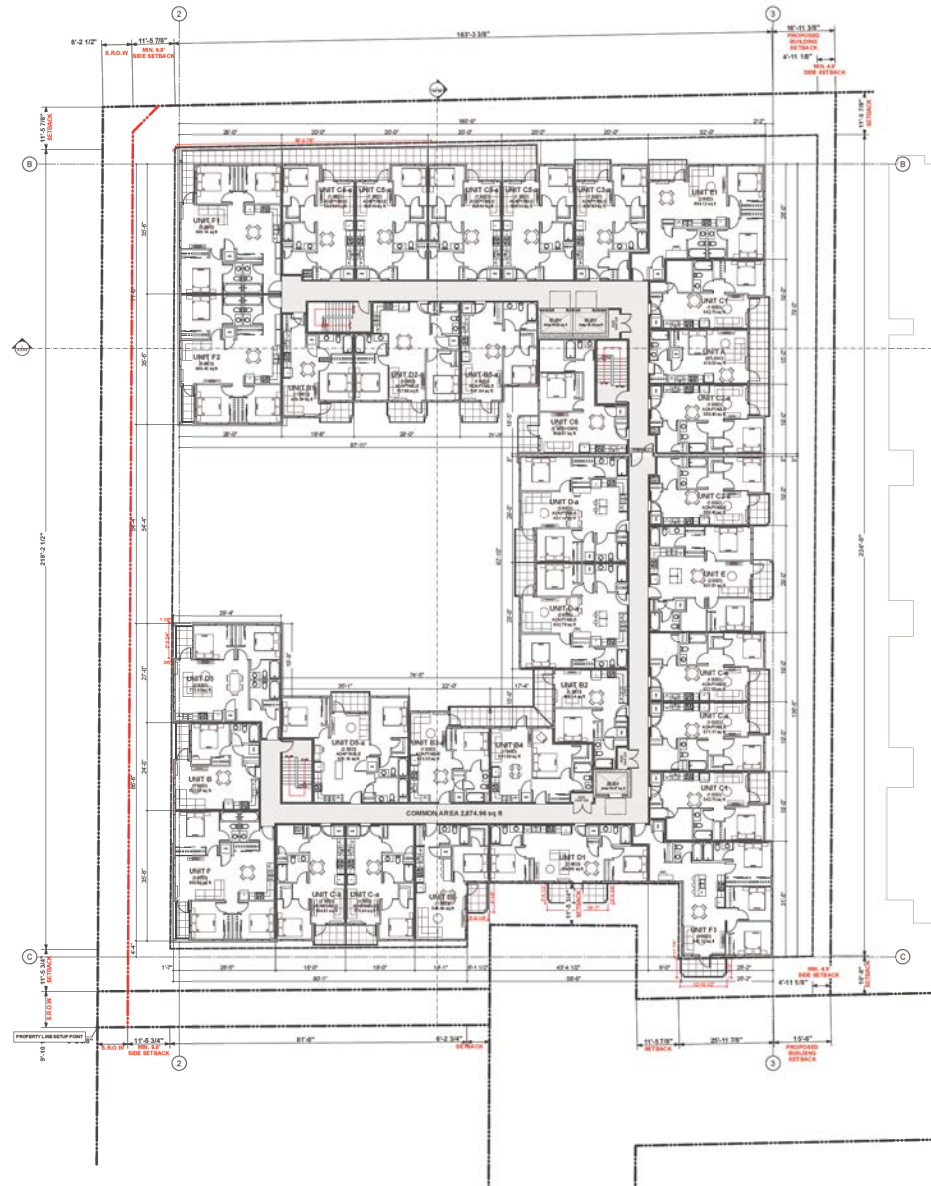
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(PROJECT YEAR)



EXISTING
6-STORY
BUILDING



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET
3121 ST JOHN'S ST
PORT MOODY, BC

(TITLE)

Level 5 Floor Plan

20560 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (SUBJECT)

(DRAWING)

A-2.500

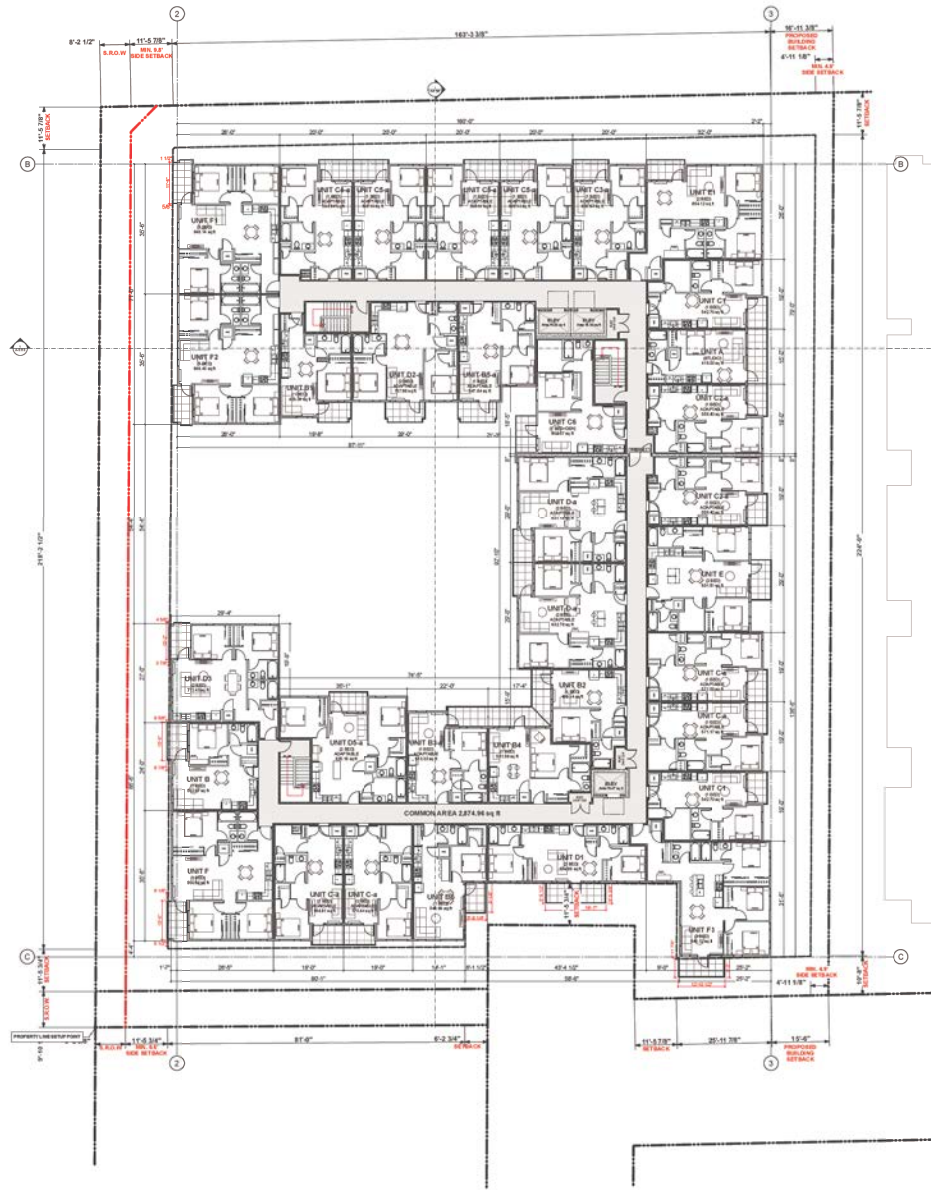


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EXISTING
6-STORY
BUILDING



ANTHEM PROPERTIES

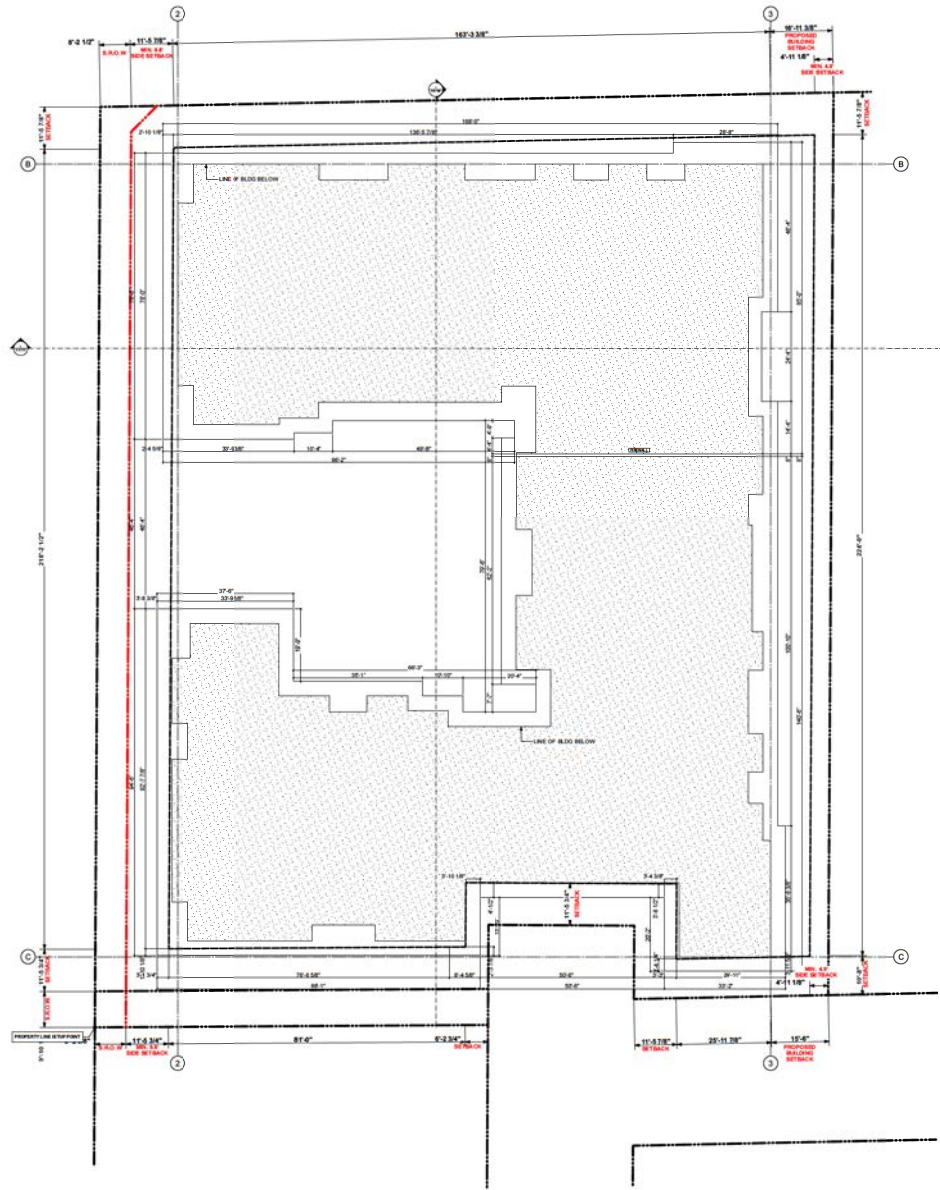
ST. JOHNS STREET
3121 ST. JOHN'S ST
PORT MOODY, BC

Level 6 Floor Plan

20560 (PROJECT)
1/16" = 1'-0" (SCALE)
Friday, May 27, 2022 (DATE)
RZ/DP SUBMISSION (REVISE)
A-2.600 (DRAWING)



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ANTHEM PROPERTIES
(PROJECT)

ST. JOHNS STREET
3121 ST. JOHNS ST
PORT MOODY, BC

Roof Plan

20560 (PROJECT)
1/16" = 1'-0" (SCALE)
Friday, May 27, 2022 (DATE)
RZ/CP SUBMISSION (SUBJECT)
(DRAWING)

A-2.700



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B Units	
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A-3.111	UNIT B1
A-3.112	UNIT B2
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A-3.512	UNIT F2
A-3.513	UNIT F3

A-3.001



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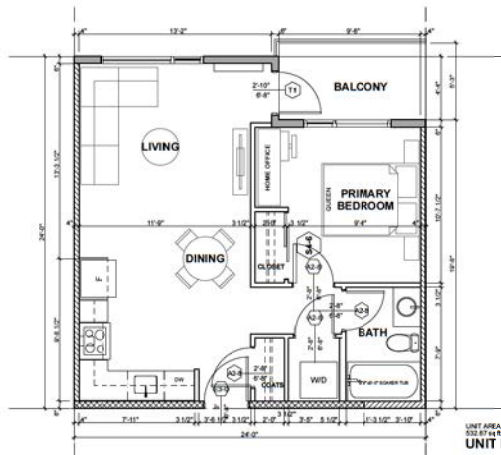
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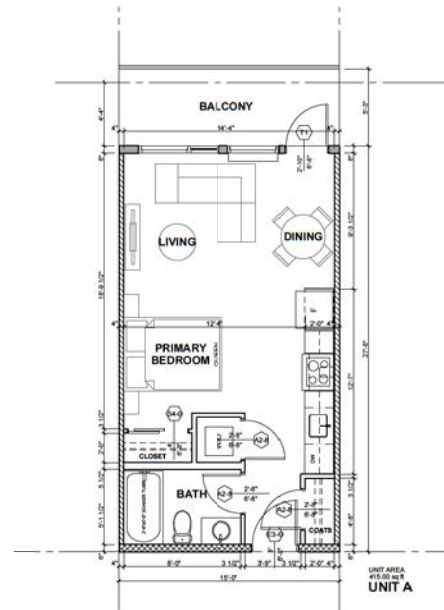
PROJECT NAME
PROJECT NO.

PROJECT NAME
PROJECT NO.



UNIT AREA
433.04 SQ FT
UNIT B

A-3.110



UNIT AREA
415.00 SQ FT
UNIT A



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PROJECT NO.



ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST JOHNS ST
PORT MOODY, BC

(TITLE)

Unit Plans

(PROJECT)

Unit B1

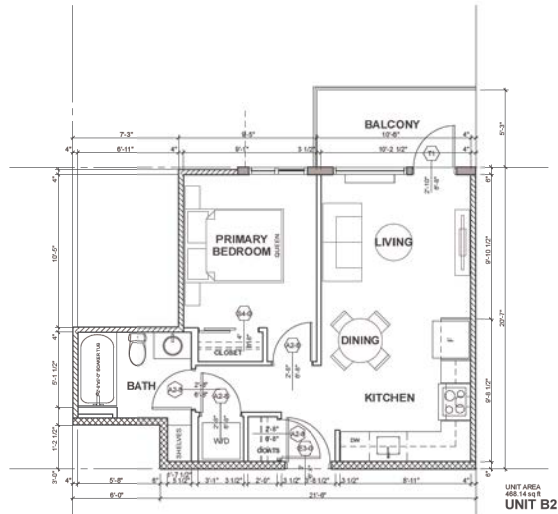
(SCALE)

Friday, May 27, 2022

RZ/CP SUBMISSION

(DRAWING)

A-3.100



NOTES:
ALL DOORWAYS WITHIN UNIT SHALL HAVE A CLEAR MINIMUM OPENING WIDTH OF NOT LESS THAN 36".
INTERNAL UNIT CORRIDORS AND PASSAGeways SHALL BE A MINIMUM OF 36" MIN. WIDTH.
WALLS ADJACENT TO THE TOILET, BATHROOM OR SHOWER SHALL ACCOMMODATE FUTURE INSTALLATION OF GREASE TRAP. ANY WALL RESIST VERTICAL LOAD NOT LESS THAN 1.5 kN.
FACETS SHALL BE DESIGNED TO BE REMOVABLE WITHOUT TIGHT GRIPPING. FINISHES TO THE TUBES OF THE UNIT SHALL BE TIED INTO FIRE ALARM SYSTEM FOR FUTURE INSTALLATION OF SUCH ALARM IN LIVING ROOM AND BEDROOMS.
ELECTRICAL, TELEPHONE CABLE AND DATA OUTLETS SHALL BE LOCATED BETWEEN 400 mm and 1200 mm ABOVE THE FLOOR.
SWITCHES AND CONTROLS SHALL BE LOCATED 900 mm AND 1200 mm ABOVE THE FLOOR AND OPERABLE WITH A CLOSED FIST.

ENTRY DOOR, BEDROOM DOOR, BATHROOM DOOR SWING CLEARANCE SHALL BE PROVIDED AS FOLLOWS:
WHEN THE DOOR SWINGS OUT, A MINIMUM CLEARANCE OF 1220 MM WILL BE PROVIDED IN THE CORRIDOR TO ACCOMMODATE THE DOOR SWING MOVEMENT. A 300 MM CLEAR SPACE BESIDE THE LATCHING JAMB OF THE DOOR WILL ALSO BE PROVIDED.
WHEN THE DOOR SWINGS IN, A MINIMUM CLEARANCE OF 1000 MM WILL BE PROVIDED IN THE ENTRANCE WAY TO ACCOMMODATE THE DOOR SWING MOVEMENT. A 300 MM CLEAR SPACE BESIDE THE LATCHING JAMB OF THE DOOR WILL ALSO BE PROVIDED.

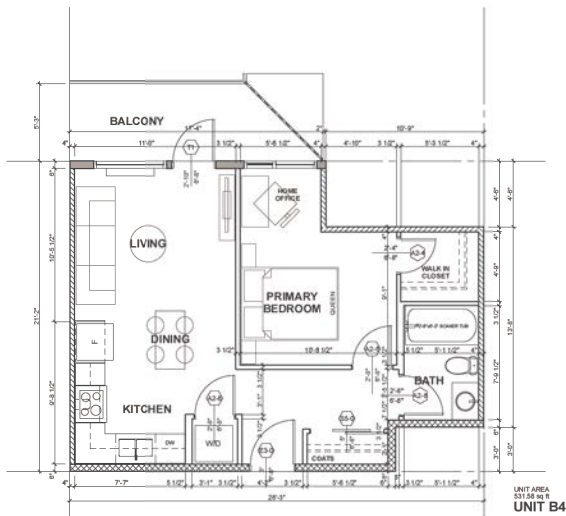
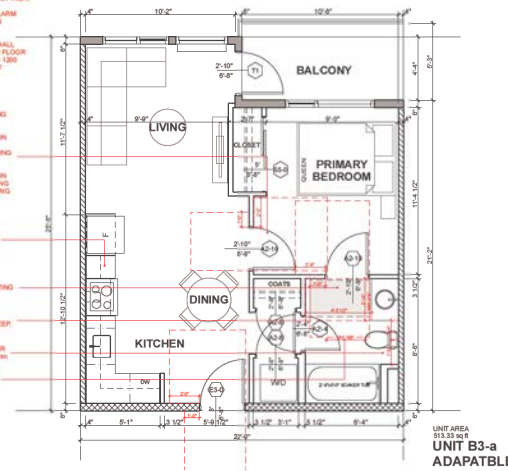
KITCHEN SHALL BE DESIGNED SUCH THAT THE RANGE AND SINK ARE ADJACENT TO EACH OTHER OR SHARE A CONTINUOUS COUNTER BETWEEN THEM.

A CLEAR FLOOR SPACE, EXCLUSIVE OF DOOR SWING, NOT LESS THAN 762 MM WIDE BY 1200 MM DEEP, CONNECTING TO THE ROUTE THROUGH THE DOORWAY.
A MINIMUM OF ONE BEDROOM SHALL BE DESIGNED WITH A CLEAR FLOOR AREA IN FRONT OF THE DOOR NOT LESS THAN 762 MM WIDE BY 1200 MM DEEP, CENTERED ON THE LATHING.

A DIMENSION FROM FRONT FACE OF BATHTUB OR SHOWER TO CENTER LINE OF WATER CLOSET NOT LESS THAN 1000 mm.
A CLEAR DIMENSION OF 900 MM FROM THE FRONT EDGE OF THE TOILET TO THE FACED WALL.

ALL ADAPTABLE UNITS TO MEET REQUIREMENTS OF BCDC SUBSECTION 3.8.8

A-3.112



NOTES:
ALL DOORWAYS WITHIN UNIT SHALL HAVE A CLEAR MINIMUM OPENING WIDTH OF NOT LESS THAN 36".
INTERNAL UNIT CORRIDORS AND PASSAGeways SHALL BE A MINIMUM OF 36" MIN. WIDTH.
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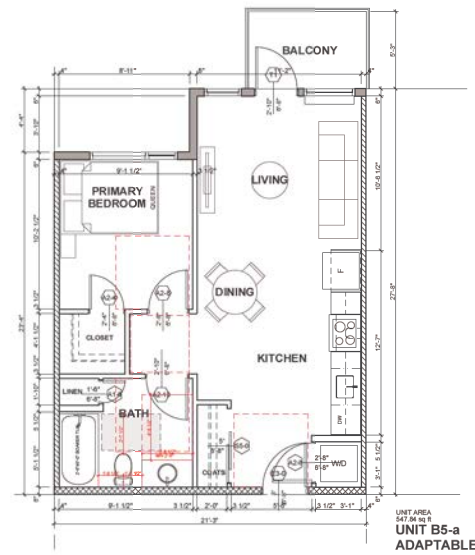
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A CLEAR FLOOR SPACE, EXCLUSIVE OF DOOR SWING, NOT LESS THAN 762 MM WIDE BY 1200 MM DEEP, CONNECTING TO THE ROUTE THROUGH THE DOORWAY.
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A DIMENSION FROM FRONT FACE OF BATHTUB OR SHOWER TO CENTER LINE OF WATER CLOSET NOT LESS THAN 1000 mm.
A CLEAR DIMENSION OF 900 MM FROM THE FRONT EDGE OF THE TOILET TO THE FACED WALL.

ALL ADAPTABLE UNITS TO MEET REQUIREMENTS OF BCDC SUBSECTION 3.8.8

A-3.114



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(PROJECT YEAR)

ANTHEM PROPERTIES

ST JOHN'S ST

Unit B3-a

Adaptable

A-3.113



ANTHEM PROPERTIES

(PROJECT)

ST JOHN'S STREET

3121 ST JOHN'S ST

PORT MOODY, BC

(TITLE)

Unit Plans

20660

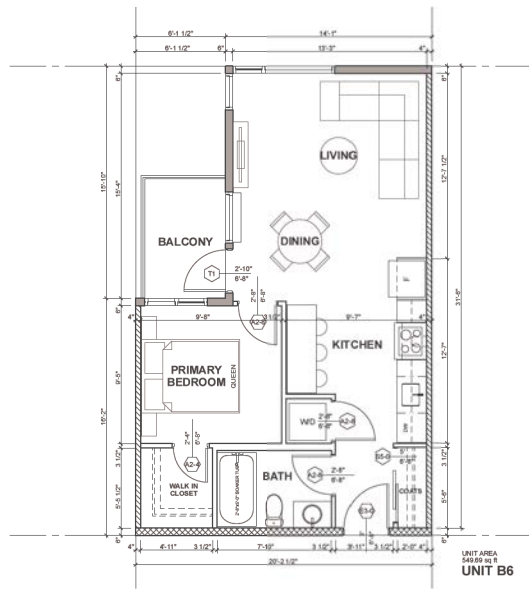
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Friday, May 27, 2022

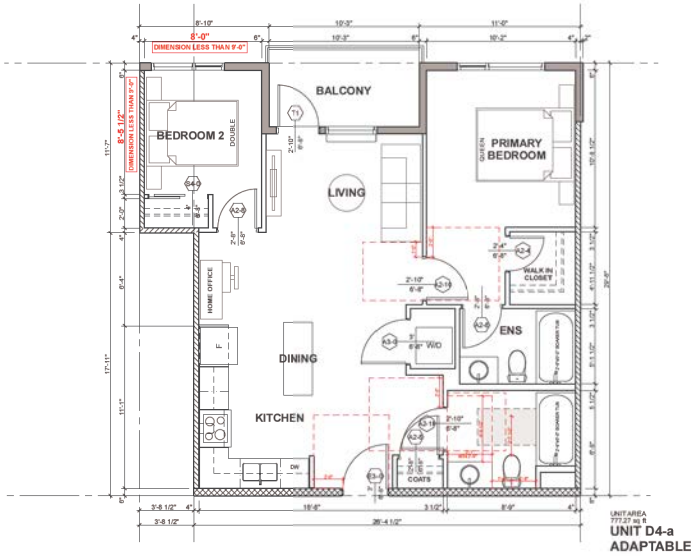
RZ/DP SUBMISSION

(DRAWING)

A-3.101

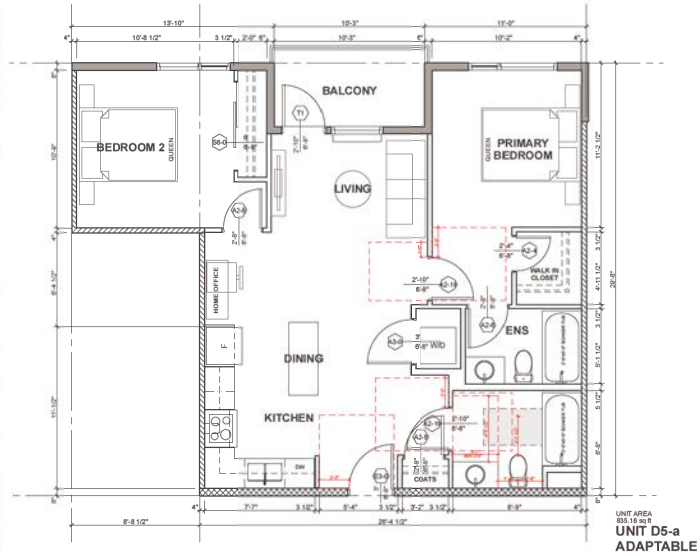


PROJECT NAME	ST. JOHN'S ST
PROJECT NO.	2022-001
ARCHITECT	Integra Architecture Inc.
DATE	May 27, 2022
SCALE	1/4" = 1'-0"
NOTES	SEE DRAWING SET
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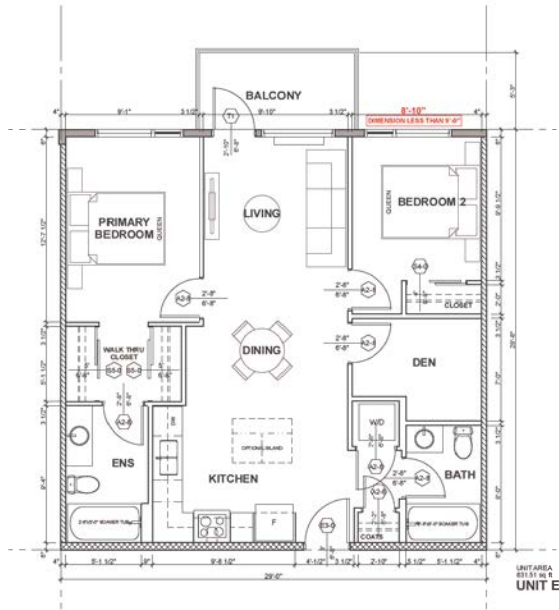
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Telephone: 604 688 4220

DATE: 2022-05-27
PROJECT: ST JOHNS ST
UNIT D4-a
ADAPTABLE
A-3.314



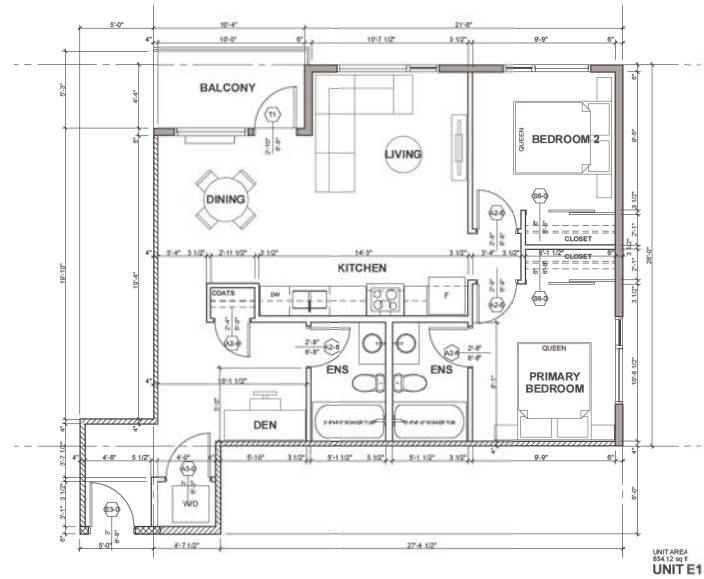
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DATE: 2022-05-27
PROJECT: ST JOHNS ST
UNIT D5-a
ADAPTABLE
A-3.315



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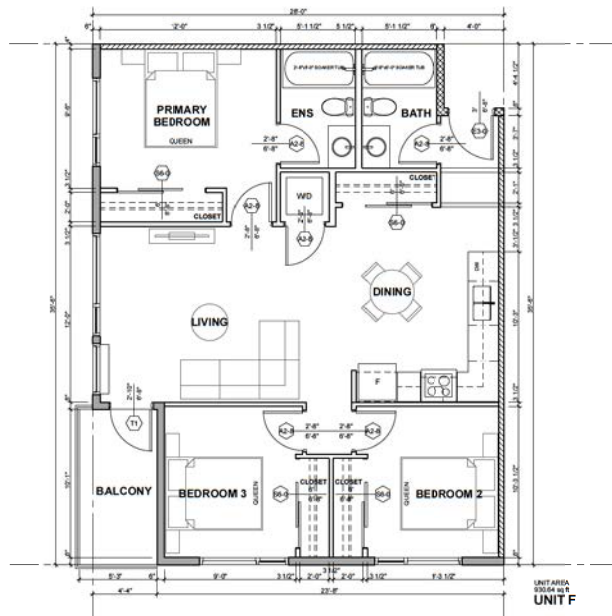
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PROJECT: ST JOHNS ST
UNIT E
A-3.410



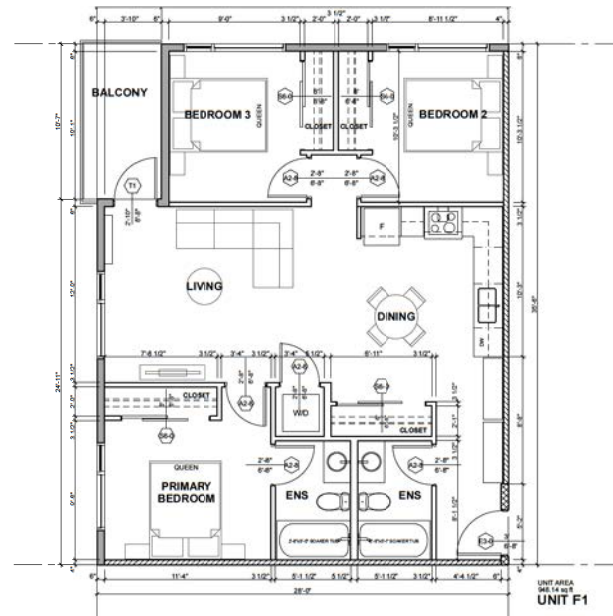
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Telephone: 604 688 4220

DATE: 2022-05-27
PROJECT: ST JOHNS ST
UNIT E1
A-3.411

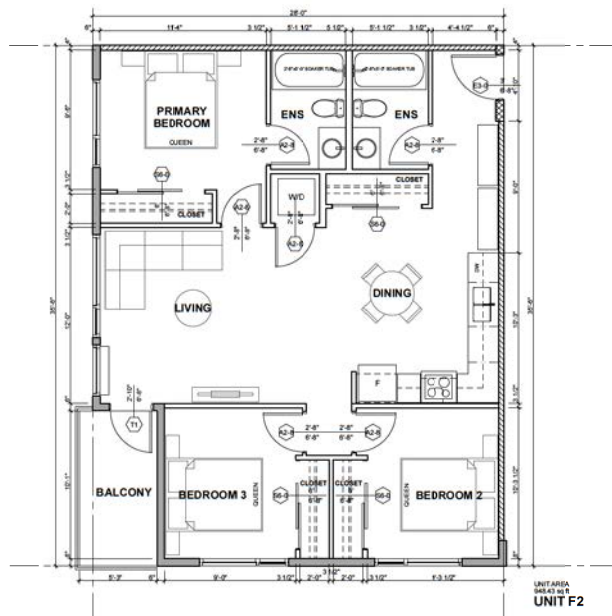
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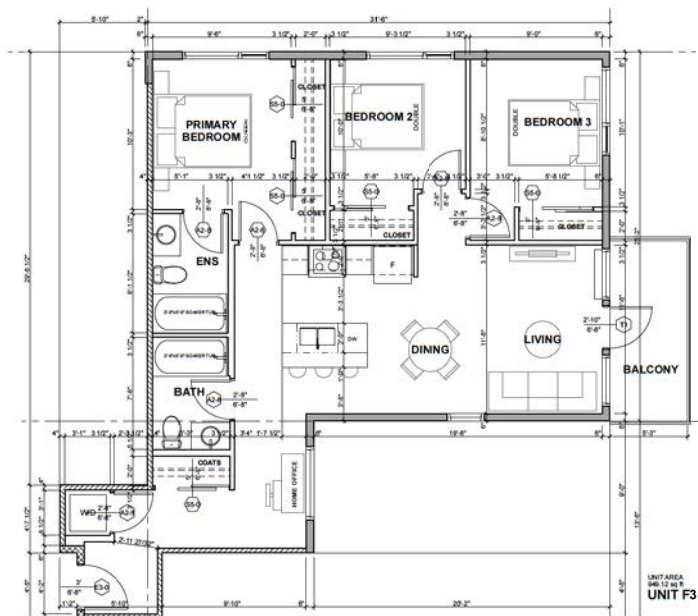
ANTHEM PROPERTIES
ST JOHNS ST
20560
1/4" = 1'-0"
May 27, 2022
RZ/CP SUBMISSION
A-3.510



ANTHEM PROPERTIES
ST JOHNS ST
20560
1/4" = 1'-0"
May 27, 2022
RZ/CP SUBMISSION
A-3.511



ANTHEM PROPERTIES
ST JOHNS ST
20560
1/4" = 1'-0"
May 27, 2022
RZ/CP SUBMISSION
A-3.512



ANTHEM PROPERTIES
ST JOHNS ST
20560
1/4" = 1'-0"
May 27, 2022
RZ/CP SUBMISSION
A-3.513



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(PROJECT YEAR)



1 ST. JOHNS ST STREET ELEVATION
SCALE 1/16" = 1'-0"



2 JAMES RD STREET ELEVATION
SCALE 1/16" = 1'-0"



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3124 ST JOHNS ST
PORT MOODY, BC

(TITLE)

Street Elevations

20560 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (DRAWING)

(DRAWING)

A-4.000



(C) 2000

[PROJECT]

3121 ST JOHNS ST
PORT MOODY, BC

[illegible]

20560 (PROJECT)

1/8" = 1'-0" [SCALE]

Friday, May 27, 2022 10:47

RZ/DP SUBMISSION (10000)

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A-4.100



| MATERIAL AND COLOR LEGEND | | | | | |
|--|---------------|--|---------------------------------------|--------------|-------------------------|
| Note: All items are subject to change without notice without warning due to the impact | | | | | |
| | Color | Product | Finish/Size (width) | Manufacturer | Location |
| CEILING | | | | | |
| A.1 | Light Green | Cannestone Low Ceiling w/7" Expansion | 160 | 160 | Enclave Walls |
| A.2 | Medium Gray | Cannestone Low Ceiling w/7" Expansion | 160 | 160 | Enclave Walls |
| A.3 | White | Cannestone Low Ceiling w/7" Expansion | 160 | 160 | Enclave Walls |
| A.41 | Monsoon Cedar | Panel Solid Ceiling w/7" Expansion | 160 | 160 | Entry & Assembly Halls |
| A.42 | White | Panel Solid Ceiling w/7" Expansion | 160 | 160 | Entry & Assembly Halls |
| A.5 | White | Panel Concealed | 160 | 160 | Enclave Walls |
| A.6 | Light Gray | Panel Concealed/Panel (Panel Panel System) | 160 | 160 | Enclave Walls |
| A.7 | White | Panel Concealed | 160 | 160 | Enclave Walls |
| A.8 | Charcoal | Back | 160 | 160 | Enclave Walls & Columns |
| A.9 | Gray | Concrete | 160 | 160 | Public Large Spaces |
| WALLS | | | | | |
| A.1 | Monsoon Cedar | Cannestone Solid Walls | 160 | 160 | Enclave |
| A.3 | Monsoon Cedar | Panel Solid | 160 | 160 | Entry & Assembly Halls |
| FLOORS | | | | | |
| A.1 | Gray | 2-Step 600 Monochrome | Gray | 160 | Reels |
| DOORS | | see door schedule | | | |
| WINDOWS | | | | | |
| A.1 | Black | Wood Windows | White / Black (White) / White (Black) | | |
| PAINTS | | | | | |
| A.1 | Black | Two-Part | 10-10000 4.0 | 160 | Tray |
| A.2 | Charcoal | Two-Part | 10-10000 4.0 | 160 | Panel Network |
| A.3 | Light Gray | Two-Part | 10-10000 4.0 | 160 | Panel Network |
| A.4 | White | Two-Part | 10-10000 4.0 | 160 | Panel Network |
| A.5 | Black | Two-Part | 100 | 160 | Reel Frame |
| DETAILS | | | | | |
| A.1 | Light Green | Monsoon Cedar Siding | Light Green / Char | | |



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1 WEST ELEVATION SCALE 1/8" = 1'-0"



MATERIAL AND COLOUR LEGEND

Refer to drawing for material and color coding. Colors are for reference only.

| Color | Material | Product name | Manufacturer | Location |
|--------------------|----------------|----------------------|--------------|----------------|
| 1. EXTERIOR | | | | |
| 1.1 Light Grey | Concrete | Light Grey Concrete | 100 | Exterior Walls |
| 1.2 Medium Grey | Concrete | Medium Grey Concrete | 100 | Exterior Walls |
| 1.3 White | Concrete | White Concrete | 100 | Exterior Walls |
| 1.4 Medium Grey | Concrete | Medium Grey Concrete | 100 | Exterior Walls |
| 1.5 Medium Grey | Concrete | Medium Grey Concrete | 100 | Exterior Walls |
| 1.6 Charcoal | Concrete | Charcoal Concrete | 100 | Exterior Walls |
| 1.7 Light Grey | Concrete | Light Grey Concrete | 100 | Exterior Walls |
| 1.8 White | Concrete | White Concrete | 100 | Exterior Walls |
| 1.9 Charcoal | Concrete | Charcoal Concrete | 100 | Exterior Walls |
| 1.10 Grey | Concrete | Grey Concrete | 100 | Exterior Walls |
| 2. INTERIOR | | | | |
| 2.1 Medium Grey | Concrete | Medium Grey Concrete | 100 | Interior Walls |
| 2.2 Medium Grey | Concrete | Medium Grey Concrete | 100 | Interior Walls |
| 3. FLOORS | | | | |
| 3.1 Grey | Slip Resistant | Grey | 100 | Floors |
| 4. ROOFS | | | | |
| 4.1 Black | Single Ply | Black | 100 | Roofs |
| 5. WINDOWS | | | | |
| 5.1 Black | Window Frames | Black | 100 | Windows |
| 6. DOORS | | | | |
| 6.1 Black | Door Frames | Black | 100 | Doors |
| 7. PAINTS | | | | |
| 7.1 Charcoal | Paint | Charcoal | 100 | Paint |
| 7.2 Charcoal | Paint | Charcoal | 100 | Paint |
| 7.3 Charcoal | Paint | Charcoal | 100 | Paint |
| 7.4 White | Paint | White | 100 | Paint |
| 7.5 Black | Paint | Black | 100 | Paint |
| 8. PATTERNS | | | | |
| 8.1 Light Grey | Pattern | Light Grey | 100 | Pattern |

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

(TITLE)

3121 ST. JOHNS ST.

PORT MOODY, BC

(CLIENT)

West Elevation

(DATE)

Friday, May 27, 2022

RZ/DP SUBMISSION

(DRAWING)

A-4.110



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ARCHITECTURE INC.

2330-200 Granville Street
Vancouver, BC, V6C 1S4
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Telephone: 604 688 4220

3131 ST. JOHNS STREET
NEW 6-STORY
RESIDENTIAL BUILDING

COMPANY RESERVES THE RIGHT TO MAKE ANY CHANGES TO THIS DRAWING AND DESIGN AS NECESSARY WITHOUT THE ARCHITECT'S CONSENT.

(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3131 ST. JOHNS ST
PORT MOODY, BC

(TITLE)

South Elevation

20560 (PROJECT)

1/8" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (REVISED)

(DRAWING)

A-4.120



1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

| MATERIAL AND COLOUR LEGEND | | | | |
|----------------------------|--|--|--------------|---------------------------|
| Color | Material | Product name | Manufacturer | Location |
| 1. EXTERIOR | | | | |
| 1.1 Light Grey | Concrete/Stone Veneer | 100 | 100 | Exterior Walls |
| 1.2 Medium Grey | Concrete/Stone Veneer | 100 | 100 | Exterior Walls |
| 1.3 White | Concrete/Stone Veneer | 100 | 100 | Exterior Walls |
| 1.4 Medium Grey | Wood Siding | 100 | 100 | Bay 8 Annular Entry Walls |
| 1.5 Medium Grey | Concrete/Stone Veneer | 100 | 100 | Exterior Walls |
| 1.6 Charcoal | Flint Concrete Panel | 100 | 100 | Exterior Walls |
| 1.7 Light Grey | Medium Concrete Panel (Flint Panel System) | 100 | 100 | Exterior Walls |
| 1.8 White | Flint Concrete Panel | 100 | 100 | Exterior Walls |
| 1.9 Charcoal | Brick | 100 | 100 | Exterior Walls & Columns |
| 1.10 Grey | Concrete | 100 | 100 | Exterior Entry Walls |
| 2. INTERIOR | | | | |
| 2.1 Medium Grey | Concrete/Stone Veneer | 100 | 100 | Walls |
| 2.2 Medium Grey | Wood Siding | 100 | 100 | Bay 8 Annular Entry Walls |
| 3. ROOF | | | | |
| 3.1 Grey | 2 Layer Bit Membrane | Grey | 100 | Roof |
| 4. FLOOR | | | | |
| See floor schedule | | | | |
| 5. WINDOWS | | | | |
| 5.1 Black | Vinyl Windows | Black / Black (Frame) / White (Sillings) | | |
| 6. FLOORING | | | | |
| 6.1 Charcoal | Flint Boards | To Match 1.6 | 100 | Floor |
| 6.2 Charcoal | Flint Tiles - Porcelain | To Match 1.6 | 100 | Floor/Deck |
| 6.3 Light Grey | Flint Tiles - Porcelain | To Match 1.6 | 100 | Floor/Deck |
| 6.4 White | Flint Tiles - Porcelain | To Match 1.7 | 100 | Floor/Deck |
| 6.5 Black | Flint Tiles | 100 | 100 | Floor/Deck |
| 7. PAINTS | | | | |
| 7.1 Light Grey | Medium Concrete Siding | Light Grey / Grey | | |



1 EAST ELEVATION
SCALE 1/8" = 1'-0"

| MATERIAL AND COLOUR LEGEND | | | | |
|----------------------------|----------------------------|---------------------------------------|--------------|-------------------------|
| Color | Material | Product name | Manufacturer | Location |
| ROOFING | | | | |
| R.1 Light Grey | Concrete/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.2 Medium Grey | Concrete/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.3 White | Concrete/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.4 Medium Grey | Steel/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.5 Medium Grey | Concrete/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.6 Charcoal | Flt/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.7 Light Grey | Flt/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.8 White | Flt/Asph/Flt Shingles | 150 | 150 | Roofing Walls |
| R.9 Charcoal | Flt/Asph/Flt Shingles | 150 | 150 | Roofing Walls & Columns |
| R.10 Grey | Concrete | 150 | 150 | Roofing Walls |
| WALLS | | | | |
| W.1 Medium Grey | Concrete/Asph/Flt Shingles | 150 | 150 | Walls |
| W.2 Medium Grey | Steel/Asph/Flt Shingles | 150 | 150 | Walls & Annular Walls |
| DOORS | | | | |
| D.1 Grey | Steel/Asph/Flt Shingles | Grey | 150 | Doors |
| WINDOWS | | | | |
| W.1 Black | Vinyl Windows | Black / Black (Frame) / White (Glass) | | |
| FLOORS | | | | |
| F.1 Charcoal | Tile Floors | To Match S.5 | 150 | Floors |
| F.2 Charcoal | Tile Floors - Porcelain | To Match S.5 | 150 | Floors |
| F.3 Light Grey | Tile Floors - Porcelain | To Match S.5 | 150 | Floors |
| F.4 White | Tile Floors - Porcelain | To Match S.5 | 150 | Floors |
| F.5 Black | Tile Floors | 150 | 150 | Floors |
| PAINTS | | | | |
| P.1 Light Grey | Medium Grey Paint | Light Grey / Grey | | |

[illegible]

ANTHEM PROPERTIES

[PROJECT]
ST JOHNS STREET

PORT MOODY, BC

North Courtyard Elevation

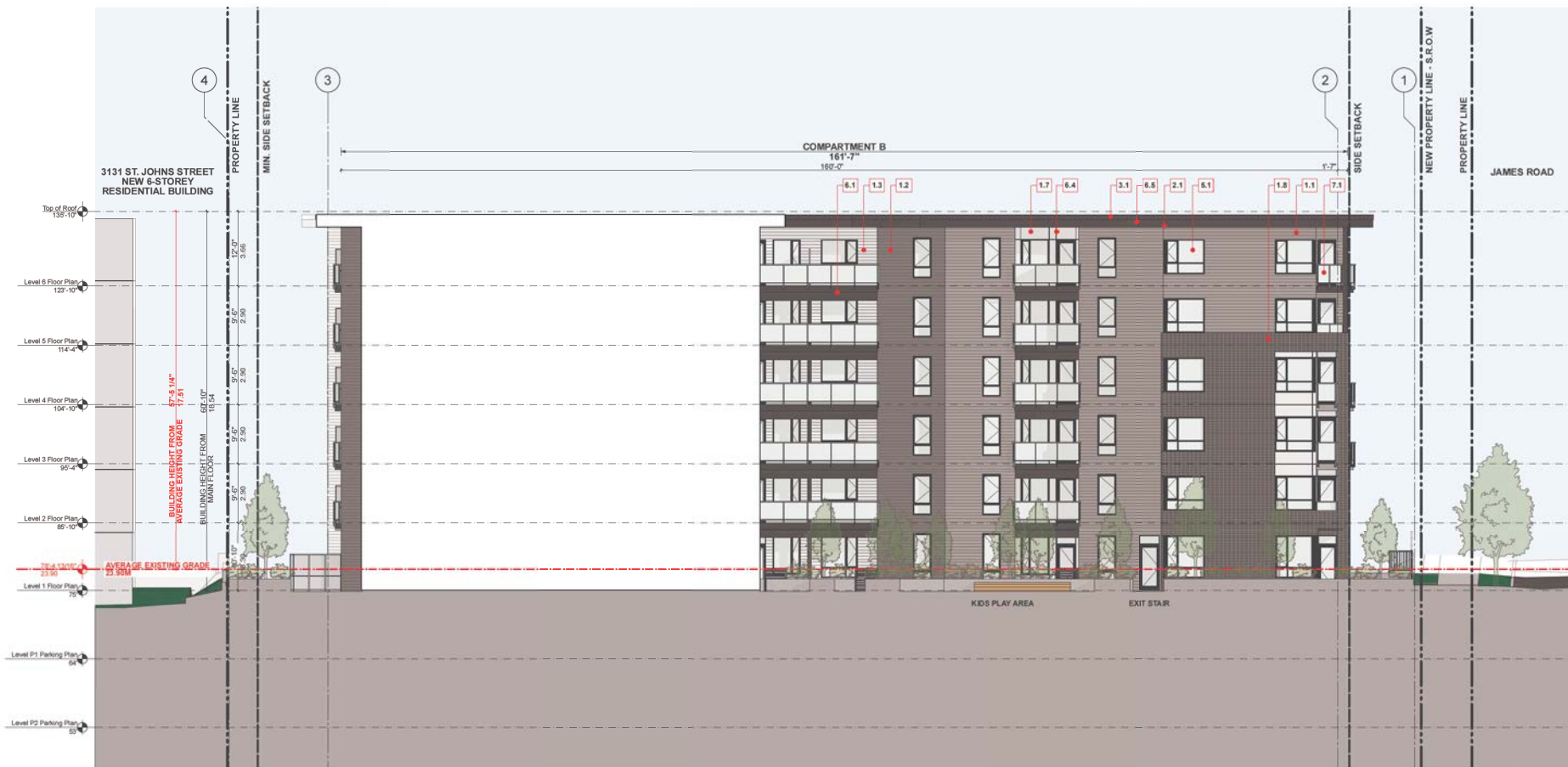
DOEEO PROJECT

1/8" = 1'-0" [SCALE]

27/09 SUBMISSION (1808)

Journal of Management Inquiry 18(6)p. 709-724
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A-4.140



1 NORTH COURTYARD ELEVATION
SCALE 1/8" = 1'-0"

| MATERIAL AND COLOUR LEGEND | | | | | | |
|----------------------------|--------------|---|--------------------------------|----------|----------------|-------|
| Code | Product | Finish (to match) | Manufacturer | Location | | |
| CLADDING | | | | | | |
| CL 1 | Light Grey | Concretized Clay Slating / F7 Exposure | 180 | 180 | Exterior Walls | |
| CL 2 | Medium Grey | Concretized Clay Slating / F7 Exposure | 180 | 180 | Exterior Walls | |
| CL 3 | Dark Grey | Concretized Clay Slating / F7 Exposure | 180 | 180 | Exterior Walls | |
| CL 4 | Medium Green | Clay / Anodized Aluminium Profile | 180 | 180 | Exterior Walls | |
| CL 5 | White | Concretized Clay Slating / F7 Exposure | 180 | 180 | Exterior Walls | |
| CL 6 | Medium Green | Clay / Anodized Aluminium Profile | 180 | 180 | Exterior Walls | |
| CL 7 | Light Grey | Blue Concrete Panel | 180 | 180 | Exterior Walls | |
| CL 8 | Light Grey | Aluminium Composite Panel (Paint Finish System) | 180 | 180 | Exterior Walls | |
| CL 9 | White | Blue Concrete Panel | 180 | 180 | Exterior Walls | |
| CL 10 | Charcoal | Black | 180 | 180 | Exterior Walls | |
| CL 11 | Grey | Concrete | 180 | 180 | Exterior Walls | |
| ROOF | | | | | | |
| RO 1 | Medium Green | Concretized Clay Slating | 180 | 180 | Roofs | |
| RO 2 | Medium Green | Wood Slating | 180 | 180 | Roofs | |
| GLASS | | | | | | |
| GL 1 | Grey | 2 Layer MLH Windows | Grey | 180 | Roofs | |
| see floor schedule | | | | | | |
| SCREENS | | | | | | |
| SC 1 | Black | Vapour Membrane | Black / Black / White Membrane | 180 | 180 | |
| SKINS | | | | | | |
| SK 1 | Charcoal | Iron Boards | To Match 5.8 | 180 | 180 | Roofs |
| SK 2 | Charcoal | Easy-Ten - Panels | To Match 5.8 | 180 | 180 | Roofs |
| SK 3 | Charcoal | Easy-Ten - Panels | To Match 5.8 | 180 | 180 | Roofs |
| SK 4 | White | Easy-Ten - Panels | To Match 5.7 | 180 | 180 | Roofs |
| SK 5 | White | Easy-Ten - Panels | To Match 5.7 | 180 | 180 | Roofs |
| SK 6 | White | Iron Boards | To Match 5.8 | 180 | 180 | Roofs |
| PAINTS | | | | | | |
| Aluminium Sand Milling | | | Light Grey / Green | | | |



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1 WEST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

Refer to the material and color legend for the project.

| Color | Material | Product name | Manufacturer | Location |
|--------------------|------------------------------------|---------------------------------------|--------------|--------------------------|
| 1. EXTERIOR | | | | |
| 1.1 Light Grey | Concrete/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.2 Medium Grey | Concrete/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.3 White | Concrete/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.4 Medium Grey | Wood/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.5 Medium Grey | Concrete/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.6 Charcoal | Wood/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.7 Light Grey | Wood/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.8 White | Wood/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 1.9 Charcoal | Wood/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls & Columns |
| 1.10 Grey | Concrete | 100 | 100 | Exterior Walls |
| 1.11 Grey | Concrete | 100 | 100 | Exterior Walls |
| 2. INTERIOR | | | | |
| 2.1 Medium Grey | Concrete/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 2.2 Medium Grey | Wood/Stone/Brick/Tile/Exterior | 100 | 100 | Exterior Walls |
| 3. ROOF | | | | |
| 3.1 Grey | 2 Layer Bit Membrane | Grey | 100 | Roof |
| 4. FLOOR | | | | |
| See floor schedule | | | | |
| 5. WINDOWS | | | | |
| 5.1 Black | Vinyl Windows | Black / Black (Frame) / White (Glass) | | |
| 6. DOORS | | | | |
| 6.1 Charcoal | Wood/Stone/Brick/Tile/Exterior | To Match 6.1 | 100 | Door |
| 6.2 Charcoal | Wood/Stone/Brick/Tile/Exterior | To Match 6.2 | 100 | Door |
| 6.3 Light Grey | Wood/Stone/Brick/Tile/Exterior | To Match 6.3 | 100 | Door |
| 6.4 White | Wood/Stone/Brick/Tile/Exterior | To Match 6.4 | 100 | Door |
| 6.5 Black | Wood/Stone/Brick/Tile/Exterior | To Match 6.5 | 100 | Door |
| 7. PATTERNS | | | | |
| 7.1 Light Grey | Medium Stone/Brick | Light Grey/Black | | |

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST JOHNS ST
PORT MOODY, BC

(TITLE)

West Courtyard
Elevation

20560 (PROJECT)

1/8" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (SUBMIT)

(DRAWING)

A-4.150



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(PROJECT YEAR)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET
3131 ST. JOHNS ST
PORT MOODY, BC

(TITLE)

**South Courtyard
Elevation**

20560 (PROJECT)

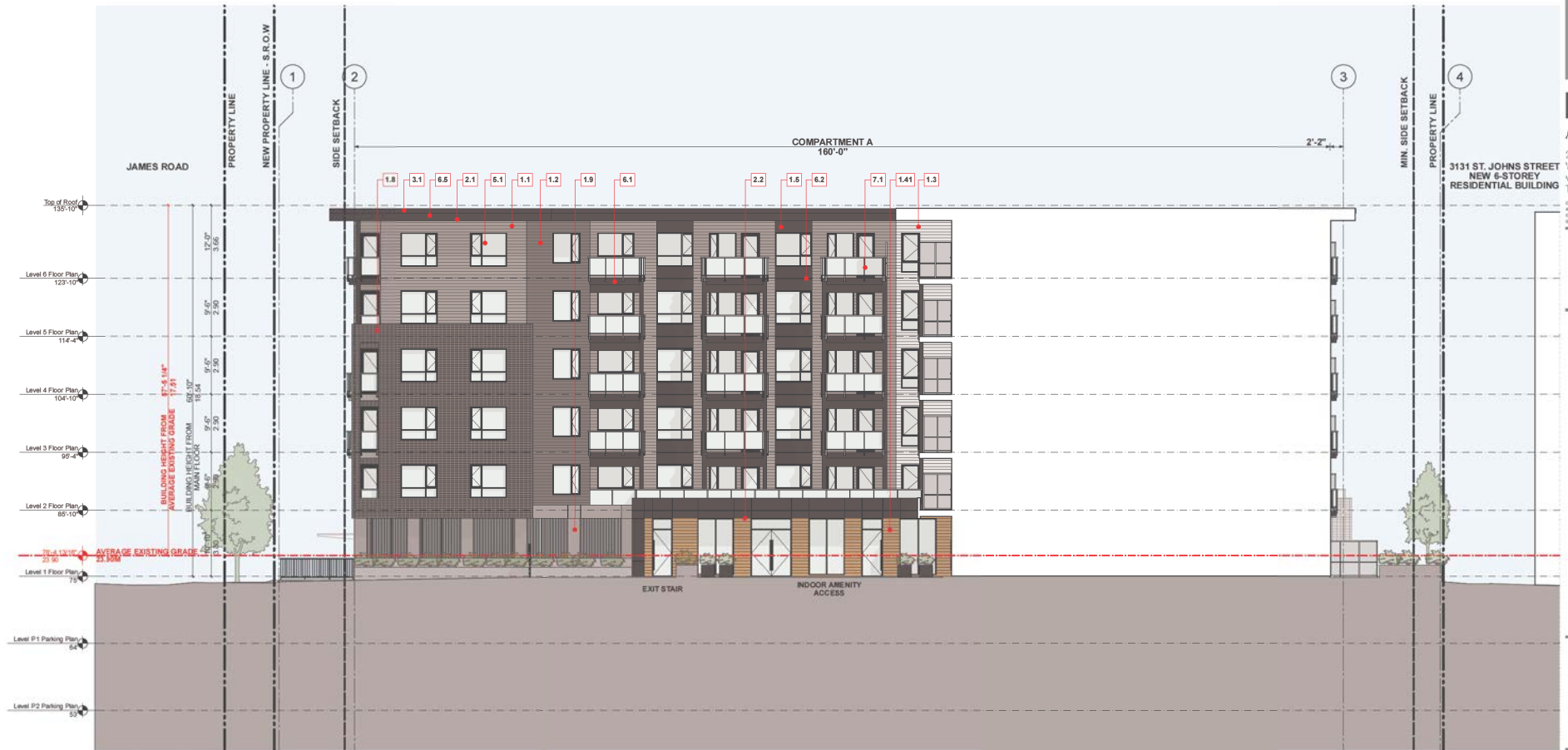
1/8" = 1'-0" (SCALE)

Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (REVISED)

(DRAWING)

A-4.160



1 SOUTH COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

| MATERIAL AND COLOUR LEGEND | | | | |
|----------------------------|-------------|---------------------------------|--------------|--------------------------|
| Color | Material | Product name | Manufacturer | Location |
| 1. EXTERIOR | | | | |
| 1.1 | Light Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.2 | Medium Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.3 | White | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.4 | Medium Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.5 | Medium Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.6 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.7 | Light Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.8 | White | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 1.9 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls & Columns |
| 1.10 | Grey | Concrete | 100 | Exterior Walls |
| 2. INTERIOR | | | | |
| 2.1 | Medium Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 2.2 | Medium Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Exterior Walls |
| 3. ROOF | | | | |
| 3.1 | Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 4. FLOOR | | | | |
| 4.1 | Black | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 5. WINDOWS | | | | |
| 5.1 | Black | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6. ROOF | | | | |
| 6.1 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.2 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.3 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.4 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.5 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.6 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.7 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.8 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.9 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 6.10 | Charcoal | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |
| 7. PATTERNS | | | | |
| 7.1 | Light Grey | Concrete/Stone/Brick/Tile/Stone | 100 | Roof |



1 BUILDING SECTION 2
SCALE: 1/8" = 1'-0"



1.1 CEMENTITIOUS LAP SIDING - LIGHT GREY



1.2 CEMENTITIOUS LAP SIDING - MEDIUM GREY



1.41 METAL LAP SIDING - MOUNTAIN CEDAR

1.42 CEMENTITIOUS LAP SIDING - MOUNTAIN CEDAR



1.5 FIBRE CEMENT PANEL - CHARCOAL



1.6 ALUMINUM COMPOSITE PANEL - LIGHT GREY



1.7 FIBRE CEMENT PANEL - WHITE



1.8 BRICK - CHARCOAL



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MATERIAL AND COLOUR LEGEND

Notes: All Materials are subject to change during Tender and/or Pricing phase of the project.

| Colour | Product | Finish (to match) | Manufacturer | Location |
|-----------------------|--|---|--------------|--------------------------------|
| 1.0 CLADDING | | | | |
| 1.1 Light Grey | Cementitious Lap Siding w/ 7" Exposure | TBD | TBD | Exterior Walls |
| 1.2 Medium Grey | Cementitious Lap Siding w/ 7" Exposure | TBD | TBD | Exterior Walls |
| 1.3 White | Cementitious Lap Siding w/ 7" Exposure | TBD | TBD | Exterior Walls |
| 1.41 Mountain Cedar | Metal Lap Siding w/ 7" Exposure | TBD | TBD | Entry & Amenity Exterior Walls |
| 1.42 Mountain Cedar | Cementitious Lap Siding w/ 7" Exposure | TBD | TBD | Exterior Walls |
| 1.5 Charcoal | Fibre Cement Panel | TBD | TBD | Exterior Walls |
| 1.6 Light Grey | Aluminum Composite Panel (Panel Reveal System) | TBD | TBD | Exterior Walls |
| 1.7 White | Fibre Cement Panel | TBD | TBD | Exterior Walls |
| 1.8 Charcoal | Brick | TBD | TBD | Exterior Walls & Columns |
| 1.9 Grey | Concrete | TBD | TBD | Pedest Ramp Exterior Walls |
| 2.0 SOFFIT | | | | |
| 2.1 Mountain Cedar | Cementitious Board Soffit | TBD | TBD | Soffits |
| 2.2 Mountain Cedar | Metal Siding | TBD | TBD | Entry & Amenity Soffits |
| 3.0 ROOFS | | | | |
| 3.1 Grey | 2-Layer SBS Membrane | Grey | TBD | Roofs |
| 4.0 DOORS | | | | |
| see door schedule | | | | |
| 5.0 WINDOWS | | | | |
| 5.1 Black | Vinyl Windows | Glass / Black [Exterior] / White [Interior] | | |
| 6.0 TRIMS | | | | |
| 6.1 Charcoal | Trim Boards | To Match 1.5 | TBD | Trim |
| 6.2 Charcoal | Easy Trim - Paintable | To Match 1.5 | TBD | Panel Reveals |
| 6.3 Light Grey | Panel Reveal Trim - Paintable | To Match 1.6 | TBD | Panel Reveals |
| 6.4 White | Easy Trim - Paintable | To Match 1.7 | TBD | Panel Reveals |
| 6.5 Black | Trim Boards | TBD | TBD | Roof Fascia |
| 7.0 RAILINGS | | | | |
| 7.1 Light Grey | Aluminum Guard Railing | Light Grey / Glass | | |

(PROJECT TEAM)



(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST JOHNS STREET

3121 ST. JOHN'S ST
PORT MOODY, BC

(TITLE)

**Materials &
Finishes**

(PROJECT)

20560

(SCALE)

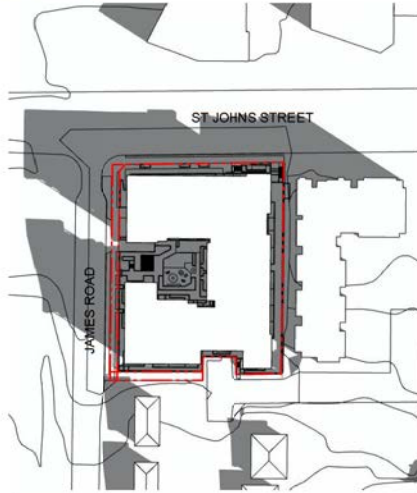
Friday, May 27, 2022 (DATE)

RZ/DP SUBMISSION (DISPOS)

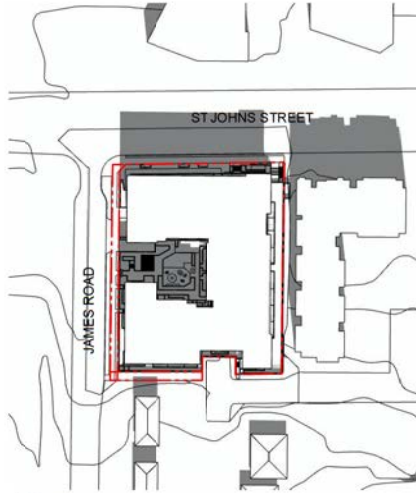
(DRAWING)

A-8.100

Spring Equinox
March 21st



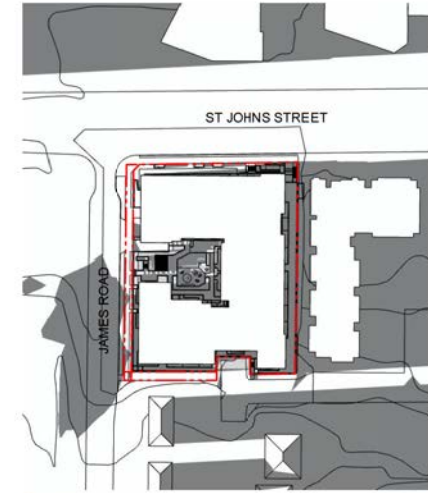
9am



12pm

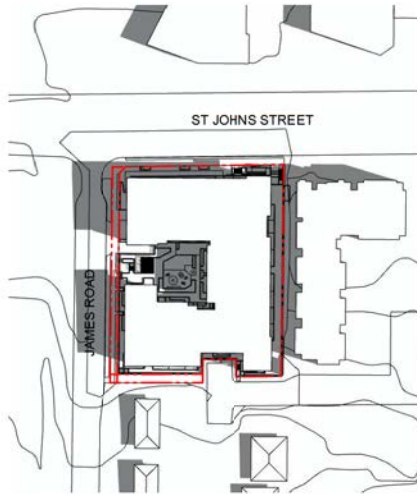


3pm

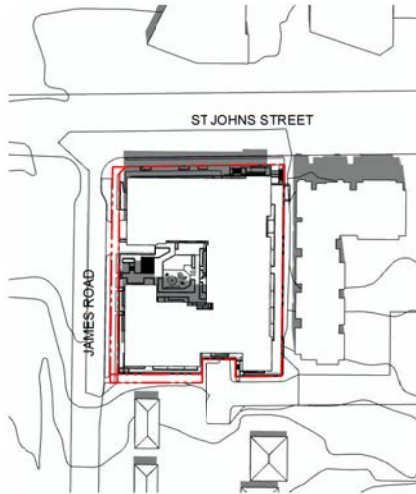


6pm

Summer Solstice
June 21st



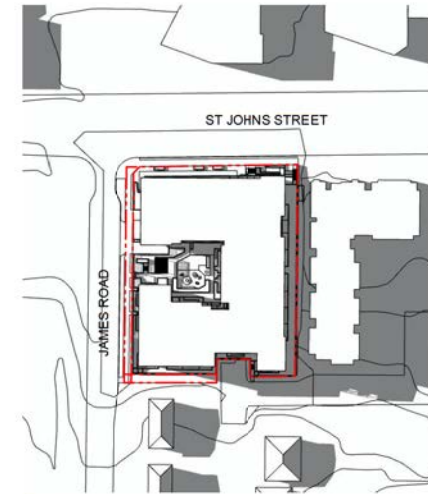
9am



12pm



3pm



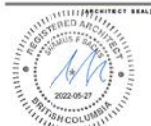
6pm



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(CLIENT)

ANTHEM PROPERTIES

(PROJECT)

ST. JOHNS STREET
3121 ST. JOHNS ST
PORT MOODY, BC

(TITLE)

Shadow Study

(PROJECT)

20560

(SCALE)

Friday, May 27, 2022

(DATE)

RZ/CP SUBMISSION

(SUBJECT)

(DRAWING)

A-8.300