





AREA SUMMARIES - OVERALL PROJECT

Table with columns: ALL BUILDINGS, Residential, Commercial, Office, Amenity, GROSS, EXCLUSIONS, TOTAL, FRI (NET AREA). Includes summary for all buildings and a 'TOTAL' row.

NET TO GROSS (EFFICIENCY)

Table with columns: TOTAL AREA (Residential plus Commercial), TOTAL AREA, EFFICIENCY.

Table 1: BUILDING 1. Columns: BUILDING 1, Residential, Commercial, Office, Amenity, GROSS, EXCLUSIONS, TOTAL, FRI (NET AREA). Rows: Level P2, Level 1, Level 2, Level 3, Level 4, Level 5, Level 6, Roof, TOTAL.

Table 2: BUILDING 2. Columns: BUILDING 2, Residential, Commercial, Office, Amenity, GROSS, EXCLUSIONS, TOTAL, FRI (NET AREA). Rows: Level P2, Level 1, Level 2, Level 3, Level 4, Level 5, Level 6, Roof, TOTAL.

NOTE: AREAS NOTED IN UNIT DISTRIBUTION CHARTS ARE SUBJECT TO ROUNDING ERRORS AND INDICATE APPROXIMATE TOTAL AREAS ONLY.  
AREAS NOTED WITHIN AREA SUMMARIES ARE NOT SUBJECT TO ROUNDING ERRORS AND OVERRIDE VALUES INDICATED WITHIN THE DISTRIBUTION CHARTS



200 West 1st Street  
North Vancouver, BC V7P 2L6  
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Revision Notes table with columns: No., Date, Revision Notes. Contains a list of revisions for the project.

UNIT DISTRIBUTION - BUILDING 1

Table showing unit counts per floor for Building 1. Columns: UNIT TYPE, AREAS, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

BUILDING 1 TOTALS

Summary table for Building 1 totals. Columns: UNIT TYPE, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

UNIT DISTRIBUTION - OVERALL PROJECT

Large table showing unit counts across all levels and building types. Columns: UNIT TYPE, BUILDING, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

PROJECT TOTALS. Summary table for the entire project. Columns: UNIT TYPE, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

UNIT DISTRIBUTION - BUILDING 2

Table showing unit counts per floor for Building 2. Columns: UNIT TYPE, AREAS, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

BUILDING 2 TOTALS

Summary table for Building 2 totals. Columns: UNIT TYPE, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

PROJECT TOTALS. Summary table for the entire project. Columns: UNIT TYPE, LEVEL 1, LEVEL 2, LEVEL 3, LEVEL 4, LEVEL 5, LEVEL 6, TOTAL, Beds, Total Beds, Unit Ratio.

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Project File:  
HUE  
101 Abbott Street  
Port Moody, BC

Client/Owner:  
MARCON  
5645 199 Street  
Langley, BC V3A 1H9

Project Data & Calculations

Drawn By: SB / HK  
Reviewed By: CH

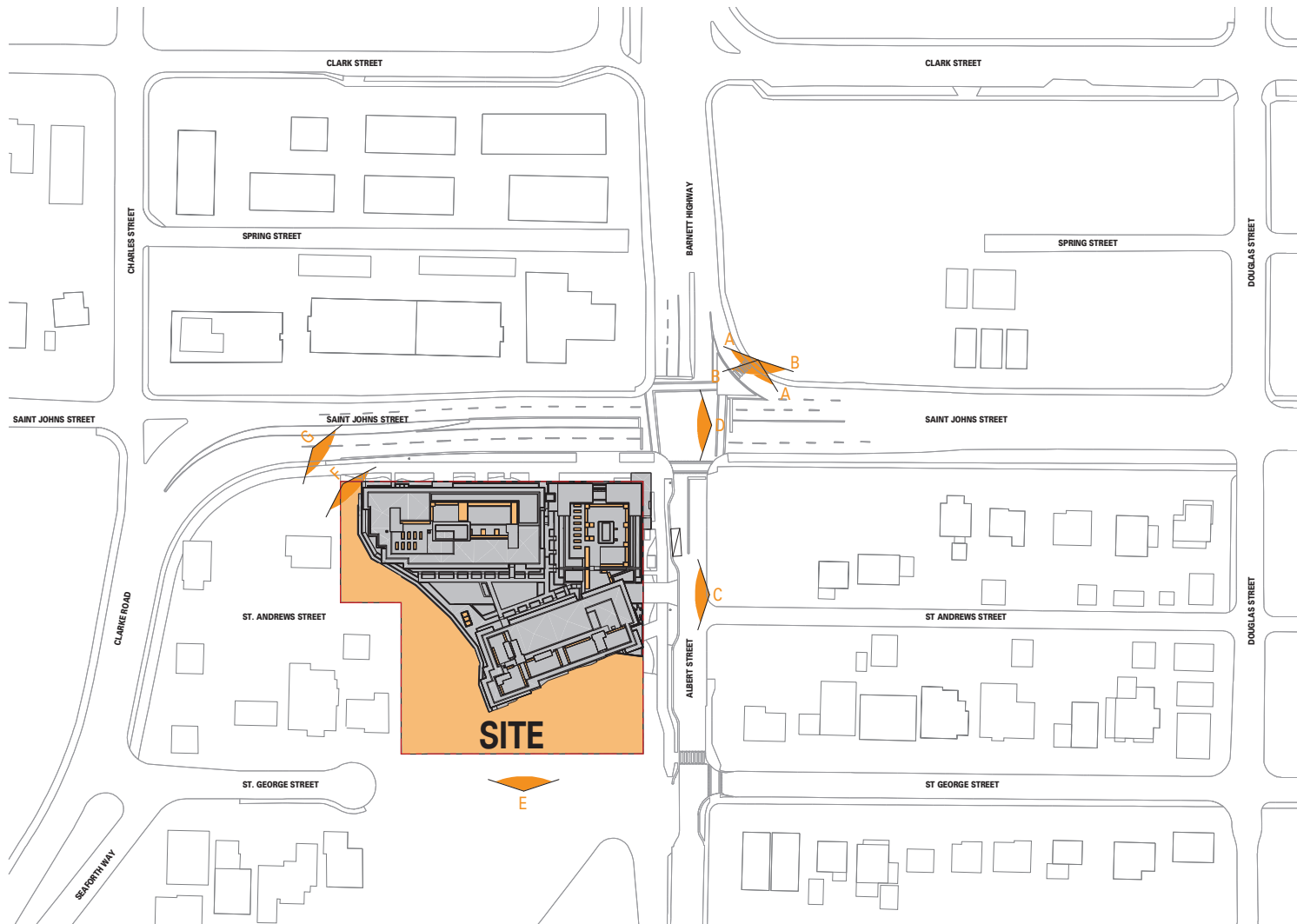
Project Number: 1905  
Per Date: 22/01/07  
Issue Date: 2022/12/20

Scale: 1/8" = 1'-0" (Vertical)

Sheet Number: F

A0.002





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No.	Date	Revision Notes
F	2021/12/24	RE ISSUED FOR R2/DP
D	2021/08/10	RE ISSUED FOR R2/DP
E	2020/10/14	RE ISSUED FOR R2/DP
A	2019/03/06	ISSUED FOR R2/DP

Project File  
**HUE**

101 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner  
**MARCON ALBERT (GP) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**CONTEXT PLAN**

Drawn By: SB /HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1" = 60'-0"  
Issue/Revision: **F**

Sheet Number

**A0.010**

A



VIEW FROM ST JOHNS STREET LOOKING SOUTH / WEST WITH VIEW INTO ALBERT STREET



VIEW FROM ST JOHNS STREET LOOKING SOUTH

B

C



VIEW FROM ALBERT STREET LOOKING WEST



VIEW FROM ALBERT STREET LOOKING WEST



VIEW FROM ALBERT STREET LOOKING WEST WITH VIEW INTO ST. JOHNS STREET



VIEW INTO ALBERT AND ST. JOHNS STREET LOOKING SOUTH / WEST

D

E



VIEW FROM PROPERTY LOOKING NORTH

F



VIEW FROM PROPERTY LOOKING SOUTH / EAST

G



VIEW FROM ST. JOHNS STREET LOOKING EAST

**SHIFT**  
ARCHITECTURE

200-1000 Street 34 Street  
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F	2021/12/24	RE-ISSUED FOR R2/DP
D	2021/09/10	RE-ISSUED FOR R2/DP
B	2020/10/24	RE-ISSUED FOR R2/DP
A	2019/09/06	ISSUED FOR R2/DP
No.	Date	Revision Notes

Project Title  
**HUE**

101 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner  
**MARCON ALBERT (GPI) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**CONTEXT IMAGES**

Drawn By: SB / MK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: **F**

Sheet Number

**A0.011**

# ARCHITECTURAL PRECEDENTS

**SH/FT**  
ARCHITECTURE

2021 1000 West 34 Street  
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F	2021/12/24	RE ISSUED FOR R2/DP
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B	2020/10/14	RE ISSUED FOR R2/DP
A	2019/03/06	ISSUED FOR R2/DP
No.	Date	Revision Notes



1. Canvas, Vancouver, BC



2. MVRDV Apartment Building, Amsterdam, NL



3. Shoreline, Vancouver, BC



4. Apartment Building, Paris, F



5. R+R, Vancouver, BC



6. First Street West, North Vancouver, BC

RE ISSUED FOR R2 / DP 21-12-24

Project Title

**HUE**

101 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner:  
**MARCON ALBERT (GPI) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title:  
**PRECEDENTS**

Drawn By: SB / HK  
Reviewed By: CH

Project Number:  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: **F**

Sheet Number:

**A0.020**

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VIEW FROM NE (SAINT JOHNS ST.)



VIEW FROM NW (SAINT JOHNS ST.)

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F	2021/12/24	RE-ISSUED FOR RZ/DP
D	2021/06/10	RE-ISSUED FOR RZ/DP
B	2020/10/14	RE-ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP
No.	Date	Revision Notes

**HUE**

101 Albert Street  
Port Moody, BC

Client/Owner

**MARCON ALBERT (GP) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title

**PERSPECTIVES**

Drawn By: SB / HK  
Reviewed By: CH

Project Number

1805

Plot Date: 21/12/24 Issue Date: 2021/12/24

Scale: 1/8"=1'-0" / 1:96.0  
Issue/Revision:

Sheet Number

**A0.031**





VIEW FROM SE (ALBERT ST)



VIEW FROM NE (SAINT JOHNS ST.)

**SHIFT**  
ARCHITECTURE

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No.	Date	Revision Notes
F	2021/12/24	RE-ISSUED FOR RZ/DP
D	2021/04/10	RE-ISSUED FOR RZ/DP
E	2020/10/14	RE-ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP

No.	Date	Revision Notes

RE-ISSUED FOR RZ / DP 21-12-24

Project Title  
**HUE**

121 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner  
**MARCON ALBERT (GP) LTD.**

5545 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**PERSPECTIVES**

Drawn By: SB / HK  
Reviewed By: CH

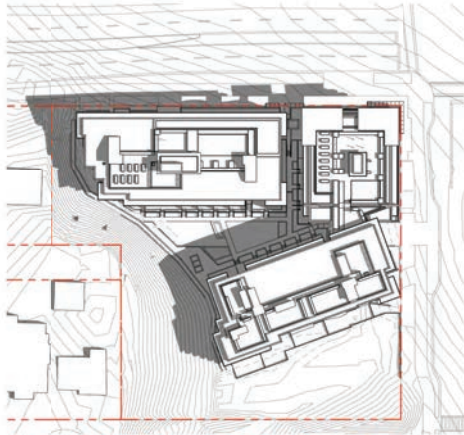
Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

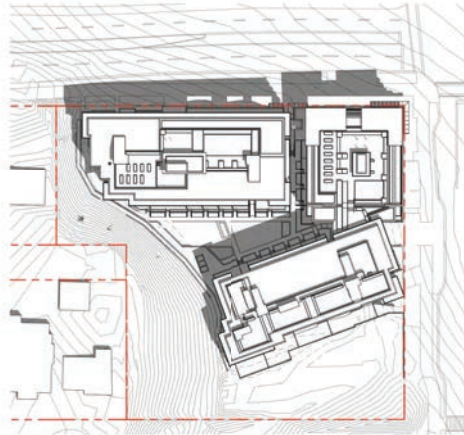
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Issue/Revision: **F**

Sheet Number

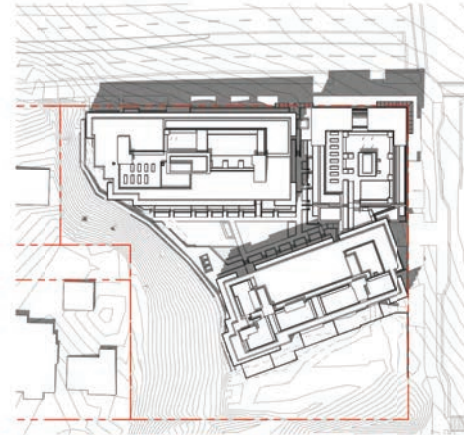
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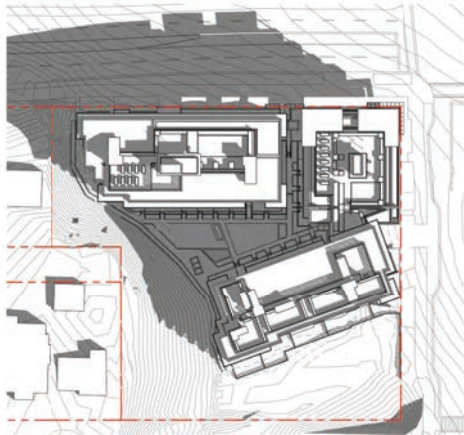
1 SHADOW STUDY - JUNE 21st (10am)  
1" = 50'-0"



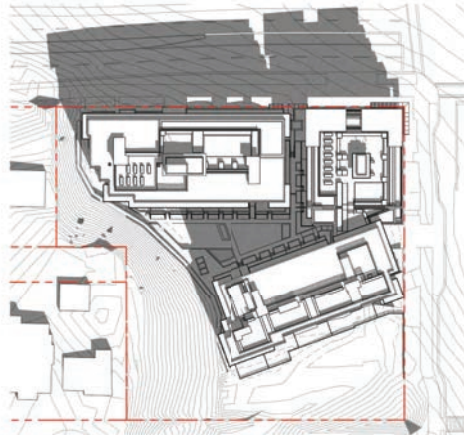
2 SHADOW STUDY - JUNE 21st (12pm)  
1" = 50'-0"



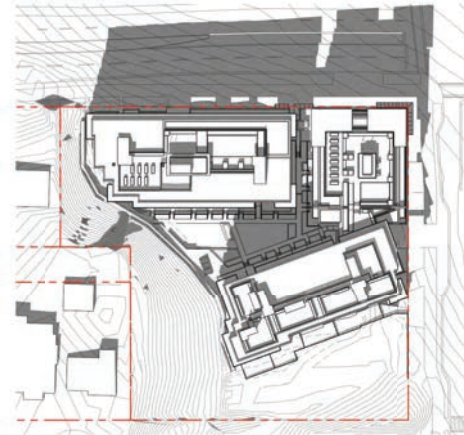
3 SHADOW STUDY - JUNE 21st (2pm)  
1" = 50'-0"



4 SHADOW STUDY - SEPT / MARCH 21st (10am)  
1" = 50'-0"



5 SHADOW STUDY - SEPT / MARCH 21st (12pm)  
1" = 50'-0"



6 SHADOW STUDY - SEPT / MARCH 21st (2pm)  
1" = 50'-0"

No.	Date	Revision Notes
F	2021/12/24	RE ISSUED FOR R2/DP
D	2021/08/10	RE ISSUED FOR R2/DP
E	2020/10/14	RE ISSUED FOR R2/DP
A	2019/03/06	ISSUED FOR R2/DP
No.	Date	Revision Notes

Project Title

**HUE**

101 Abbott Street  
Port Moody, BC

**MARCON**

Client/Owner  
**MARCON ALBERT (GPI) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title

**SHADOW STUDIES**

Drawn By: SB /HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1" = 50'-0"  
Issue/Revision: **F**

Sheet Number

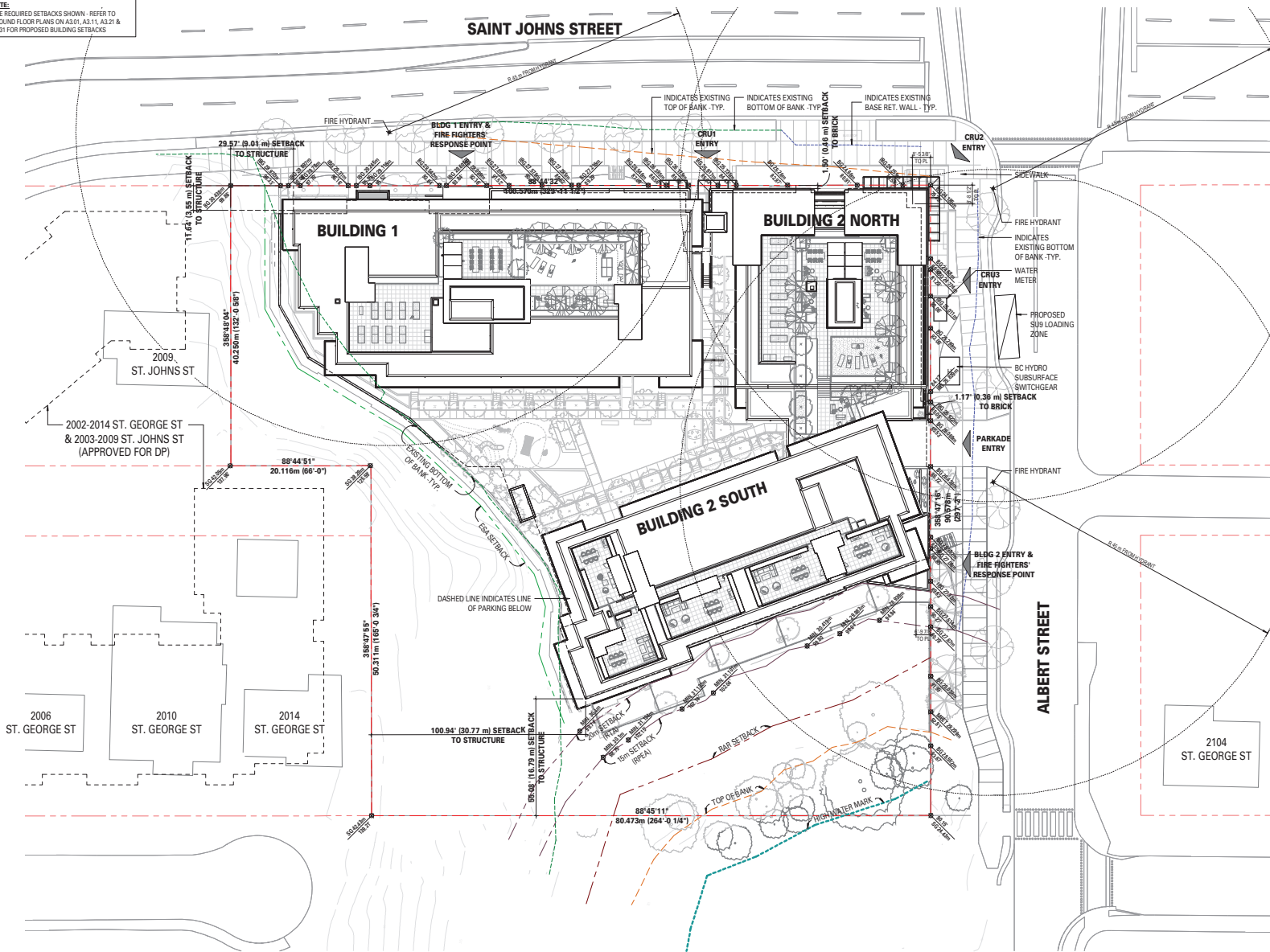
**A0.040**

**NOTE:**  
SITE REQUIRED SETBACKS SHOWN - REFER TO  
GROUND FLOOR PLANS ON A3.01, A3.11, A3.22 &  
A3.31 FOR PROPOSED BUILDING SETBACKS



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F	2021/02/24	RE ISSUED FOR RZ/DP
E	2021/09/10	50% COORDINATION
D	2021/09/10	RE ISSUED FOR RZ/DP
B	2020/12/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP



RE-ISSUED FOR RZ / DP 21-12-24

**Project File:**  
HUE

121 Albert Street  
Port Moody, BC

**MARCON**

Client Name:  
**MARCON ALBERT (GP) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

**SITE PLAN**

Drawn By: SB/HK  
Reviewed By: CH

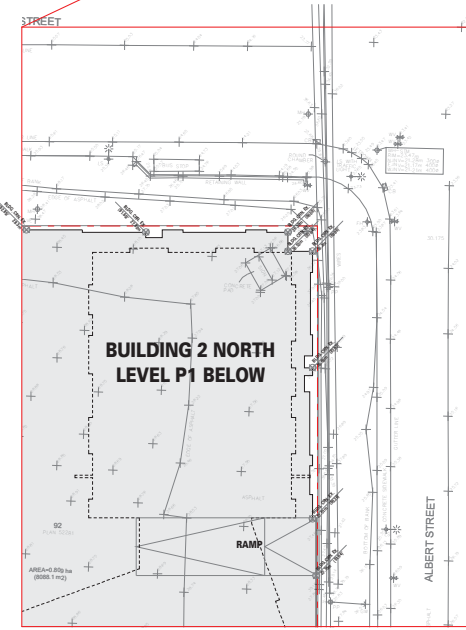
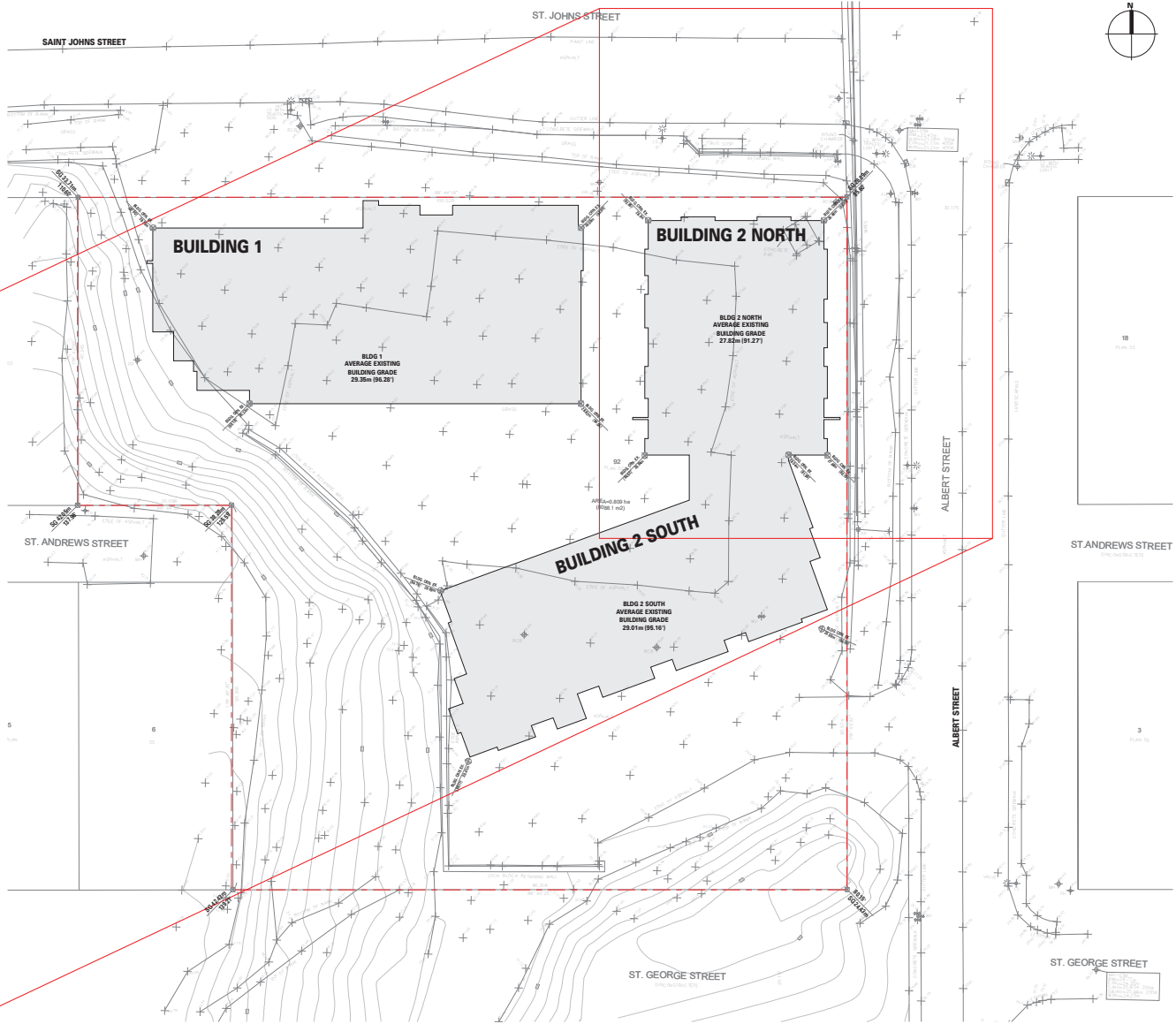
Project Number:  
1805

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1" = 20' 0"

Sheet Number: F

**NOTE:**  
SURVEY GRADES AT PROPERTY LINE INTERPOLATED FROM SURVEY DRAWINGS. BUILDING HEIGHTS EXTRAPOLATED FROM LEVEL 1 EXISTING GRADES FOR BOTH BUILDINGS 1 AND 2.



2 SITE PLAN - EXISTING GRADES - LEVEL P1  
2.0 1" = 20'-0"

1 SITE PLAN - EXISTING GRADES - LEVEL 1  
2.0 1" = 20'-0"



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F	2021/12/24	RE ISSUED FOR RZ/DP
E	2021/09/10	50% COORDINATION
D	2021/08/10	RE ISSUED FOR RZ/DP
C	2021/05/04	RE ISSUED FOR RZ/DP
B	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP

Project File  
**HUE**  
101 Albert Street  
Port Moody, BC

REISSUED FOR RZ / DP 21-12-24

**MARCON**  
Client/Owner:  
**MARCON ALBERT (GP) LTD.**  
5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**EXISTING GRADES**

Drawn By: SB/HK  
Reviewed By: CH  
Project Number  
**1805**  
Plot Date: 21/12/24  
Issue Date: 2021/12/24  
Scale: 1" = 20'-0"  
Revision:  
**F**  
Sheet Number

**A1.01**

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No.	Date	Revision Notes

Project File  
**HUE**

101 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner  
**MARCON ALBERT (GP) LTD.**

5545 159 Street  
Langley, BC V3A 1H9

Sheaf Title  
**LEVEL P4 - OVERALL**

Drawn By: SB / HK / LC  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24 Sheet Date: 2024/12/24

Scale: **F**

Sheet Number

**A2.01**

2024-12-21 10:30 AM

**PARKING SCHEDULE (P4)**

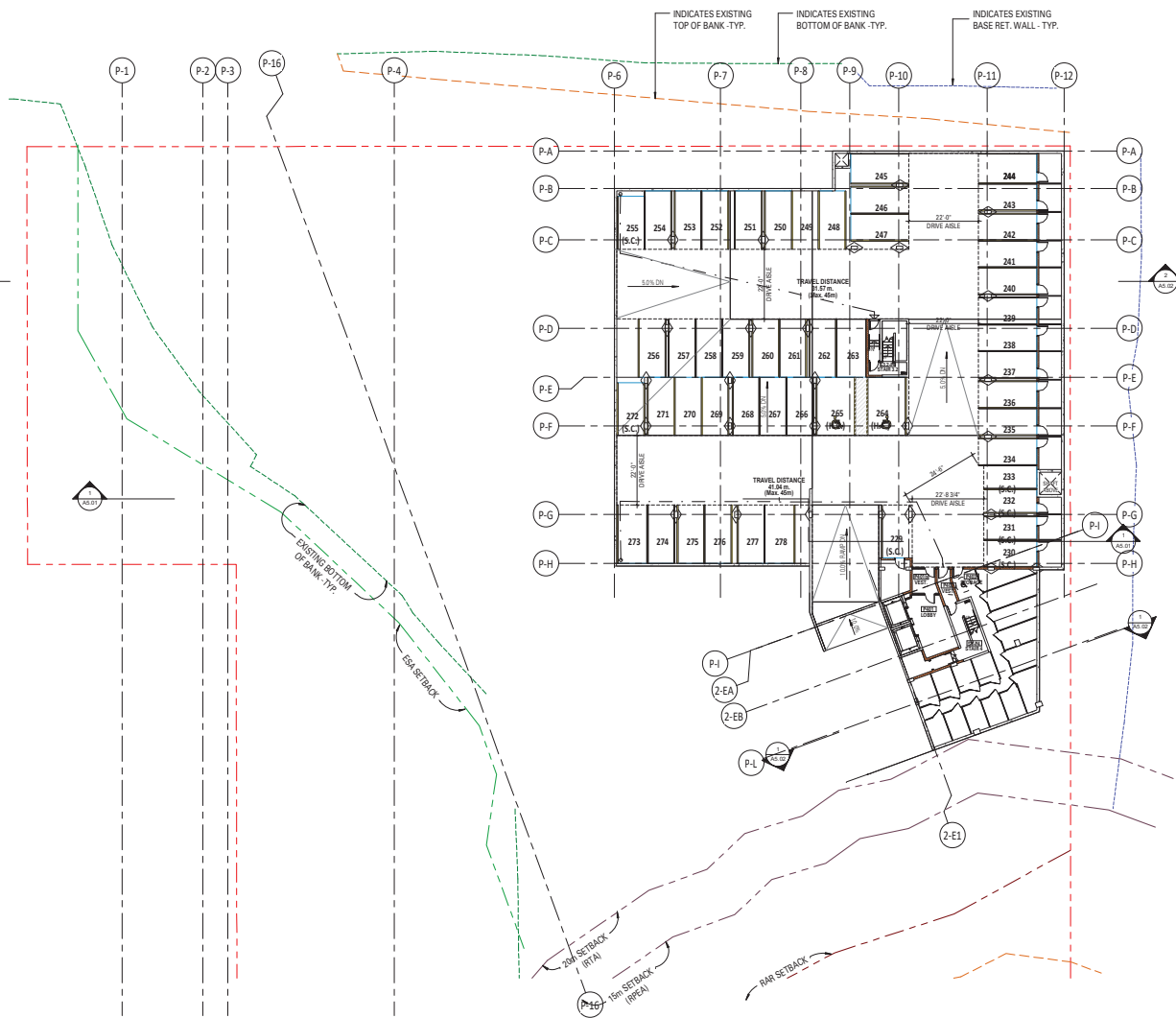
Description	Count
ACCESSIBLE STALL	2
REGULAR STALL	41
SMALL CAR STALL	7
Grand total: 50	

**BICYCLE SCHEDULE (P4)**

Description	Count

**STORAGE ROOM SCHEDULE (P4)**

Name	Count
STOR	20

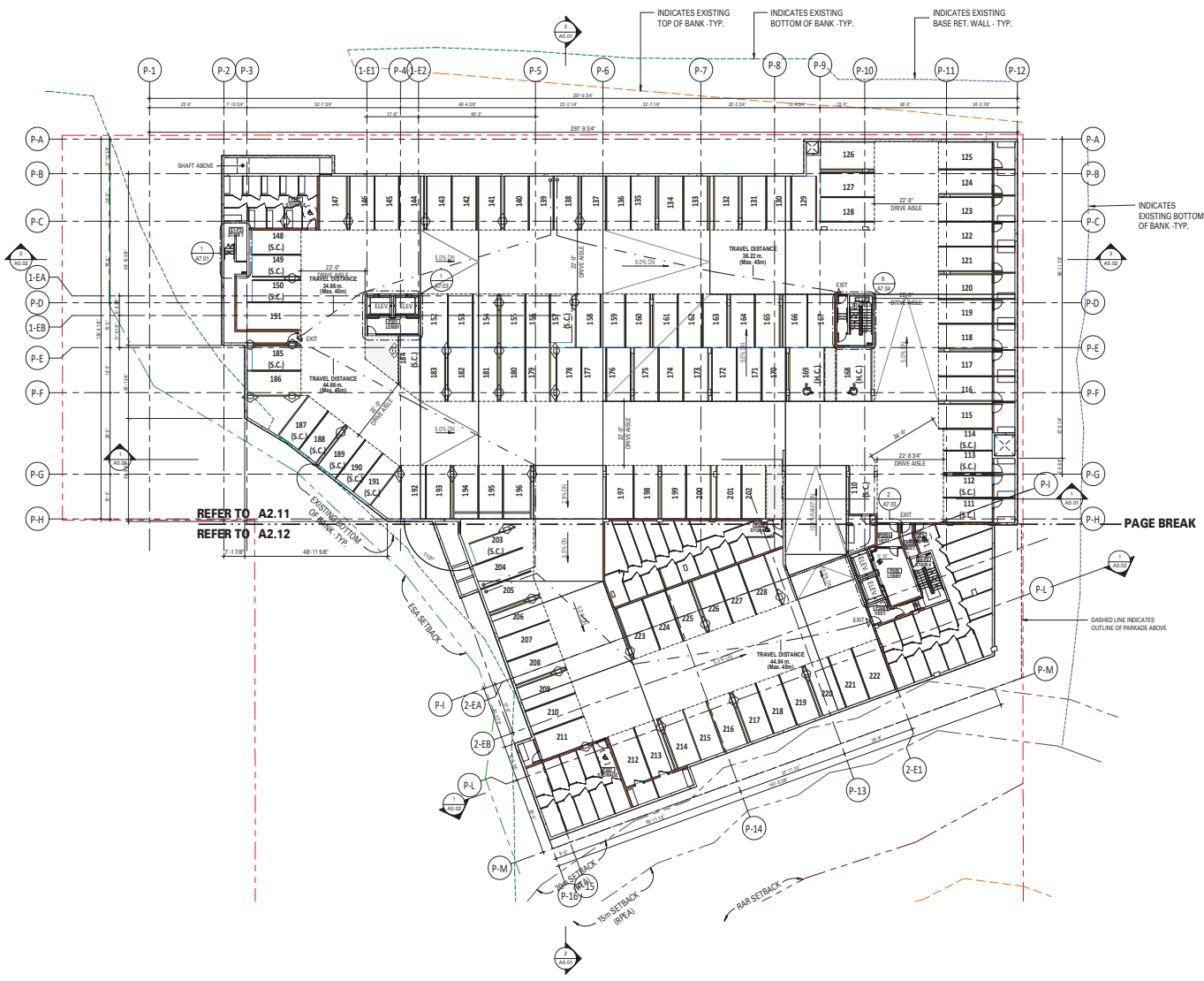


RE-ISSUED FOR RZ / DP 21-12-24

PARKING SCHEDULE (P2)	
Description	Count
ACCESSIBLE STALL	2
REGULAR STALL	100
SMALL CORNER STALL	87
Grand total: P2	

BICYCLE SCHEDULE (P2)	
Description	Count
BICYCLE STALL HORIZONTAL	27
Grand total: P2	

STORAGE ROOM SCHEDULE (P2)	
Name	Count
STOR	87



202,100 West 34 Street  
North Vancouver, BC V7P 3J5  
P: 604-488-7021 | I: 604-488-7022

No.	Date	Revision Notes
F	2021/02/24	RE ISSUED FOR RZ/DP
E	2021/09/10	50% COORDINATION
D	2021/09/10	RE ISSUED FOR RZ/DP
C	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/09/06	ISSUED FOR RZ/DP

Project Title  
**HUE**  
101 Albert Street  
Port Moody, BC

**MARCON**  
Client/Owner  
**MARCON ALBERT (GP) LTD.**  
5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**LEVEL P3 - OVERALL**  
Drawn By: SB / HK  
Reviewed by: CH  
Project Number  
**1805**  
Plot Date: 21/12/24  
Issue Date: 2021/12/24  
Scale: 1/16" = 1'-0"  
Sheet Number

**A2.02**

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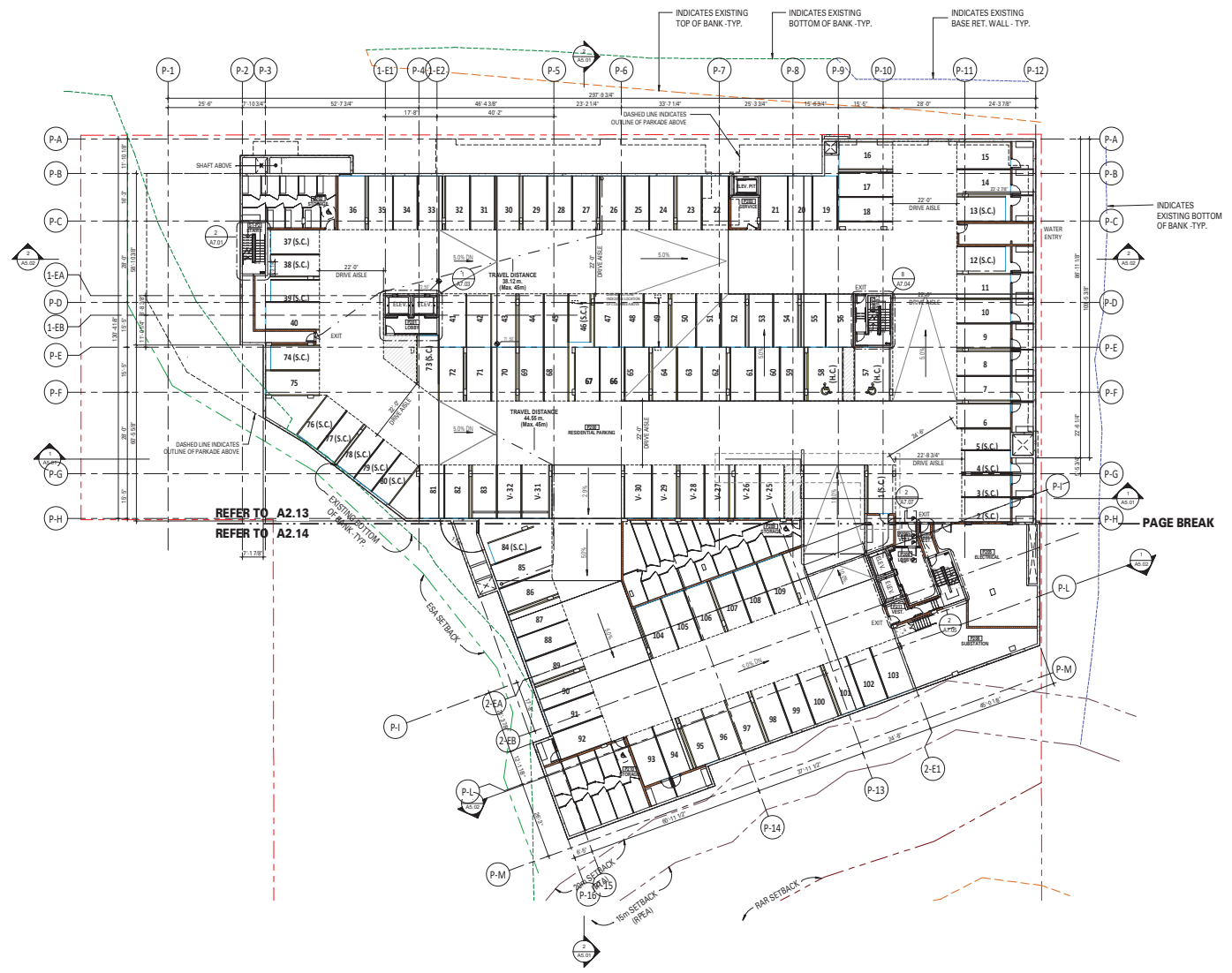
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D	2021/09/10	RE ISSUED FOR RZ/DP
C	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/09/06	ISSUED FOR RZ/DP

PARKING SCHEDULE (P2)	
Description	Count
ACCESSIBLE STALL	2
REGULAR STALL	36
SMALL CAR STALL	19
Grand total:	57

BICYCLE SCHEDULE (P2)	
Description	Count
BICYCLE STALL (HORIZONTAL)	28
Grand total:	28

STORAGE ROOM SCHEDULE (P2)	
Name	Count
STOR.	51



REFER TO A2.13  
REFER TO A2.14

PAGE BREAK

RE ISSUED FOR RZ / DP 21-12-24

Project Title  
**HUE**  
101 Albert Street  
Port Moody, BC



Client/Owner  
**MARCON ALBERT (GP) LTD.**  
5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**LEVEL P2 - OVERALL**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/16" = 1'-0"  
Revision: **F**

Sheet Number

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F	2021/02/24	RE ISSUED FOR RZ/OP
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C	2020/10/14	RE ISSUED FOR RZ/OP
A	2019/03/06	ISSUED FOR RZ/OP

No.	Date	Revision Notes
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E	2021/09/10	50% COORDINATION
D	2021/09/10	RE ISSUED FOR RZ/OP
C	2020/10/14	RE ISSUED FOR RZ/OP
A	2019/03/06	ISSUED FOR RZ/OP

Project Title  
**HUE**  
101 Albert Street  
Port Moody, BC

Client/Owner  
**MARCON**  
MARCON ALBERT (GP) LTD.  
5645 199 Street  
Langley, BC V4A 1H9

Sheet Title  
**LEVEL P1 - OVERALL & LEVEL P0**  
Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**  
Plot Date: 21/12/24  
Issue Date: 2021/12/24  
Scale: 1/8" = 1'-0"  
As Issued: **F**  
Sheet Number

PARKING SCHEDULE (P1)	
Description	Count
ACCESSIBLE STALL	2
LOADING CLASS A	1
REGULAR STALL	41
SMALL CAR STALL	18
Grand total	62

BICYCLE SCHEDULE (P1)	
Description	Count
BICYCLE LOCKER HORIZONTAL	2
BICYCLE STALL HORIZONTAL	104
BICYCLE STALL VERTICAL	23
Grand total	129

BICYCLE SCHEDULE (P0)	
Description	Count
BICYCLE STALL HORIZONTAL	10
BICYCLE STALL VERTICAL	15
Grand total	25

STORAGE ROOM SCHEDULE (P1)	
Name	Count
STOR	11

STORAGE ROOM SCHEDULE (P0)	
Name	Count
STOR	20

PARKING REQUIREMENTS	
<b>Residential Building</b>	
Residential Parking Market Demand	147
1 per Unit (1 Bed & Studio)	110
1.5 per Unit (2 Bed & Up)	249
Total	359
Max. Small Car = 33%	65
<b>Residential Parking Below Market Demand</b>	
0.9 per Unit (1 Bed & Studio)	12
0.9 per Unit (2 Bed & Up)	12
Total	24
Max. Small Car = 33%	8
<b>Accessibility</b>	
120' 11% ramp stalls = 4	4
Each additional 50 stalls = 1	4
Total	8
Visitors = min. 1 out of the total 7	7
<b>Visitor Parking Market Demand</b>	
0.2 per Unit for lot 100	210
0.2 per unit additional lots	42
Total	252
Max. Small Car = 33%	83
<b>Visitor Parking Below Market Demand</b>	
0.1 per Unit	12
Total	12
Max. Small Car = 33%	4
<b>Commercial Parking</b>	
Stall - 1 per 40 units	21
Total	21
Max. Small Car = 33%	7
<b>Loading Parking</b>	
100' 1.0045 stalls to 2.002 stalls	12
Total	12
<b>Residential Parking Residential</b>	
40% Term - 13 per unit	333
50% Term - 6 per building	24
Total	357
<b>Residential Parking Commercial</b>	
40% Term - 11 per unit	229
50% Term - 4 per unit	40
Total	269

PARKING SCHEDULE (RESIDENT)	
Description	Count
ACCESSIBLE STALL	6
REGULAR STALL	239
SMALL CAR STALL	43
Grand total	278

PARKING SCHEDULE (VISITORS)	
Description	Count
ACCESSIBLE STALL	1
REGULAR STALL	25
SMALL CAR STALL	6
Grand total	32

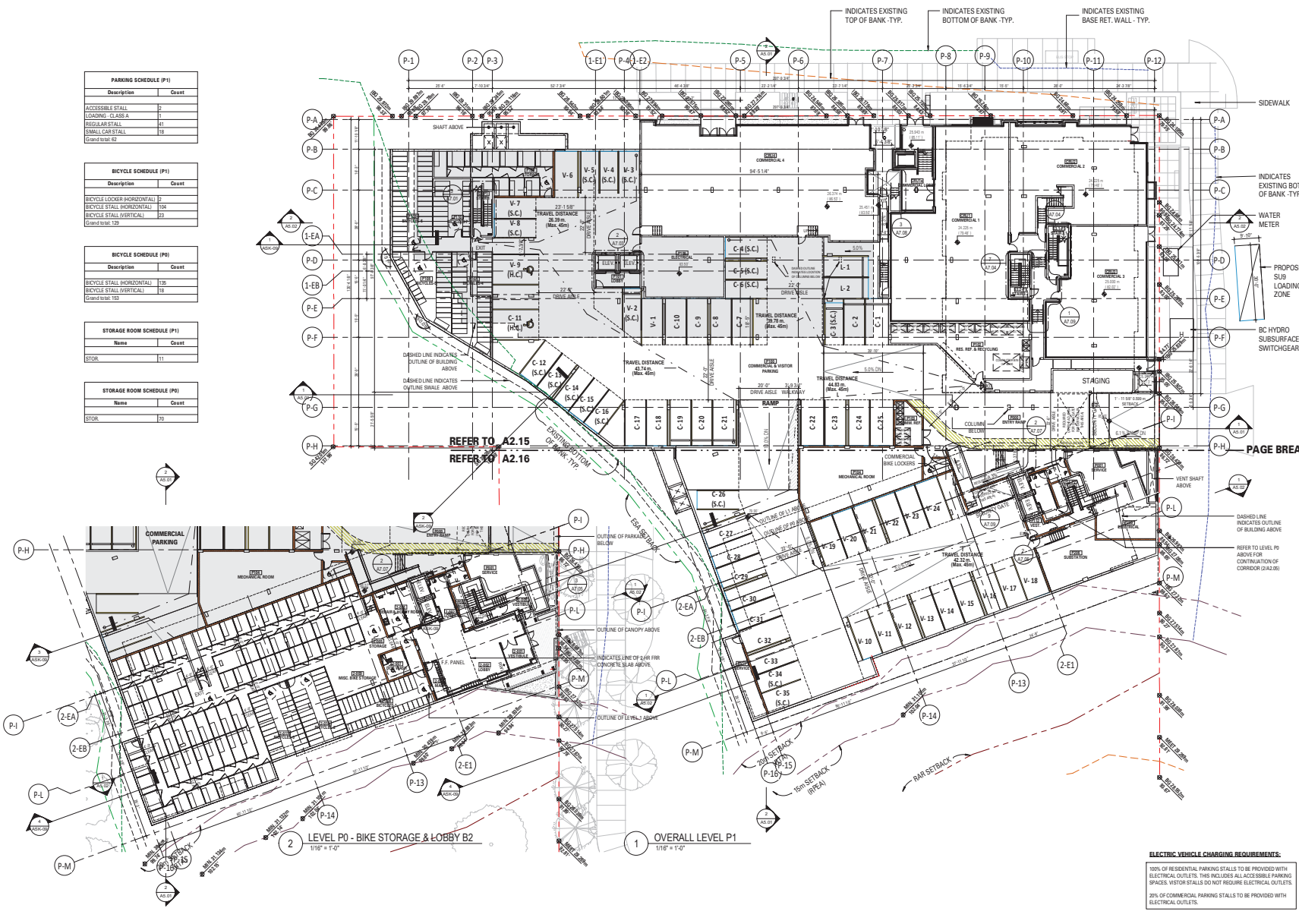
PARKING SCHEDULE (COMMERCIAL)	
Description	Count
ACCESSIBLE STALL	1
REGULAR STALL	22
SMALL CAR STALL	12
Grand total	35

PARKING SCHEDULE (LOADING)	
Description	Count
LOADING CLASS A	1
REGULAR STALL	2
Grand total	3

PARKING SCHEDULE (BICYCLE)	
Description	Count
BICYCLE LOCKER HORIZONTAL	2
BICYCLE STALL HORIZONTAL	206
BICYCLE STALL VERTICAL	41
Grand total	310

STORAGE ROOM SCHEDULE	
Name	Count
STOR	229

**ELECTRIC VEHICLE CHARGING REQUIREMENTS:**  
100% OF RESIDENTIAL PARKING STALLS TO BE PROVIDED WITH ELECTRICAL OUTLETS. THIS INCLUDES ALL ACCESSIBLE PARKING SPACES. VISITOR STALLS DO NOT REQUIRE ELECTRICAL OUTLETS.  
20% OF COMMERCIAL PARKING STALLS TO BE PROVIDED WITH ELECTRICAL OUTLETS.



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**SHIFT**  
ARCHITECTURE

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1	2021/12/24	RE ISSUED FOR RZ/DP
2	2020/10/14	RE ISSUED FOR RZ/DP
3	2019/03/06	ISSUED FOR RZ/DP

Project Title  
**HUE**

121 Abbott Street  
Port Moody, BC

**MARCON**

Client Name  
**MARCON ALBERT (GP) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**LEVEL P4 PLAN - PARKING**

Drawn By: SB / HK / LC  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24 Issue Date: 2021/12/24

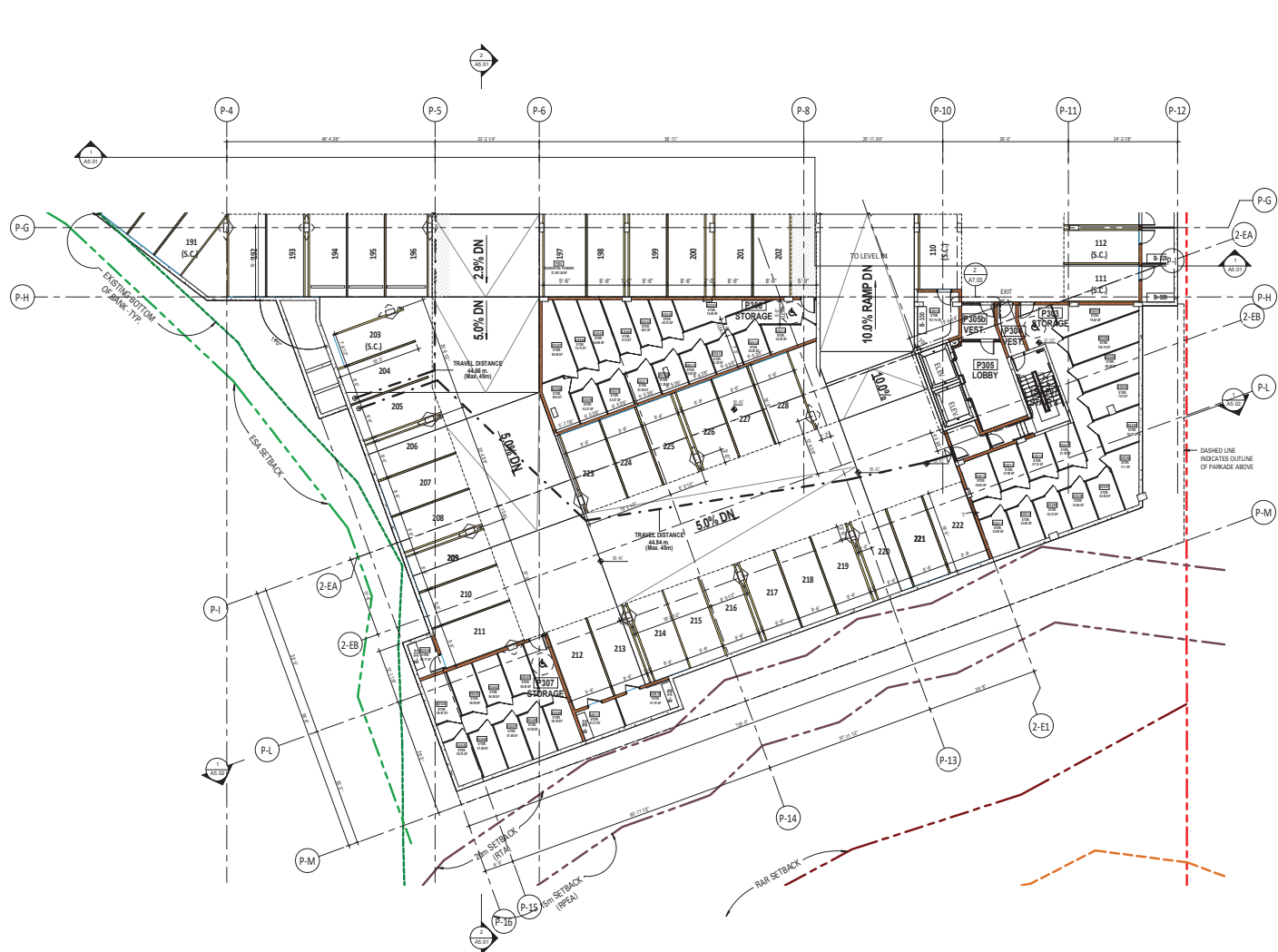
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Sheet Number

**A2.11**

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D	2021/04/10	RE ISSUED FOR RZ/DP
C	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP

Project Title  
**HUE**  
101 Albert Street  
Port Moody, BC

Client/Owner  
**MARCON**  
MARCON ALBERT (GPI) LTD.  
5645 199 Street  
Langley, BC V3A 1H9

Drawn By: SB / HK  
Reviewed by: CH  
Project Number: 1805  
Plot Date: 21/12/24  
Issue Date: 2021/12/24  
Scale: 3/32" = 1'-0"  
Sheet Number: F

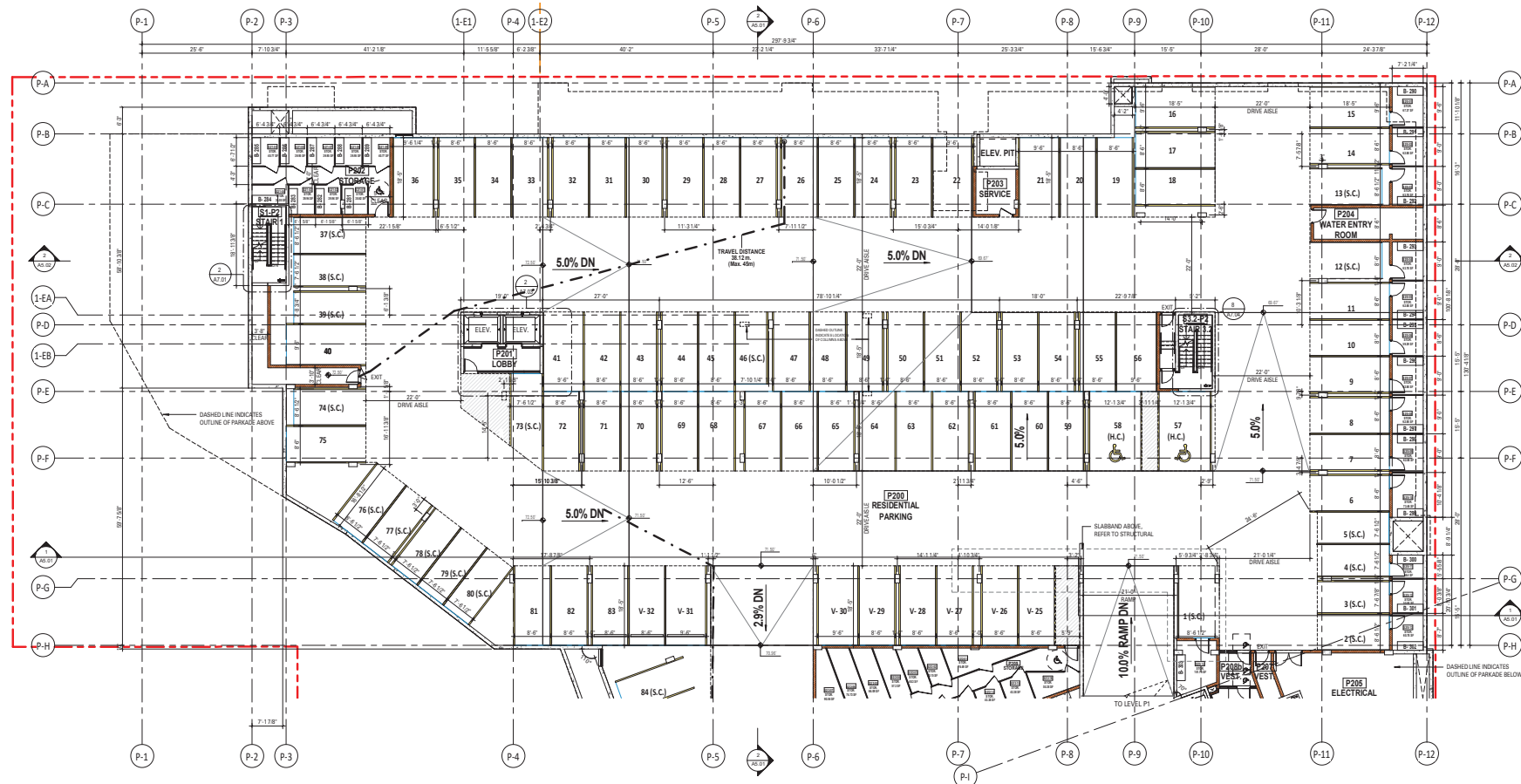
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D	2021/09/10	RE ISSUED FOR RZ/OP
C	2020/10/14	RE ISSUED FOR RZ/OP
A	2019/03/06	ISSUED FOR RZ/OP



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Project File  
**HUE**  
101 Albert Street  
Port Moody, BC



Client/Owner  
**MARCON ALBERT (GP) LTD.**  
5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**LEVEL P2 PLAN - NORTH**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

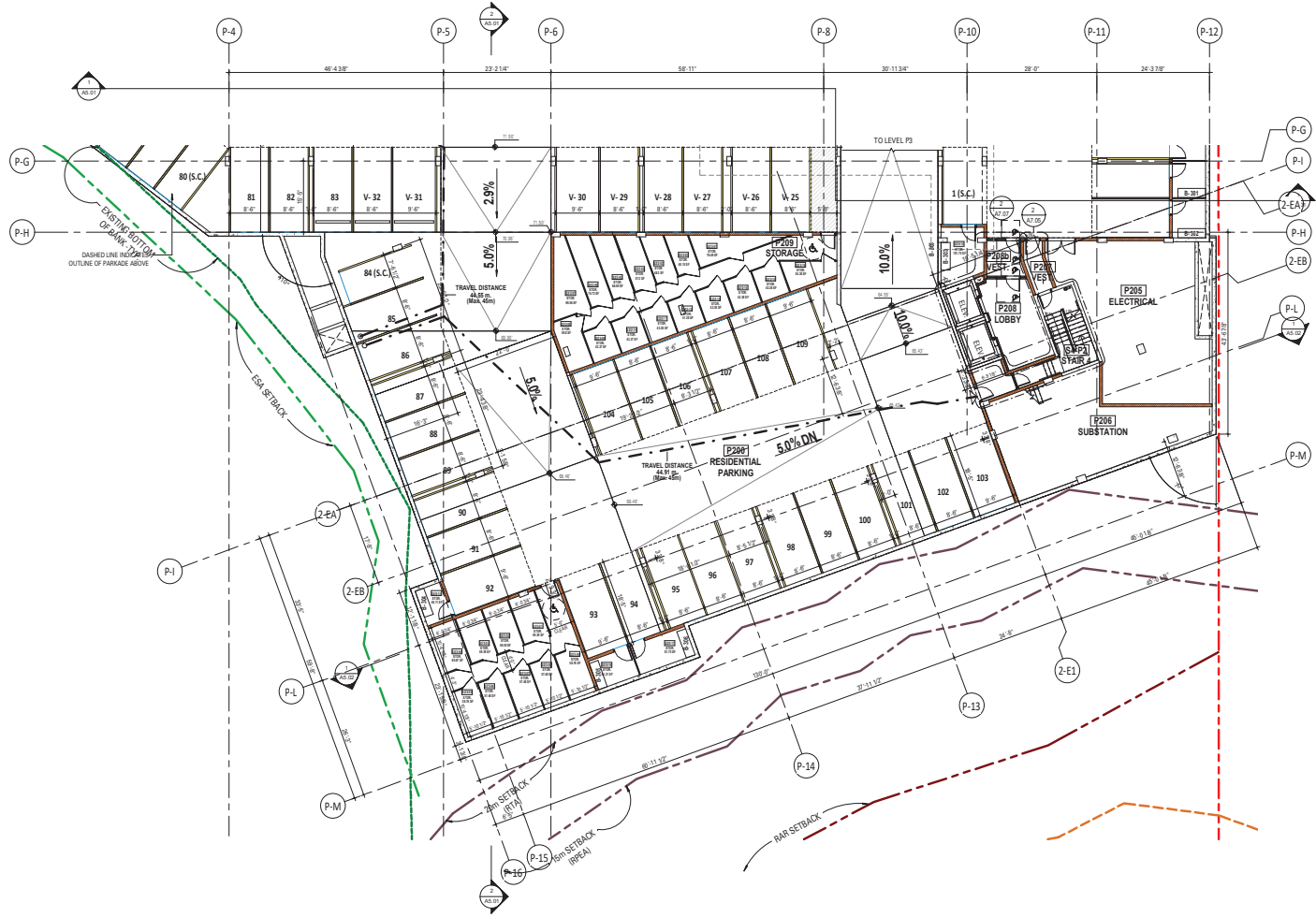
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C	2020/10/14	RE ISSUED FOR RZ/DP
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No.	Date	Revision Notes



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Project Title  
**HUE**  
101 Albert Street  
Port Moody, BC



Client/Owner  
**MARCON ALBERT (GP) LTD.**  
5545 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**LEVEL P2 PLAN - SOUTH**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 3/32" = 1'-0"  
Revision: **F**

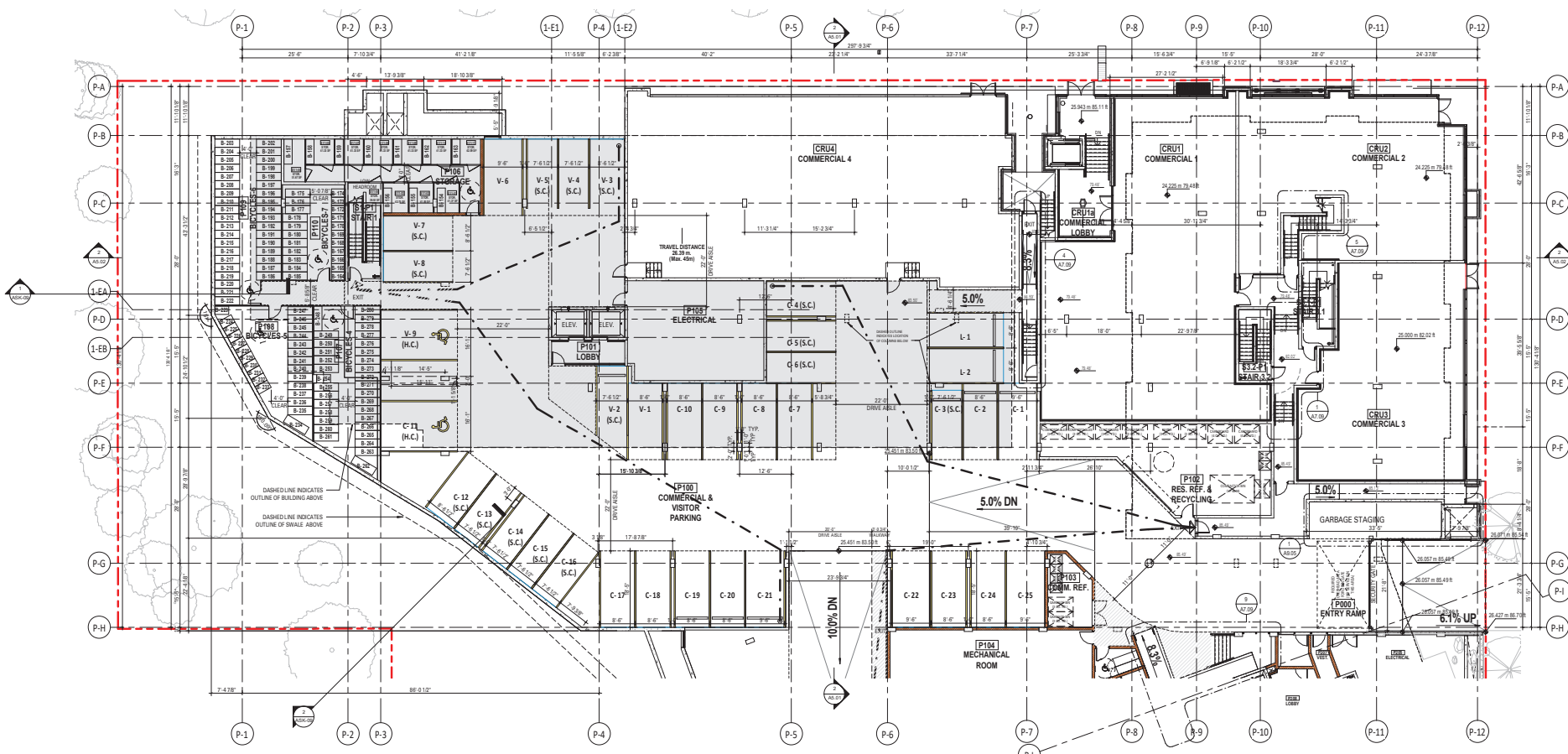
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**A2.15**



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C	2020/10/14	RE ISSUED FOR RZ/DP
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**MARCON**

Client/Owner  
**MARCON ALBERT (GP) LTD.**

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Langley, BC V3A 1H9

Sheet Title  
**LEVEL P1 PLAN - NORTH**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 3/32" = 1'-0"  
Revision: **F**

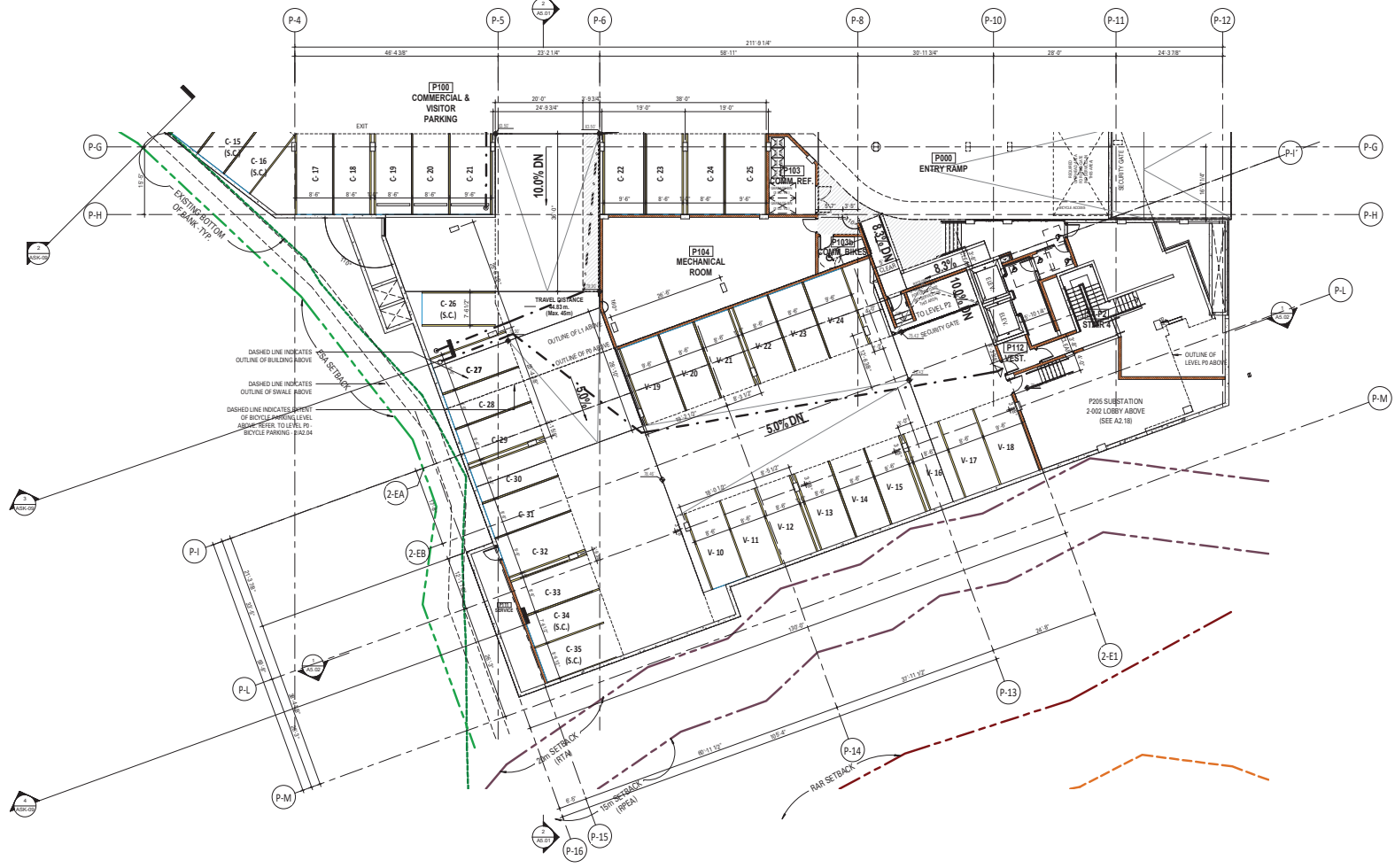
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C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP
No.	Date	Revision Notes



DASHED LINE INDICATES OUTLINE OF BUILDING ABOVE  
DASHED LINE INDICATES OUTLINE OF SWALE ABOVE  
DASHED LINE INDICATES PERMIT OF BICYCLE PARKING LEVEL AS SHOWN TO USE BY BICYCLE PARKING (B2.04)

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5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**LEVEL P1 PLAN - SOUTH**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

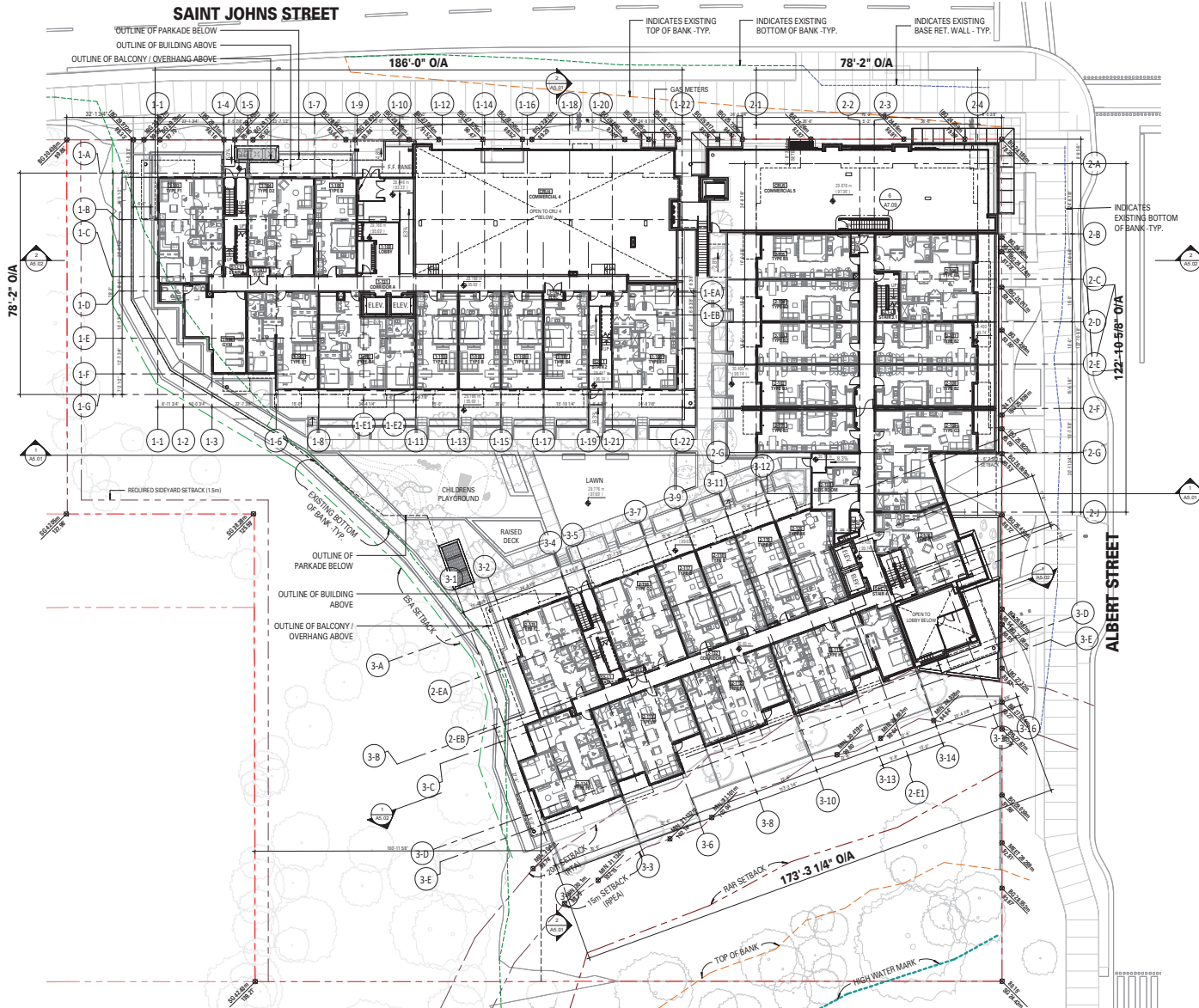
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Issue Date: 2021/12/24

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C	2020/10/14	RE ISSUED FOR RZ/DP
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No.	Date	Revision Notes

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Sheet Title  
**LEVEL 1**

Drawn By: CB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/16" = 1'-0"  
Revision: **F**

Sheet Number



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C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP

Project File  
**HUE**  
121 Albert Street  
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Client/Owner  
**MARCON**  
MARCON ALBERT (GP) LTD.  
5645 199 Street  
Langley, BC V3A 1H9

Drawn By: SB / HK  
Reviewed by: CH  
Project Number: 1805  
Plot Date: 21/12/24  
Issue Date: 2021/12/24  
Scale: 1/16" = 1'-0"  
Sheet Number: F

**A3.02**

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C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP

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Project Title  
**HUE**

121 Albert Street  
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**MARCON**

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**MARCON ALBERT (GP) LTD.**

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Langley, BC V3A 1H9

Sheet Title  
**LEVEL 3**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/16" = 1'-0"  
Revision: **F**

Sheet Number

**A3.03**

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D	2021/04/10	RE ISSUED FOR RZ/GP
C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP
No.	Date	Revision Notes

Project File  
**HUE**

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Port Moody, BC

**MARCON**

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Sheet Title  
**LEVEL 4**

Drawn By: CB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/16" = 1'-0"  
Revision: **F**

Sheet Number

**A3.04**

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C	2020/10/14	RE ISSUED FOR RZ/DP
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Project Title  
**HUE**  
101 Albert Street  
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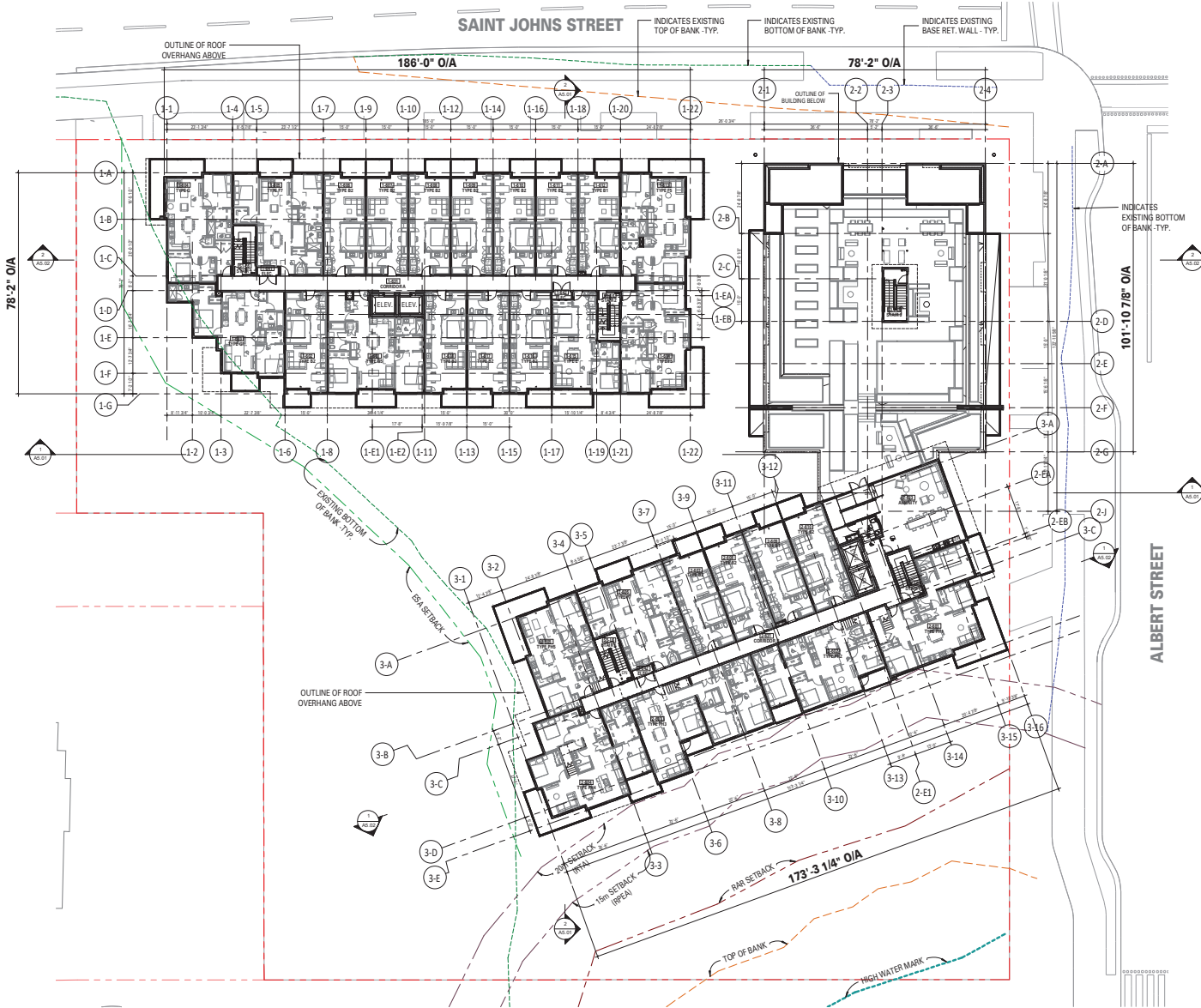
Client/Owner  
**MARCON ALBERT (GP) LTD.**  
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Langley, BC V3A 1H9

Drawn By: SB / HK  
Reviewed by: CH  
Project Number: 1805  
Plot Date: 21/12/24  
Sheet Date: 2021/12/24  
Scale: 1/16" = 1'-0"  
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**A3.05**

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C	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP

No. Date Revision Notes

Project File  
**HUE**

101 Albert Street  
Port Moody, BC



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Langley, BC V3A 1H9

Sheet Title  
**LEVEL 6**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

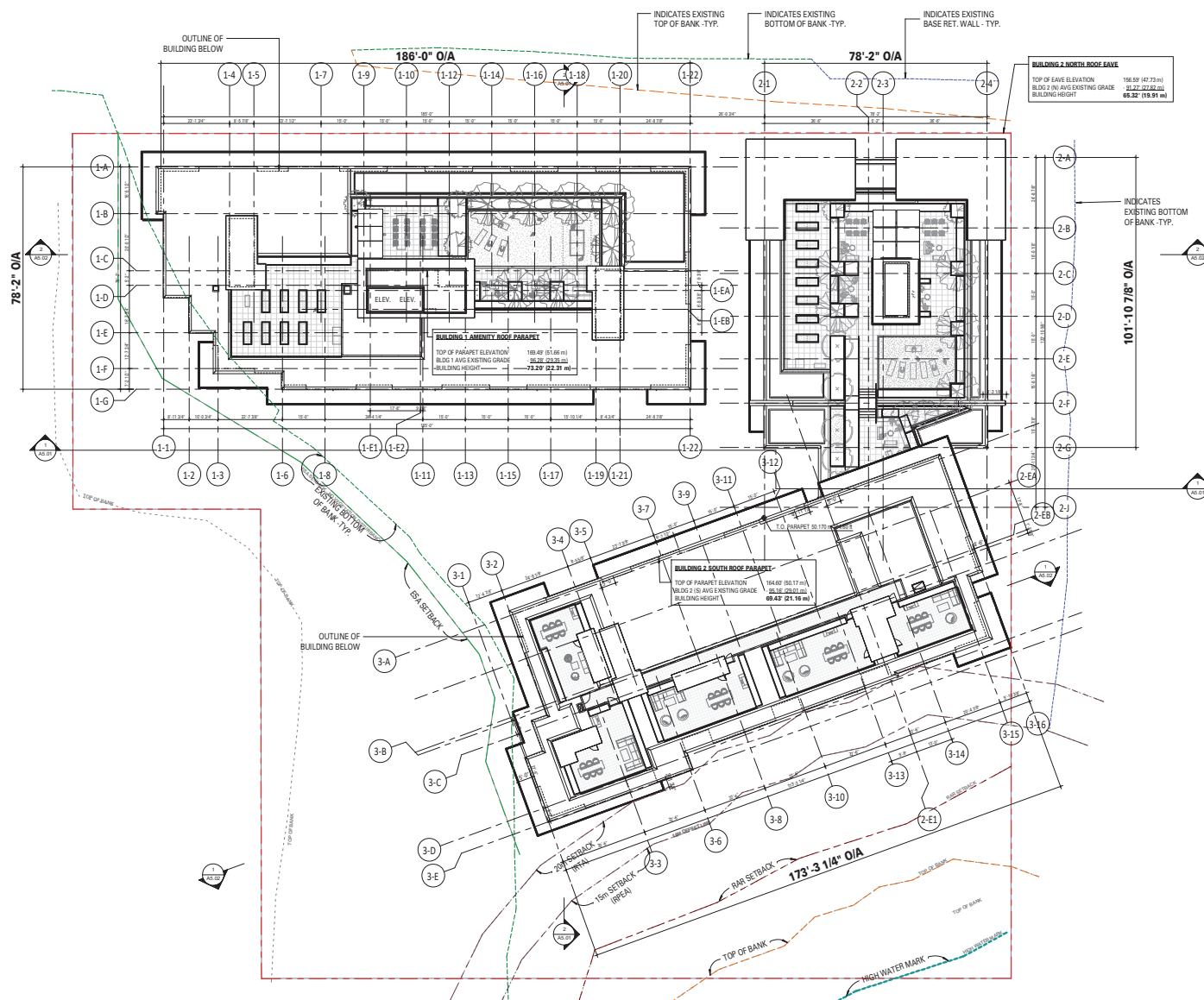
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Sheet Number

**A3.06**

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D	2021/08/10	RE ISSUED FOR RZ/DP
C	2021/05/04	RE ISSUED FOR RZ/DP
B	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP

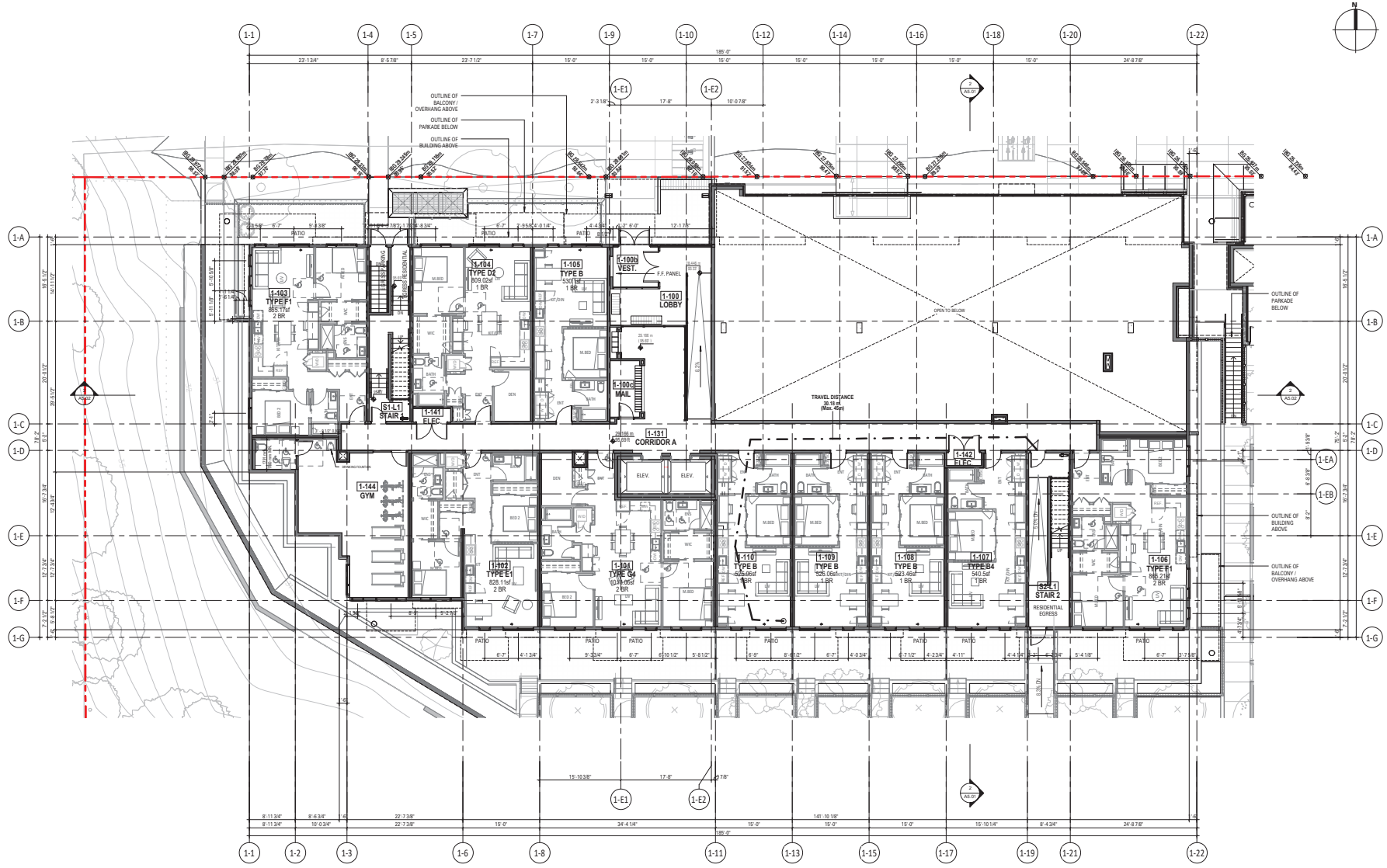
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 101 Albert Street  
 Port Moody, BC

**MARCON**  
 Client/Owner  
**MARCON ALBERT (GP) LTD.**  
 5645 199 Street  
 Langley, BC V3A 1H9

Sheet Title  
**ROOF PLAN**  
 Drawn By: SB / HK  
 Reviewed by: CH  
 Project Number  
**1805**  
 Plot Date  
 21/12/24  
 Issue Date  
 2021/12/24  
 Scale  
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**A3.07**

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C	2020/10/14	RE ISSUED FOR RZ/DP
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No.	Date	Revision Notes

Project File  
**HUE**

101 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner  
**MARCON ALBERT (GP) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**B1 - LEVEL 1**

Drawn By: SB/HC  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/8" = 1'-0"  
Revision: **F**

Sheet Number

**A3.11**

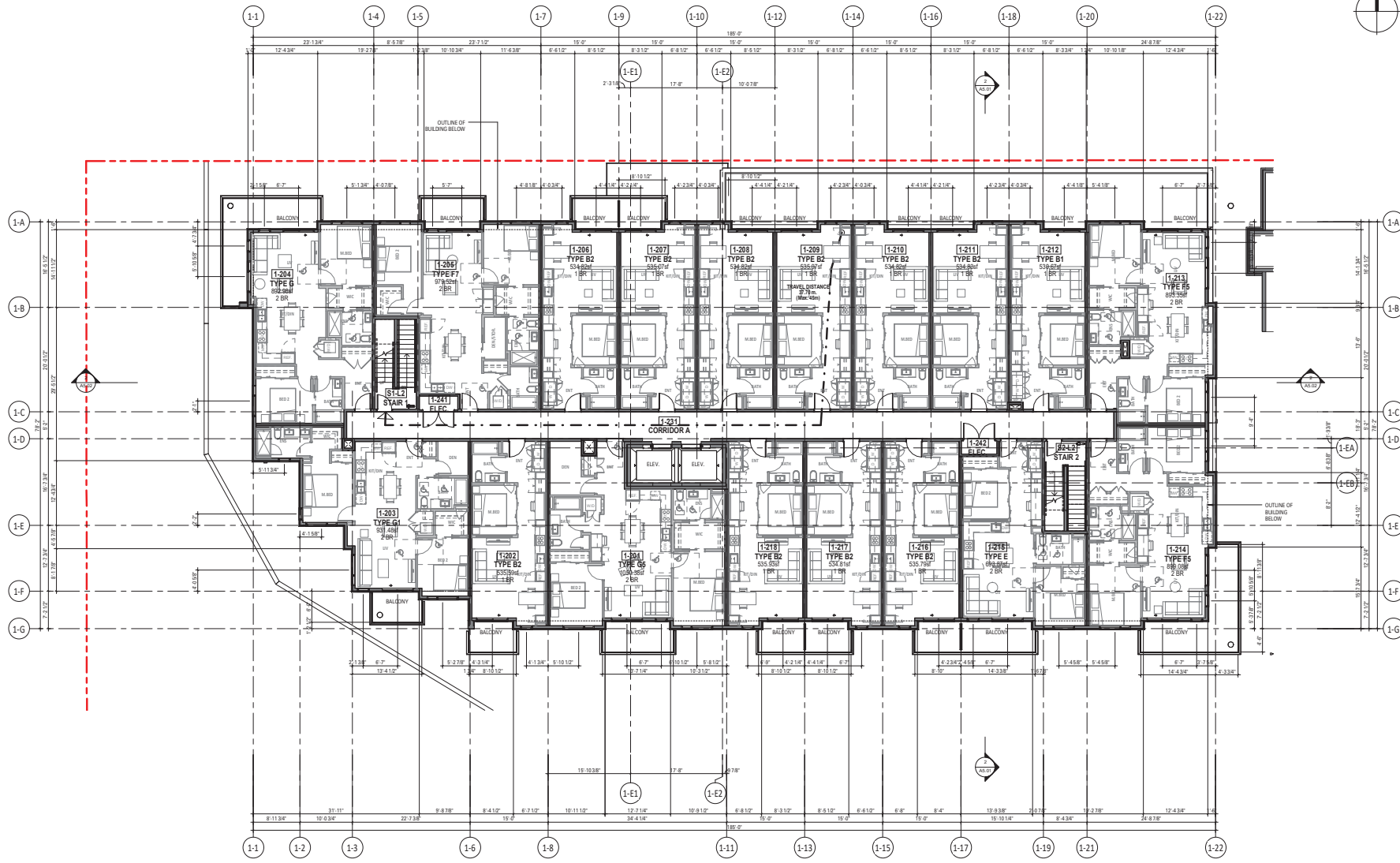
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C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP



No.	Date	Revision Notes
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D	2021/04/10	RE ISSUED FOR RZ/GP
C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP

Project File  
**HUE**

101 Albert Street  
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Sheet Title  
**B1 - LEVEL 2-6 - TYPICAL**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

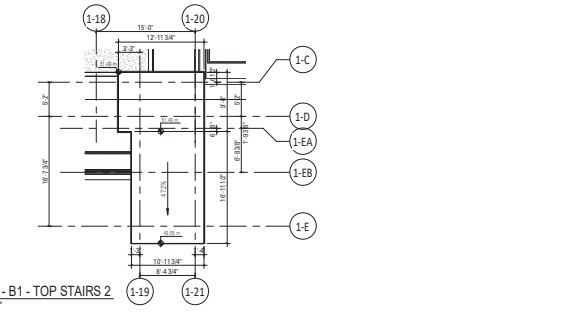
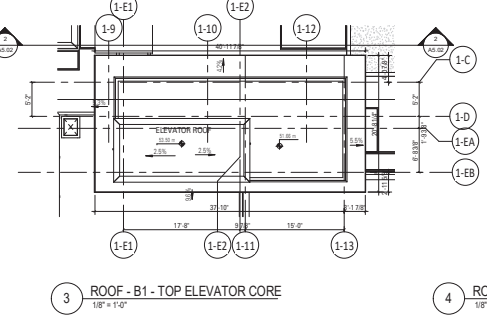
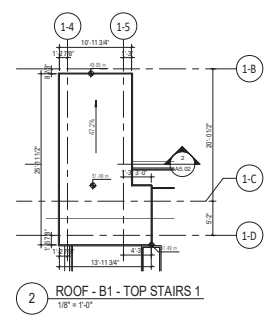
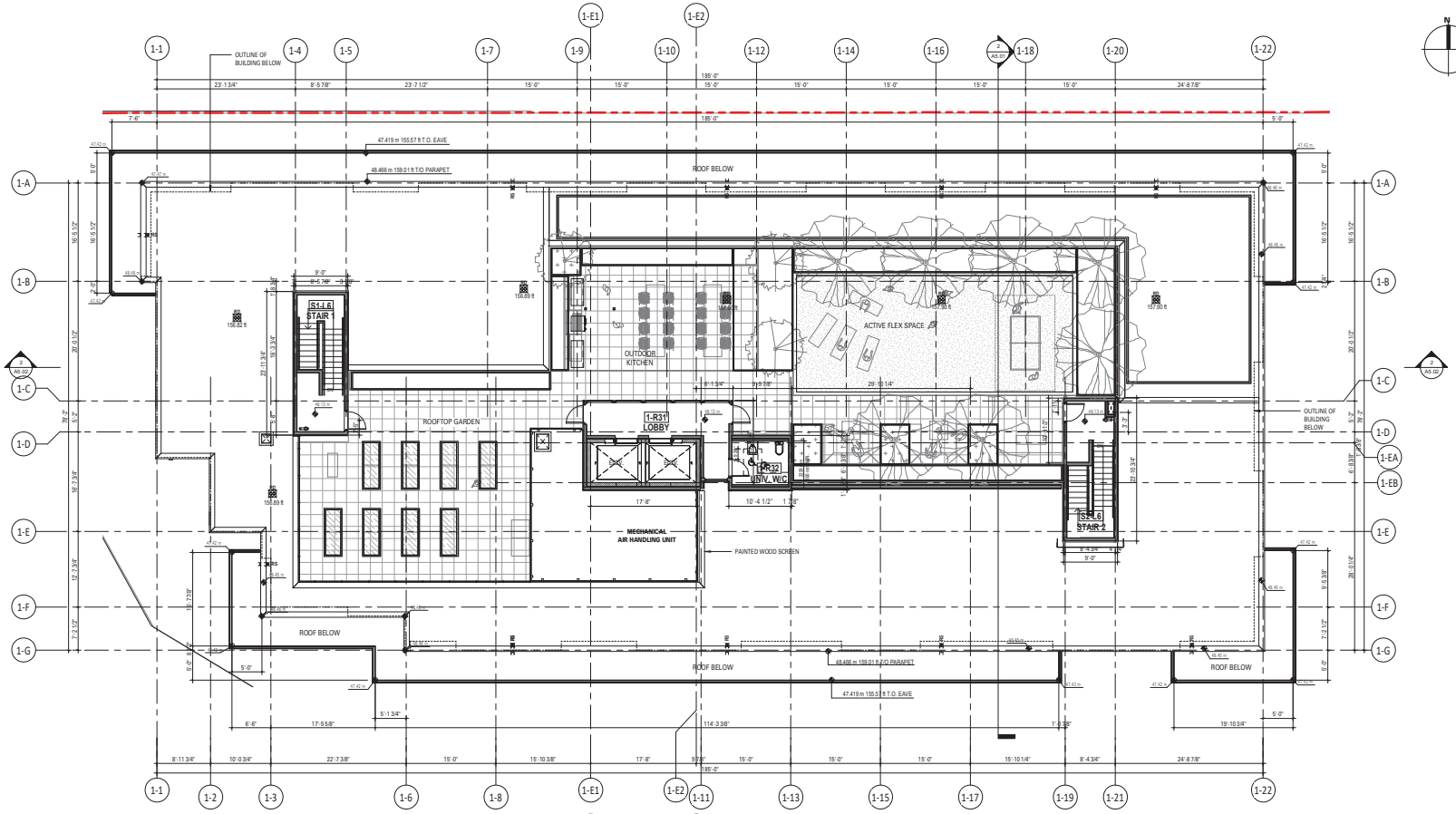
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Issue Date: 2021/12/24

Scale: 1/8" = 1'-0"  
Revision: **F**

Sheet Number

**A3.12**

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D	2021/09/10	20% COORDINATION
I	2021/08/10	RE ISSUED FOR R2/DP
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No.	Date	Revision Notes

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**HUE**  
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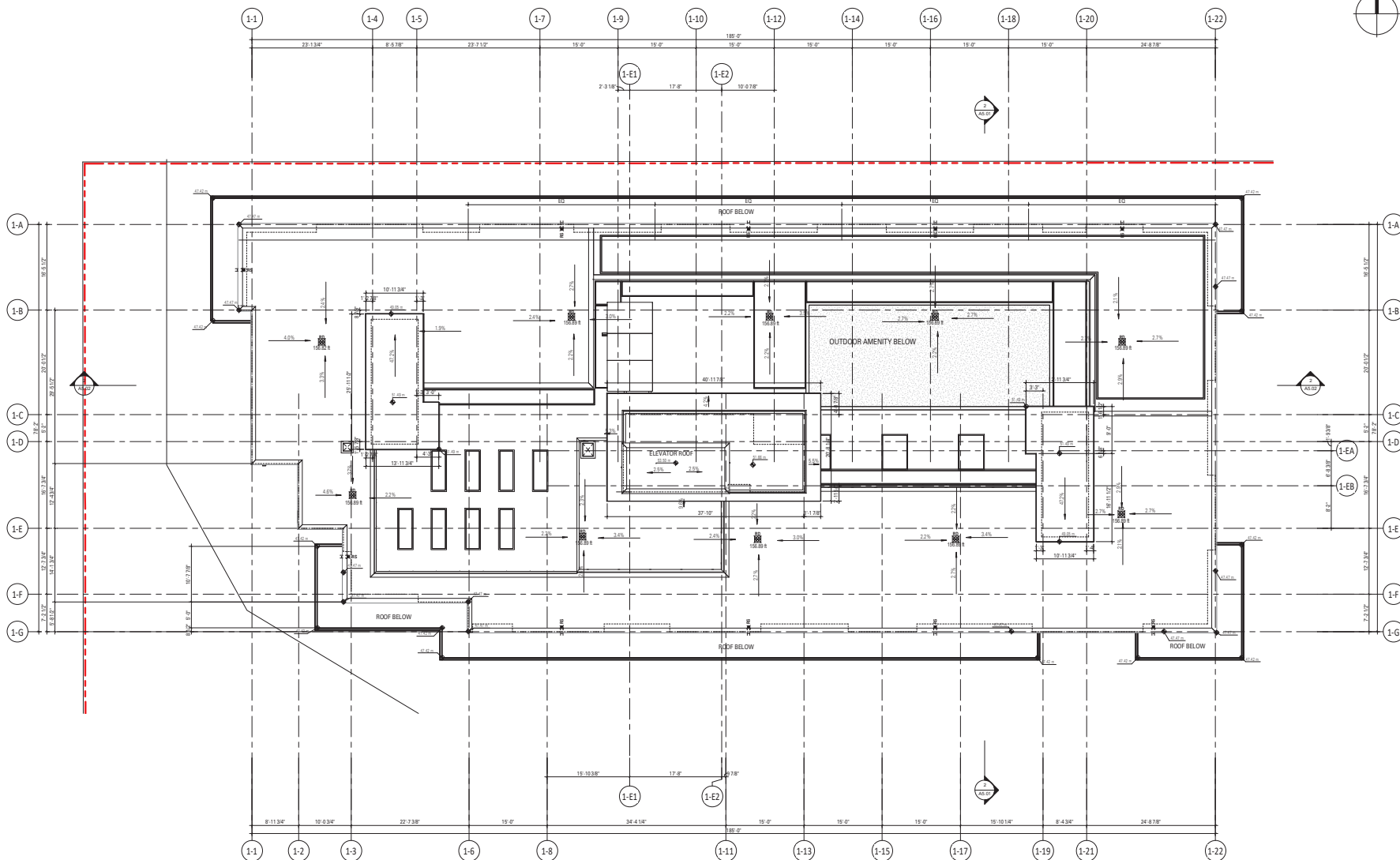
**MARCON**  
Client/Owner  
**MARCON ALBERT (GP) LTD.**  
5645 199 Street  
Langley, BC V3A 1H9  
Sheet Title  
**B1 - ROOF GARDEN PLAN**

Drawn By: SB / HK  
Reviewed by: CH  
Project Number: 1805  
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**A3.17**

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D	2021/06/10	RE ISSUED FOR RZ/DP
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A	2019/03/06	ISSUED FOR RZ/DP

Project File  
**HUE**  
101 Albert Street  
Port Moody, BC

Client/Owner  
**MARCON ALBERT (GP) LTD.**  
5545 199 Street  
Langley, BC V3A 1H9

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

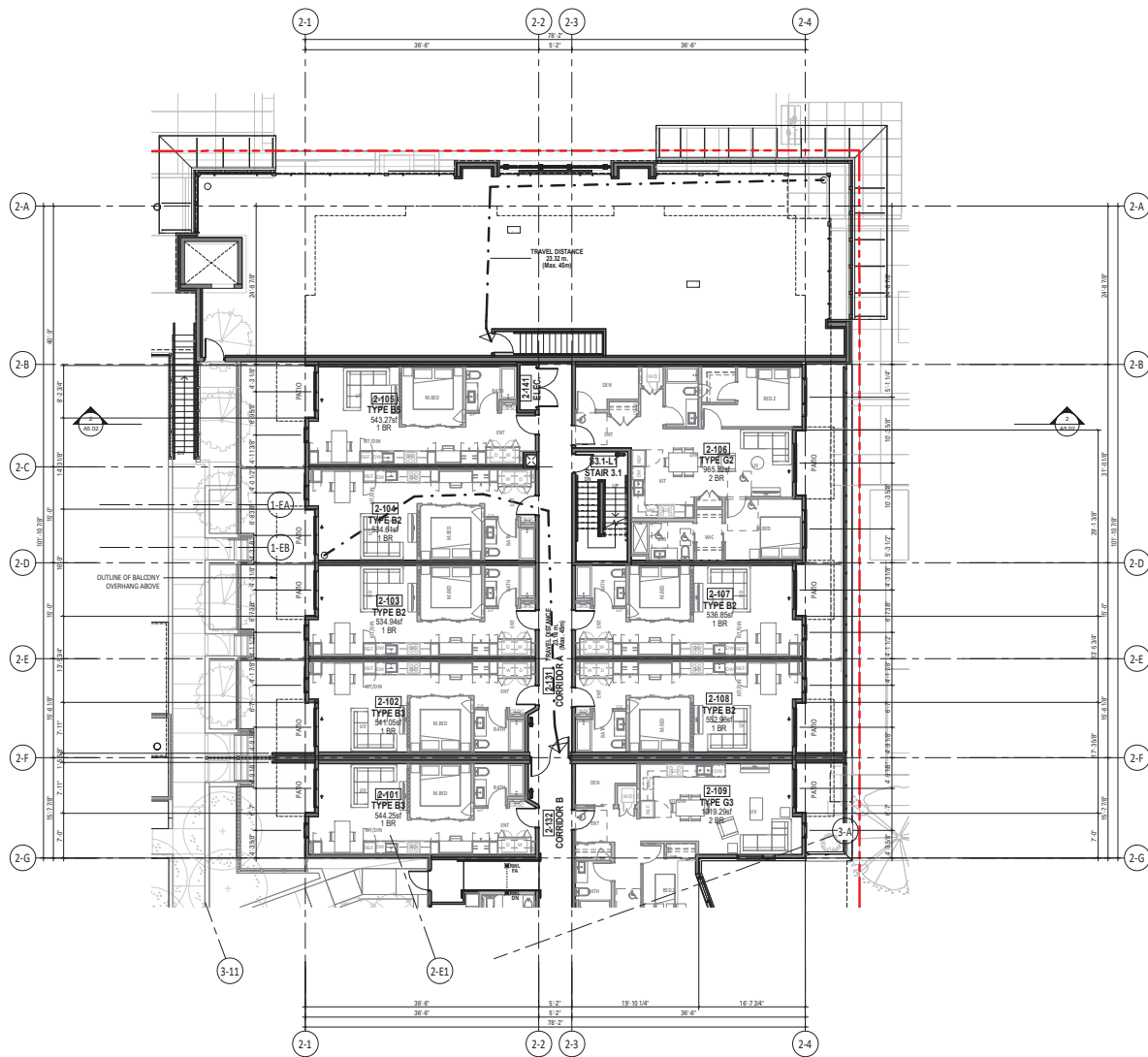
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Sheet Title  
**B2 - NORTH - LEVEL 1**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

Plot Date: 21/12/24  
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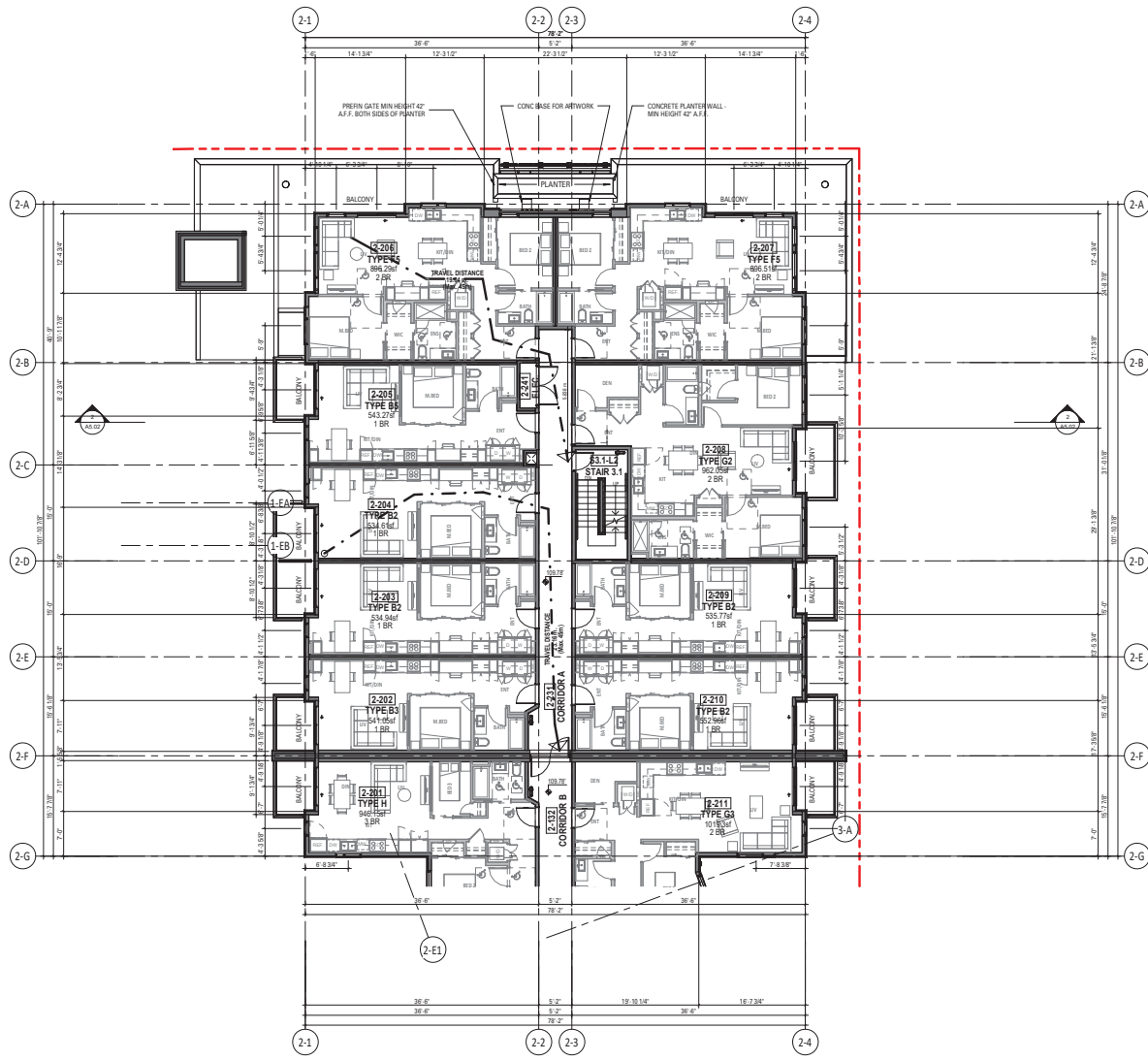
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Sheet Title  
**B2 - NORTH - LEVEL 2-B - TYPICAL**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

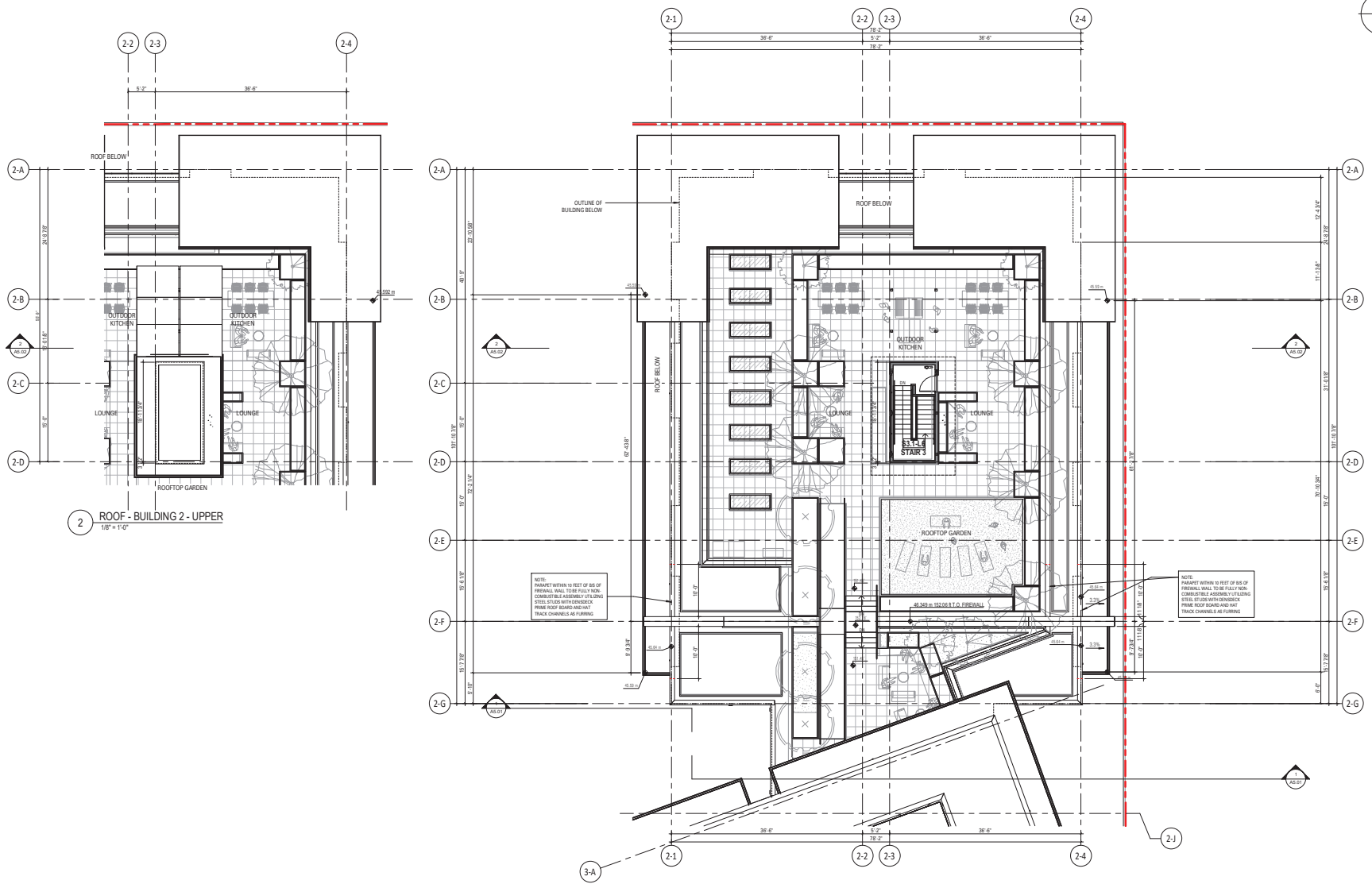
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2 ROOF - BUILDING 2 - UPPER  
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Sheet Title  
**B2 - NORTH - ROOF GARDEN PLAN**

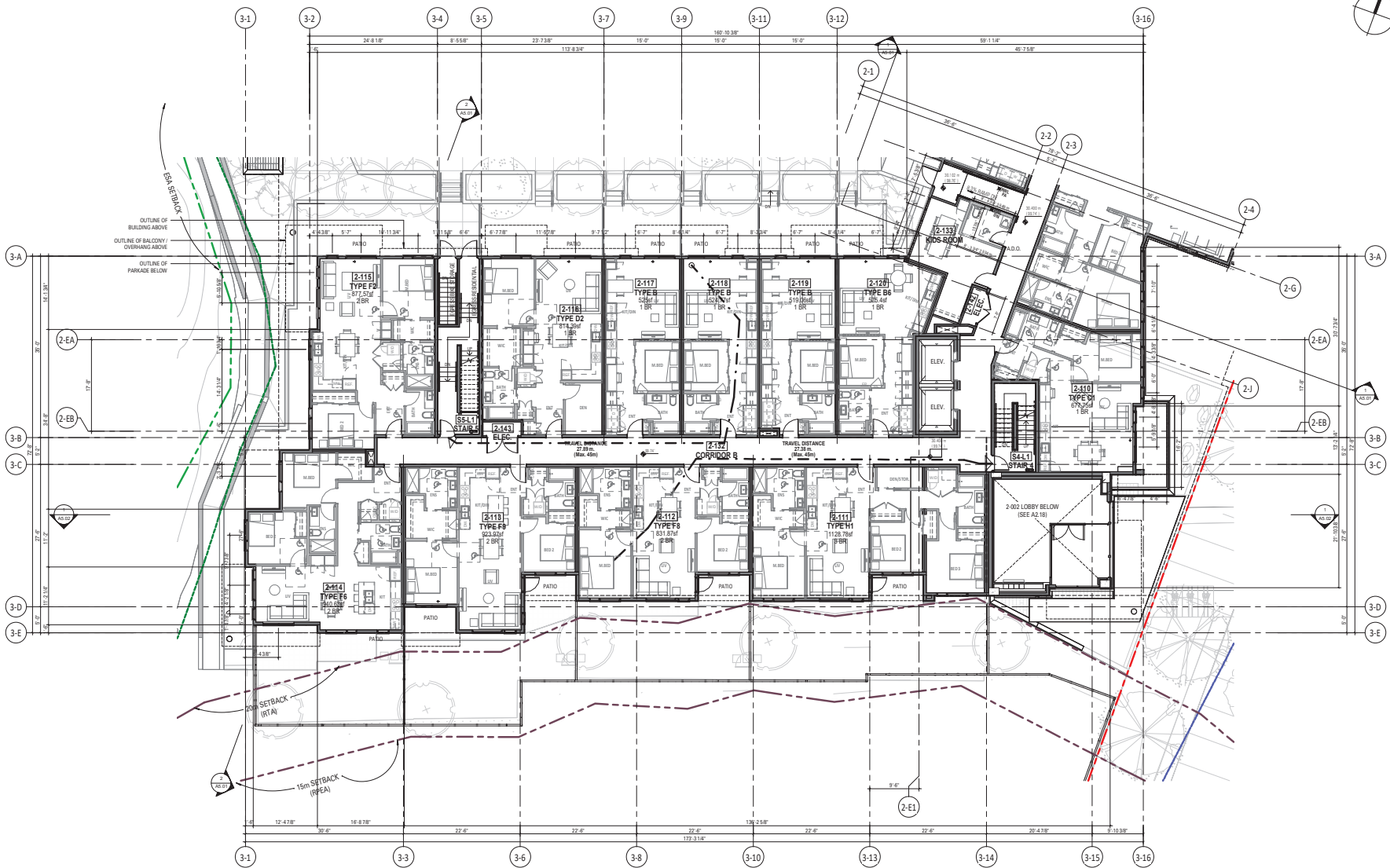
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**1805**  
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Sheet Title  
**B2 - SOUTH - LEVEL 1**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

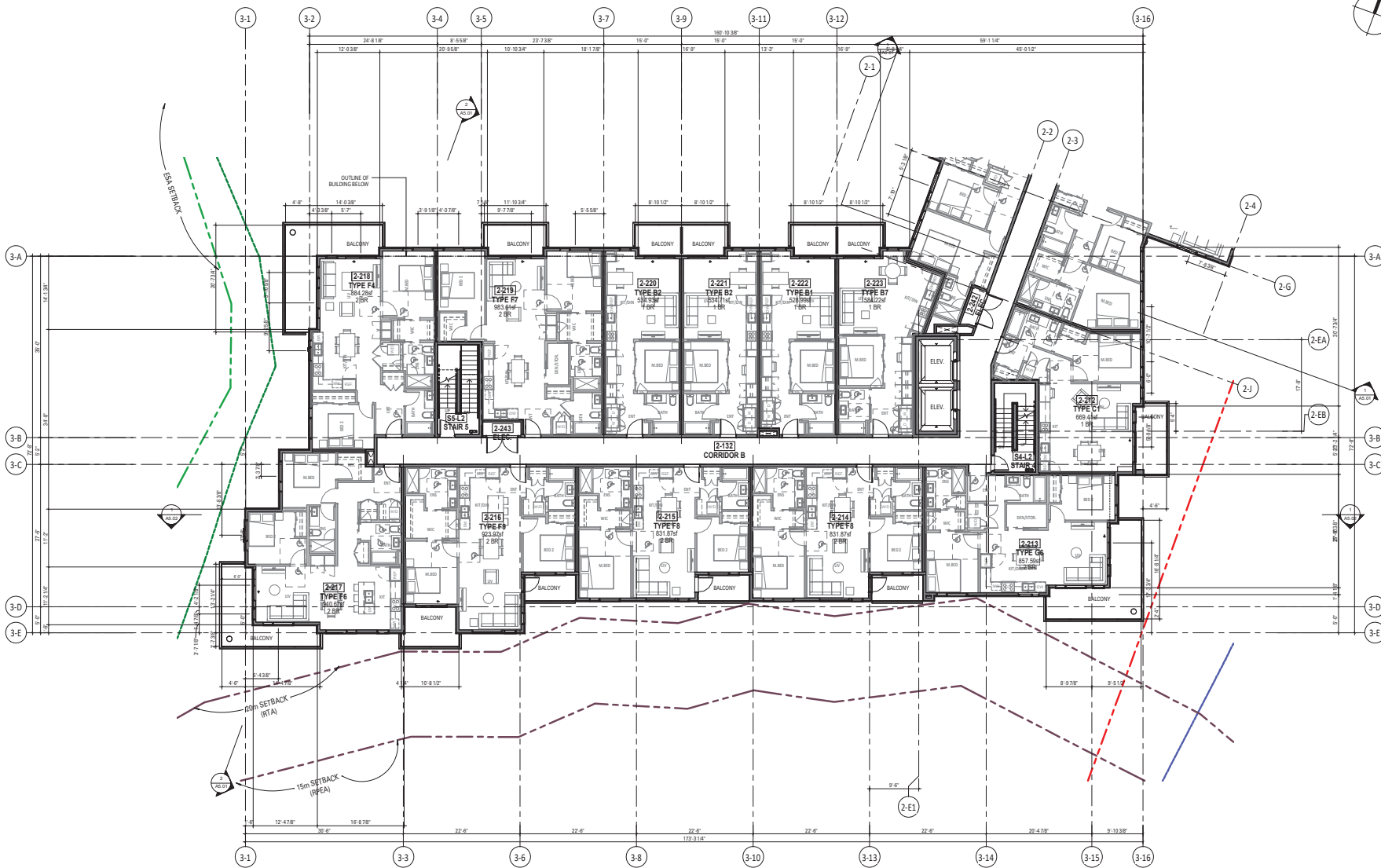
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No.	Date	Revision Notes

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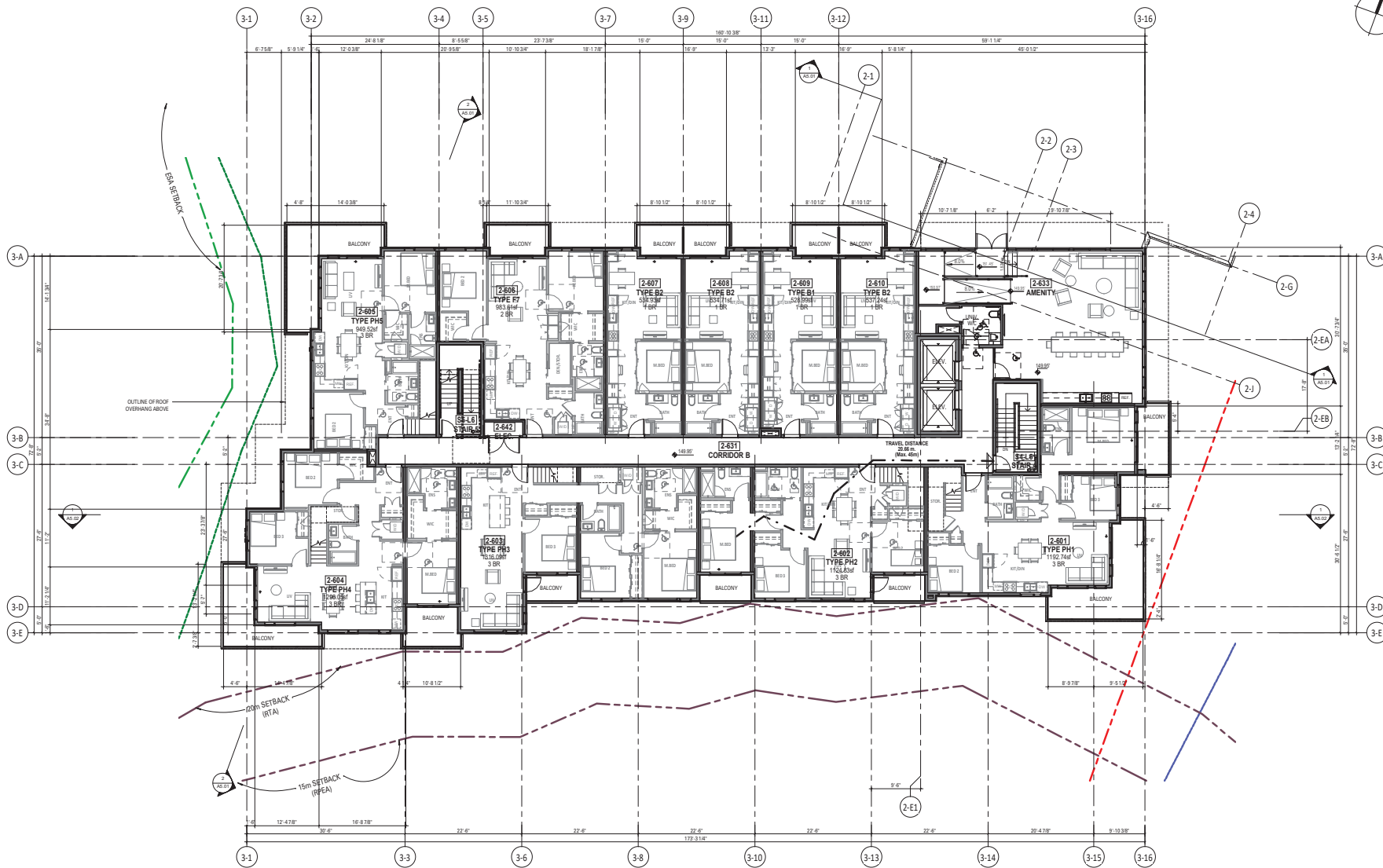
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Sheet Title  
**B2 - SOUTH - LEVEL 2-S - TYPICAL**

Drawn By: SB / HK  
Reviewed by: CH  
Project Number: **1805**  
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Sheet Title  
**B2 - SOUTH - LEVEL 6**

Drawn By: SB / HK  
Reviewed by: CH

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**1805**

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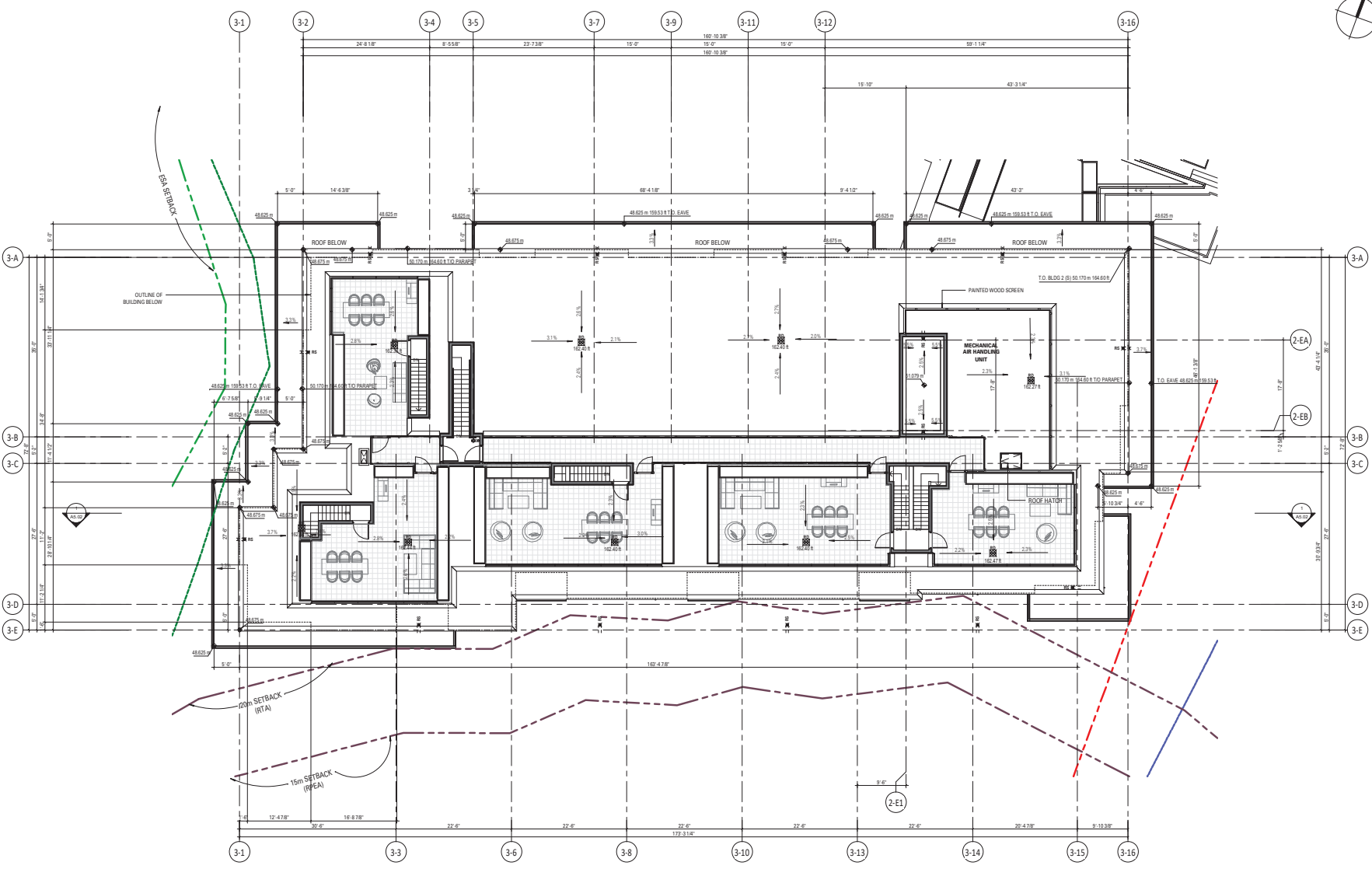
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Sheet Title  
**B2 - SOUTH - ROOF PLAN**

Drawn By: SB/HC  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24 Issue Date: 2021/12/24

Scale: 1/8" = 1'-0" **F**

Sheet Number















1 B2 - SOUTH ELEVATION (NORTH)  
1/8" = 1'-0"

MATERIAL LEGEND	
CL-01	CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM CC-117 'SIMPLY WHITE'
CL-02	CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAYS' END'
CL-03	PREFINISHED ALUMINUM CLADDING PANEL - AL13 SD330 'SLATE'
CL-04	PREFINISHED ALUMINUM CLADDING PANEL - AL13 PAINT TO MATCH BM 2024-20 'EYE GREY'
CL-05	PREFINISHED ALUMINUM CLADDING PANEL - AL13 SD337 'PEACH'
CL-06	PREFINISHED ALUMINUM CLADDING PANEL - AL13 SD341 'TORNELL RED'
CL-07	PREFINISHED ALUMINUM CLADDING PANEL - AL13 - PAINT TO MATCH BM 648 'KOKOPELLI TEAL'
CL-08	7/8" CORRUGATED METAL CLADDING - S616 'CAMBRIDGE WHITE'
CO-01	ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT COBBLESTONE GREY MS-82
DW-00	WINDOW GLAZING - CLEAR
DW-01	VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
DW-02	PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK
DW-03	ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK
DW-04	PAINTED WOOD OR FIBREGLASS ENTRY DOOR - BLACK
DW-05	1" X 1/2" CEMENTITIOUS TRIM PAINTED TO MATCH WINDOW/DOOR
DW-06	SPANDREL PANEL - TO MATCH CURTAIN WALL SYSTEM
FN-01	PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SR 80 'CAMBRIDGE WHITE'
FN-02	PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SR 83 'REGENT GREY'
GL-01	FROSTED GLAZING PANEL
GL-02	
MA-01	BRICK - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK BRONSPOT - SMOOTH FINISH

MATERIAL LEGEND	
MM-01	PAINTED METAL - TO MATCH BM 2133-30 'DAYS' END
PS-01	PRIVACY SCREEN FRAME (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY'
PS-02	PRIVACY SCREEN GLASS - TRANSLUCENT
PS-03	PRIVACY SCREEN WOOD - TO MATCH BM 2133-30 'DAYS' END'
RF-01	ALUMINUM SOFFIT - GENTEX - 16" 4 PANEL SOLID 'RAWWARE WHITE' SOFFIT VENT TO BE WHITE
RF-02	WOODGRO CEMENTITIOUS SOFFIT - 'WOODTONE RUSTIC SERIES S.25' 'SUMMER WHEAT' - SOFFIT VENT TO BE BLACK
RG-01	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY' WITH CLEAR GLAZING PANELS
RG-02	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (YELLOW: AQUAMARINE, SAHARA SUN, GOLDEN LIGHT)
RG-03	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY' WITH RUBY REED
RG-04	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY REED)
RG-05	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED X2, TANGERINE)
RG-06	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE X2)
RG-07	GUARDRAIL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRAcite GREY'
TMP-01	PAINTED FASCIA - TO MATCH BM CC-117 'SIMPLY WHITE'
TMP-02	PAINTED FASCIA - TO MATCH BM 2133-30 'DAYS' END'
TMP-03	PREFINISHED ALUMINUM GUTTER - GENTEX 'SLATE' S23 TO MATCH BM 2133-30 'DAYS' END'
TMP-04	PREFINISHED ALUMINUM RWL 3 DIA. - GENTEX 'SLATE' S23
WD-01	EXPOSED GLULAM BEAM OR COLUMN - CLEAR COAT FINISH

No.	Date	Revision Notes



2 B2 - WEST ELEVATION (NORTH)  
1/8" = 1'-0"

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Sheet Title  
**B2 - NORTH - ELEVATIONS**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Sheet Date: 2024/12/24

Scale: **F**

Sheet Number

**A4.22**



1 B2 - NORTH ELEVATION (SOUTH)  
1/8" = 1'-0"



2 B2 - EAST ELEVATION (SOUTH)  
1/8" = 1'-0"

MATERIAL LEGEND	
CL-01	CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM OC-117 'SIMPLY WHITE'
CL-02	CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAYS END'
CL-03	PREFINISHED ALUMINUM CLADDING PANEL- AL13 S0330 'SLATE'
CL-04	PREFINISHED ALUMINUM CLADDING PANEL- AL13 S0330 'SLATE'
CL-05	PREFINISHED ALUMINUM CLADDING PANEL- AL13 S0337 'TREAD'
CL-06	PREFINISHED ALUMINUM CLADDING PANEL- AL13 S0341 'CORNELL RED'
CL-07	PREFINISHED ALUMINUM CLADDING PANEL- AL13 - PAINT TO MATCH BM 648 'KOKOPELLI TEAL'
CL-08	7/8" CORRUGATED METAL CLADDING - 5616 'CAMBRIDGE WHITE'
CO-01	ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COBALTSTONE GREY 845-82'
DW-01	WINDOW GLAZING - CLEAR
DW-02	VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
DW-03	PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK
DW-04	ALUMINUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK
DW-05	PAINTED WOOD OR FIREGLASS ENTRY DOOR - BLACK
DW-06	1" X 3/2" CEMENTITIOUS TRIM PAINTED TO MATCH WINDOW/DOOR
FN-01	SPANDREL PANEL - TO MATCH CURTAIN WALL SYSTEM
FN-02	PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 80 'CAMBRIDGE WHITE'
FN-03	PREFINISHED ALUMINUM FLASHINGS - MAKIN METALS SRI 35 'REGENT GREY'
GL-01	FROSTED GLAZING PANEL
GL-2	
MA-01	BRICK - NORMAN MODULE, 1/2 BOND - PACIFIC CLAY - DARK IRONSPOT - SMOOTH FINISH

MATERIAL LEGEND	
MM-01	PAINTED METAL - TO MATCH BM 2133-30 'DAYS END'
PS-01	PRIVACY SCREEN FRAME (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY'
PS-02	PRIVACY SCREEN GLASS - TRANSLUCENT
PS-03	PRIVACY SCREEN WOOD - TO MATCH BM 2133-30 'DAYS END'
RF-01	ALUMINUM SOFFIT - GENTEK - 16" 4" PANEL SOLID 'RAINWARE WHITE' - SOFFIT VENT TO BE WHITE
RF-02	WOODLINE CEMENTITIOUS SOFFIT - WOODTONE RUSTIC SERIES 5.25" 'SUMMER WHEAT' - SOFFIT VENT TO BE BLACK
RG-01	GLAZERIAL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH CLEAR GLAZING PANELS
RG-02	GLAZERIAL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (YELLOW: AQUAMARINE, SAHARA SUN, GOLDEN LIGHT)
RG-03	GLAZERIAL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (ORANGE: SAHARA SUN, GOLDEN LIGHT, RUBY RED)
RG-04	GLAZERIAL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED X2, TANGERINE)
RG-05	GLAZERIAL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE X2)
RG-06	GLAZERIAL (ALUMINUM) - POWDER COAT - RAL 7016 'ANTHRACITE GREY'
TMP-01	PAINTED FASCIA - TO MATCH BM OC-117 'SIMPLY WHITE'
TMP-02	PAINTED FASCIA - TO MATCH BM 2133-30 'DAYS END'
TMP-03	PREFINISHED ALUMINUM GUTTER - GENTEK 'SLATE' S23 TO MATCH BM 2133-30 'DAYS END'
TMP-04	PREFINISHED ALUMINUM RAIL, 3 DIA. - GENTEK 'SLATE' S23
WD-01	EXPOSED GLUAM BEAM OR COLUMN - CLEAR COAT FINISH

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Sheet Title  
**B2 - SOUTH - ELEVATIONS**

Drawn By: SB / HK  
Reviewed By: CH

Project Number  
**1805**

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1 B2 - WEST ELEVATION (SOUTH)  
1/8" = 1'-0"



2 B2 - SOUTH ELEVATION (SOUTH)  
1/8" = 1'-0"

MATERIAL LEGEND	
CL-01	CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM CC-117 SIMPLY WHITE
CL-02	CEMENTITIOUS PANEL C/W TRIM AND FLASHINGS TO MATCH BM 2133-30 'DAYS' END
CL-03	PREF INISHED ALUMINIUM CLADDING PANEL - AL13 SD30 'SLATE'
CL-04	PREF INISHED ALUMINIUM CLADDING PANEL - AL13 SD30 MATCH BM 2024-20 'EVE GREEN'
CL-05	PREF INISHED ALUMINIUM CLADDING PANEL - AL13 SD33 'PEACH'
CL-06	PREF INISHED ALUMINIUM CLADDING PANEL - AL13 SD341 'VORNELL RED'
CL-07	PREF INISHED ALUMINIUM CLADDING PANEL - AL13 - PAINT TO MATCH BM 648 'KOCPELLI TEAL'
CL-08	7/8" CORRUGATED METAL CLADDING - S616 'CAMBRIDGE WHITE'
CO-01	ARCHITECTURAL CONCRETE - C/W CLEAR COAT SEALER OR BEHR ELASTOMERIC PAINT 'COSBLESTONE GREY MS82'
DW-00	WINDOW GLAZING - CLEAR
DW-01	VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
DW-02	PATIO DOOR C/W LOW-E DOUBLE GLAZING - BLACK
DW-03	ALUMINIUM CURTAIN WALL SYSTEM C/W LOW-E DOUBLE GLAZING - BLACK
DW-04	PAINTED WOOD OR FIREGLASS ENTRY DOOR - BLACK
DW-05	1" X 1/2" CEMENTITIOUS TRIM PAINTED TO MATCH WINDOW/DOOR
DW-06	SPANDREL PANEL - TO MATCH CURTAIN WALL SYSTEM
FN-01	PREF INISHED ALUMINIUM FLASHINGS - MAKIN METALS SR 80 'CAMBRIDGE WHITE'
FN-02	PREF INISHED ALUMINIUM FLASHINGS - MAKIN METALS SR 35 'REGENT GREY'
GL-01	FROSTED GLAZING PANEL
GL-2	BRICK - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK BRONSPOT - SMOOTH FINISH
MA-01	BRICK - NORMAN MODULE, 1/3 BOND - PACIFIC CLAY - DARK BRONSPOT - SMOOTH FINISH

MATERIAL LEGEND	
MM-01	PAINTED METAL - TO MATCH BM 2133-30 'DAYS' END
PS-01	PRIVACY SCREEN FRAME (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY'
PS-02	PRIVACY SCREEN GLASS - TRANSLUCENT
PS-03	PRIVACY SCREEN WOOD - TO MATCH BM 2133-30 'DAYS' END
RF-01	ALUMINIUM SOFFIT - GENTEX - 16" 4 PANEL SOLID 'RAINWAVE WHITE' SOFFIT VENT TO BE WHITE
RF-02	WOODEN CEMENTITIOUS SOFFIT - 'WOODTONE RUSTIC SERIES S.251' SUMMER WHEAT - SOFFIT VENT TO BE BLACK
RG-01	GUARDRAIL (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY' WITH CLEAR GLAZING PANELS
RG-02	GUARDRAIL (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (YELLOW: AQUAMARINE, SAHARA SUN, GOLDEN LIGHT)
RG-03	GUARDRAIL (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY' WITH RUBY REED
RG-04	GUARDRAIL (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (RED: RUBY RED, Z, TANGIERINE)
RG-05	GUARDRAIL (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY' WITH TEMPERED TRANSPARENT GLAZING PANELS (MARINE: AQUAMARINE X2)
RG-06	GUARDRAIL (ALUMINIUM) - POWDER COAT - RAL 7016 'ANTHRACTE GREY'
TMP-01	PAINTED FASCIA - TO MATCH BM CC-117 SIMPLY WHITE
TMP-02	PAINTED FASCIA - TO MATCH BM 2133-30 'DAYS' END
TMP-03	PREF INISHED ALUMINIUM GUTTER - GENTEX 'SLATE' S23 TO MATCH BM 2133-30 'DAYS' END
TMP-04	PREF INISHED ALUMINIUM RWL 3 DIA. - GENTEX 'SLATE' S23
WD-01	EXPOSED GLULAM BEAM OR COLUMN - CLEAR COAT FINISH

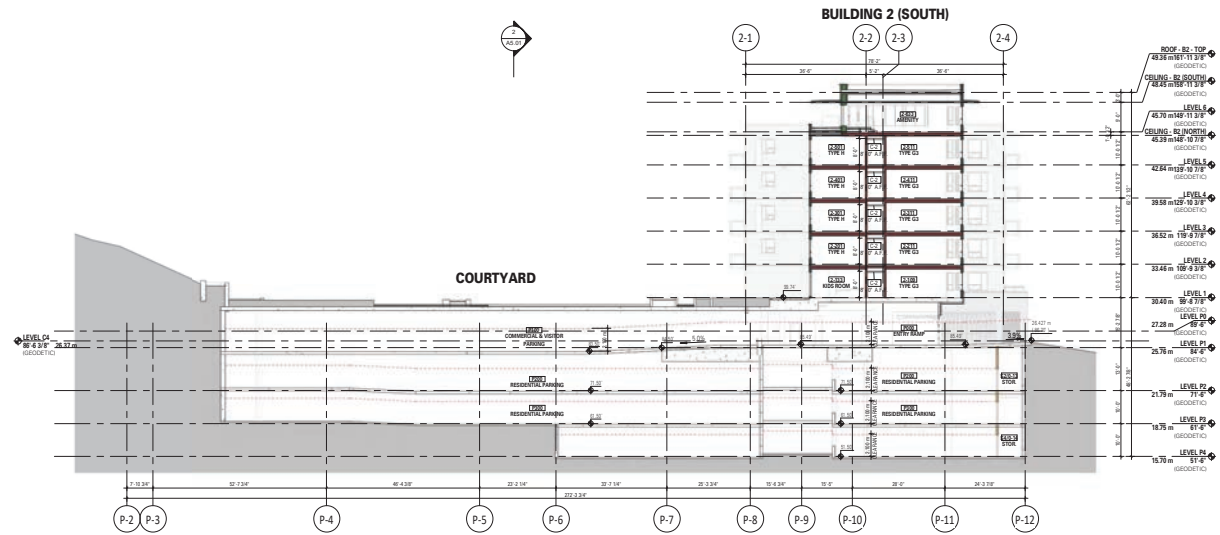
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No.	Date	Revision Notes

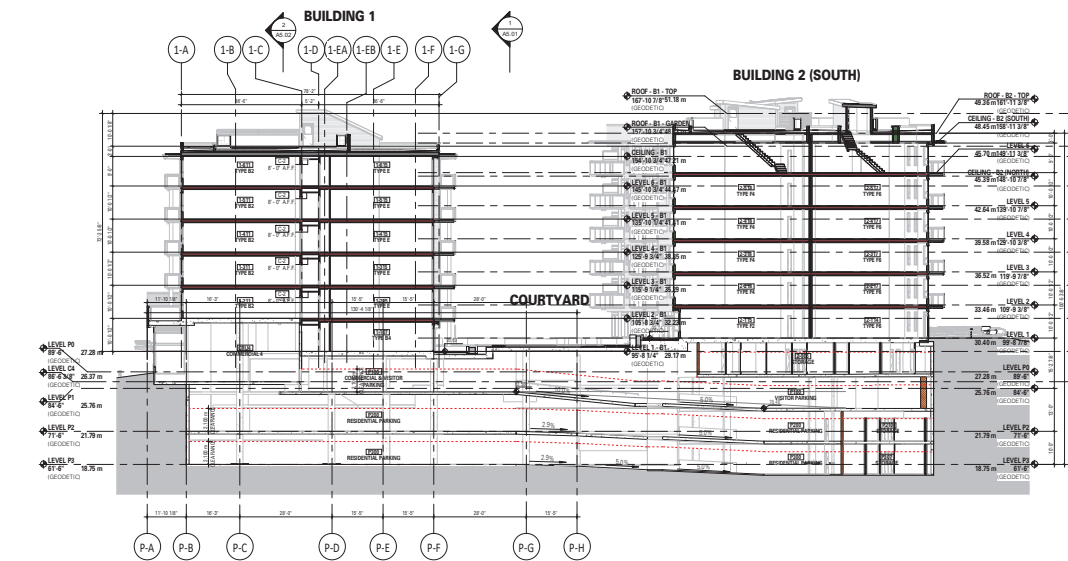
PLOT 2024.12.24

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No.	Date	Revision Notes
F	2021/12/24	RE ISSUED FOR RZ/GP
E	2021/09/10	50% COORDINATION
D	2021/04/10	RE ISSUED FOR RZ/GP
C	2020/03/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP



1 SECTION AT PARKADE ENTRY RAMP  
1/16" = 1'-0"



2 SECTION THROUGH INTERNAL PARKING RAMP  
1/16" = 1'-0"

Project File  
**HUE**

101 Albert Street  
Port Moody, BC

**MARCON**

Client/Owner:  
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5645 198 Street  
Langley, BC V3A 1H9

Sheet Title  
**BUILDING SECTIONS**

Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

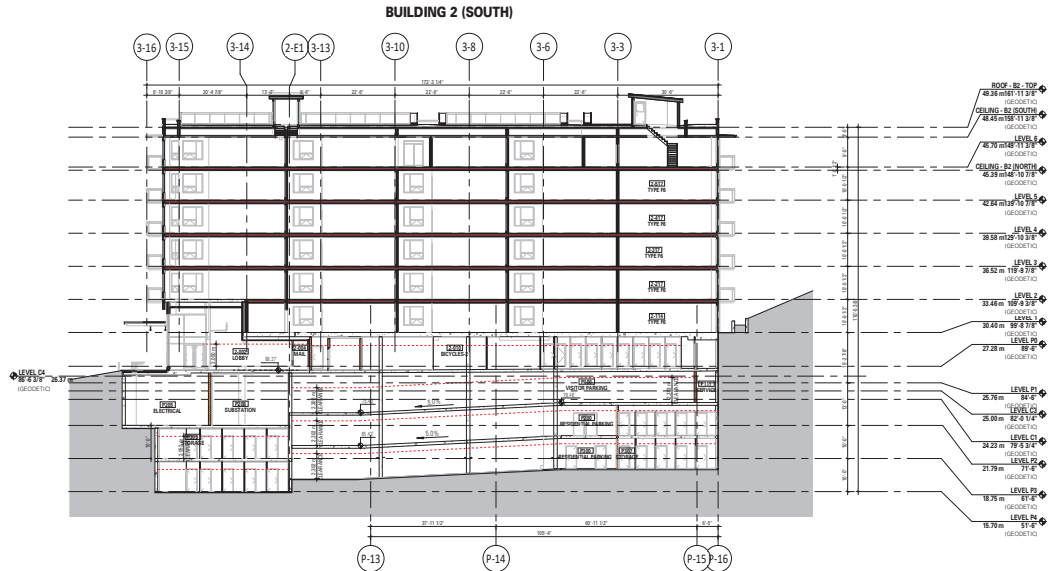
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Sheet Date: 2021/12/24

Scale: **F**

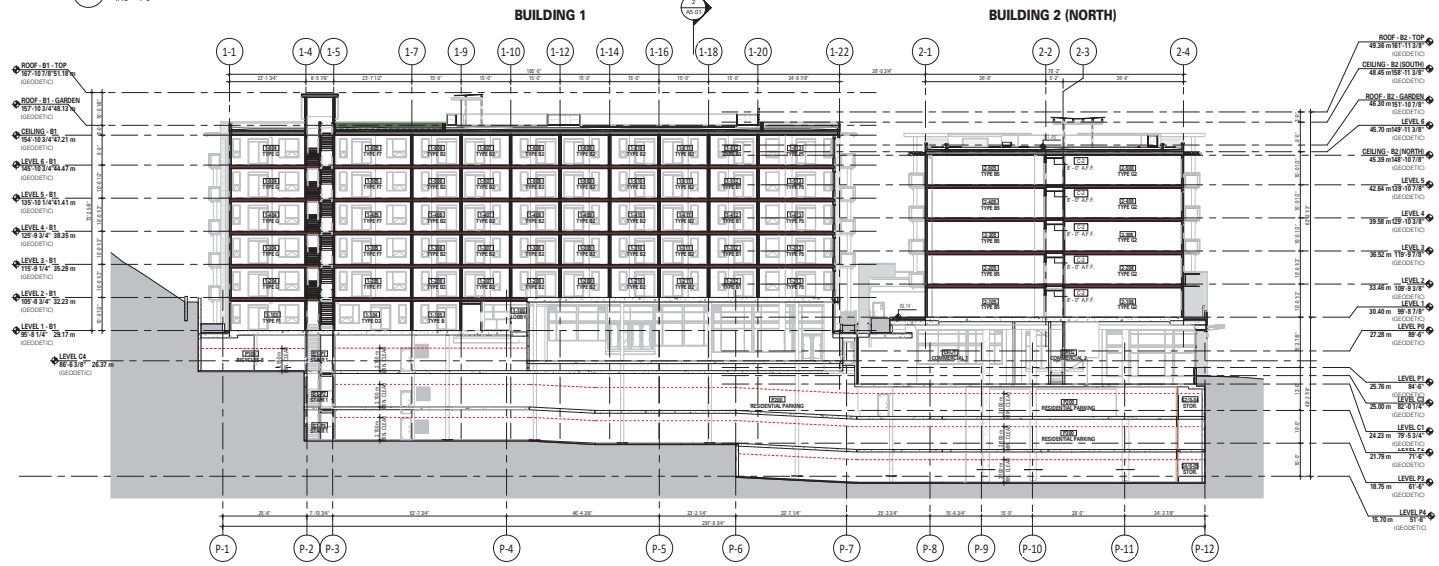
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**1/16" = 1'-0"**

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C	2020/10/14	RE ISSUED FOR RZ/GP
A	2019/03/06	ISSUED FOR RZ/GP
No.	Date	Revision Notes



1 SECTION 1 - EAST / WEST - BUILDING 2 (SOUTH WING)  
1/16" = 1'-0"



2 SECTION 2 - EAST / WEST - BUILDING 1&2  
1/16" = 1'-0"

RE ISSUED FOR RZ / DP 21-12-24

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Sheet Title  
**BUILDING SECTIONS**

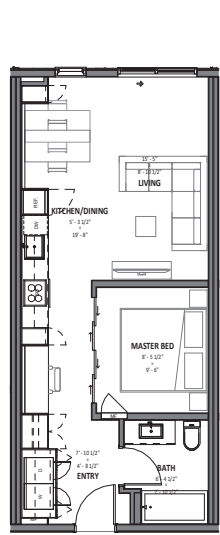
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Reviewed by: CH

Project Number  
**1805**

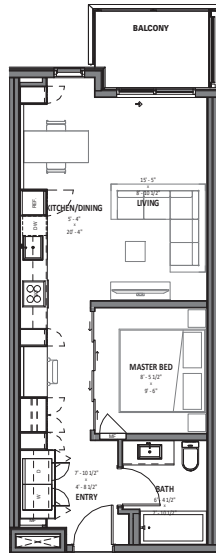
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Sheet Date: 2021/12/24

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Sheet Number: **F**

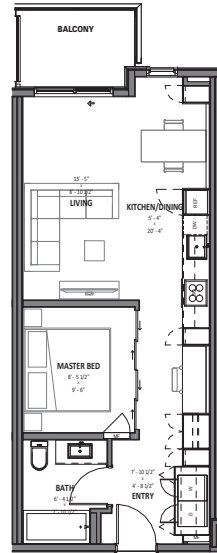
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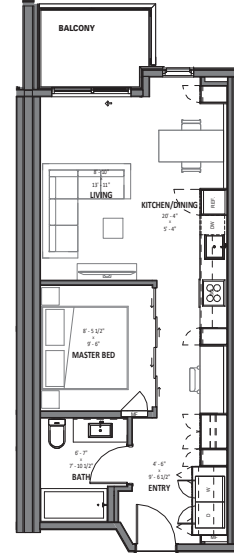
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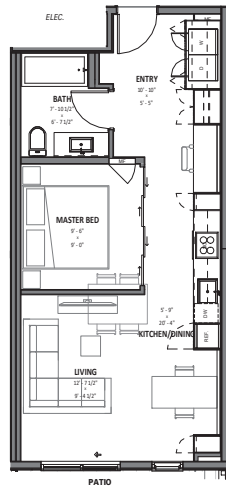
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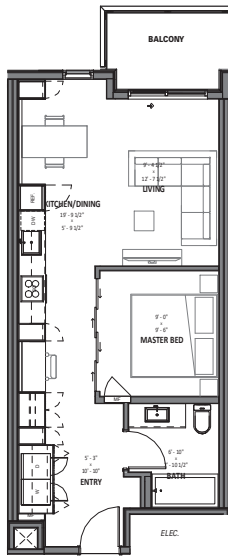
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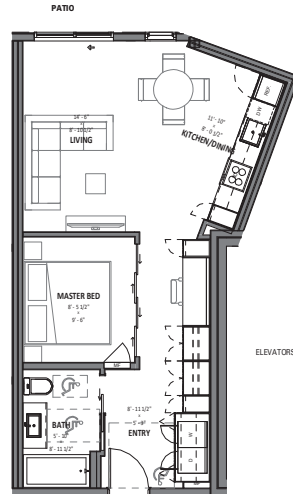
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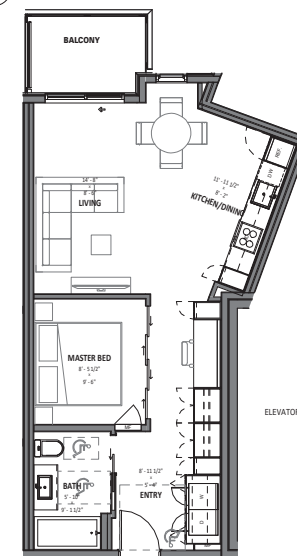
5 UNIT TYPE B4  
14'4" x 1'-0"



6 UNIT TYPE B5  
14'4" x 1'-0"



7 UNIT TYPE B6 - ADAPTABLE  
14'4" x 1'-0"



8 UNIT TYPE B7  
14'4" x 1'-0"

UNIT PLAN TYPICAL NOTES

1. DOORS WHICH ARE NOT DIMENSIONED SHALL BE CENTERED BETWEEN THE WALLS THEY OCCUR OR JAMB ROUGH OPENING 2 STUDS OVER FROM THE ADJACENT WALL.
2. REFER TO WALL SCHEDULE FOR WALL TYPES AND CONSTRUCTION. ALL INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUD OR EXTERIOR FACE OF SHEATHING.
3. FINISHES ARE TO BE AS PER SUITE SPECIFICATION PREPARED BY MARCON. CONTRACTOR TO CONSIDER ANY ADDITIONAL FINISH REQUIREMENTS WITH MARCON.
4. CONTRACTOR TO PROVIDE GWB BULKHEAD ABOVE ALL KITCHEN CABINETS UNLESS NOTED OTHERWISE.
5. ALL INTERIOR WALLS AT UNITS TO BE WALL TYPE WA2 UNLESS NOTED OTHERWISE.
6. GWB TO EXTEND FULL HEIGHT OF WALLS BEHIND ALL TUBS AND SHOWERS.
7. CONTRACTOR TO VERIFY ALL FRAMING DIMENSIONS FOR ALL TUBS AND SHOWERS WITH MANUFACTURER PRIOR TO FRAMING. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
8. SUITE ENTRY DOORS IN ADAPTABLE UNITS ARE TO BE WIREWED FOR FUTURE ELECTRIC DOOR OPENER.
9. EXCEPT FOR ADAPTABLE UNITS, CONTRACTOR TO ENSURE A PRIMARY PASSAGEWAY WITH A MINIMUM CLEAR WIDTH OF 3'-0" TO ALL FLOOR SPACES. UNRESTRICTED BY THE MIMS INCLUDING, BUT NOT LIMITED TO, CABINETS AND OTHER FINISH ITEMS. ADAPTABLE UNITS TO HAVE A PASSAGEWAY OF 4'-0" TO PRIMARY FLOOR AREAS.
10. CONTRACTOR TO PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS AT ALL WATER CLOSETS AND TUBS IN ADAPTABLE WASHROOMS.
11. ALL CONTROL VALVES FOR TUBS IN ADAPTABLE WASHROOMS TO BE INSTALLED AT OUTER EDGE OF TUB.



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F	2021/22/24	RE ISSUED FOR R2/GP
E	2021/09/10	50% COORDINATION
D	2021/08/10	RE ISSUED FOR R2/GP
C	2020/10/14	RE ISSUED FOR R2/GP
A	2019/03/06	ISSUED FOR R2/GP
No.	Date	Revision Notes

Project File  
**HUE**

101 Albert Street  
Port Moody, BC



Client/Owner  
**MARCON ALBERT (GP) LTD.**

5645 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**UNITS B, B1, B2, B3, B4, B5, B6, B7**

Drawn By: CB / HK  
Reviewed By: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/4" = 1'-0"  
Issue/Revision: **F**

Sheet Number

**A8.01**

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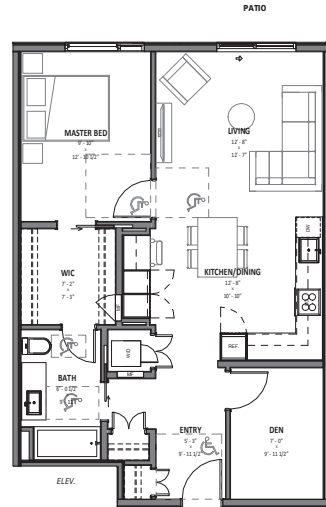
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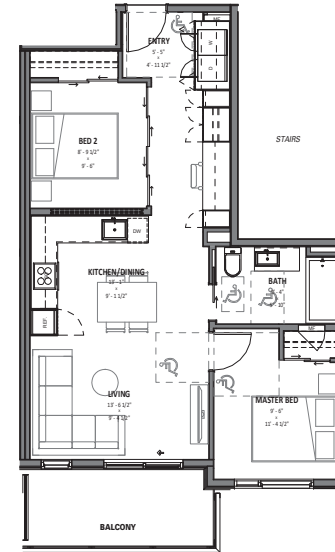
No.	Date	Revision Notes
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B	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP
No.	Date	Revision Notes



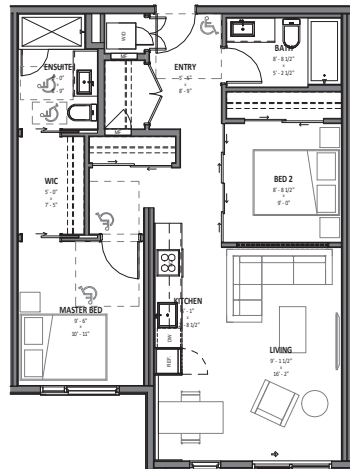
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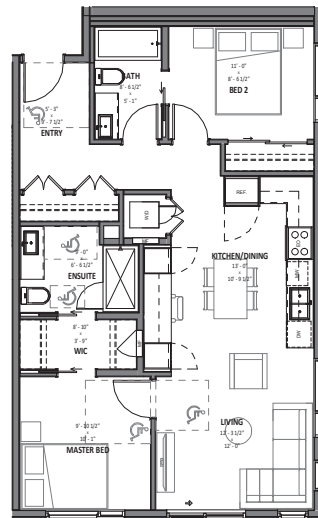
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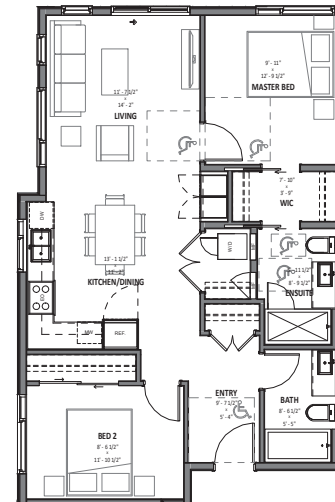
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4 UNIT TYPE E1 - ADAPTABLE  
1/4" = 1'-0"



5 UNIT TYPE F1 - ADAPTABLE  
1/4" = 1'-0"



6 UNIT TYPE F2 - ADAPTABLE  
1/4" = 1'-0"

**UNIT PLAN TYPICAL NOTES:**

- DOORS WHICH ARE NOT DIMENSIONED SHALL BE CENTERED BETWEEN THE WALLS THEY OCCUPY OR JAMB RUSH OPENING 2 STUDS OVER FROM THE ADJACENT WALL.
- REFER TO WALL SCHEDULE FOR WALL TYPES AND CONSTRUCTION. ALL INTERIOR WALLS ARE DIMENSIONED TO FACE OF OR MIDDLE OF STUD. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUD OR EXTERIOR FACE OF SHEATHING.
- FINISHES ARE TO BE AS PER SUITE SPECIFICATION PROVIDED BY MARCON. CONTRACTOR TO CONFORM ANY ADDITIONAL FINISH REQUIREMENTS WITH MARCON.
- CONTRACTOR TO PROVIDE GWB BULKHEAD ABOVE ALL KITCHEN CABINETS UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS AT UNITS TO BE WALL TYPE WA3 UNLESS NOTED OTHERWISE.
- GWB TO EXTEND FULL HEIGHT OF WALLS BEHIND ALL TUBS AND SHOWERS.
- CONTRACTOR TO VERIFY ALL FRAMING DIMENSIONS FOR ALL TUBS AND SHOWERS WITH MANUFACTURER PRIOR TO FRAMING. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
- SUITE ENTRY DOORS IN ADAPTABLE UNITS ARE TO BE PREWIRED FOR FUTURE ELECTRIC DOOR OPENER.
- EXCEPT FOR ADAPTABLE UNITS, CONTRACTOR TO ENSURE A PRIMARY PASSAGEWAY WITH A MINIMUM CLEAR WIDTH OF 3'-0" TO ALL FLOOR SPACES, UNRESTRICTED BY FURNITURE INCLUDING, BUT NOT LIMITED TO, CABINETS AND OTHER FINISH ITEMS. ADAPTABLE UNITS TO HAVE A PASSAGEWAY OF 4'-0" TO PRIMARY FLOOR AREAS.
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- ALL CONTROL VALVES FOR TUBS IN ADAPTABLE WASHROOMS TO BE INSTALLED AT OUTER EDGE OF TUB.

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Port Moody, BC

**MARCON**  
Client/Owner:  
**MARCON ALBERT (GP) LTD.**  
5545 199 Street  
Langley, BC V3A 1H9

Sheet Title:  
**UNITS C1, D2, E1, E1, F1, F2**  
Drawn By: SB/HC  
Reviewed By: CH  
Project Number:  
**1805**  
Plot Date:  
21/12/24  
Issue Date:  
2021/12/24  
Scale:  
1/4" = 1'-0"  
Sheet Number:  
**F**

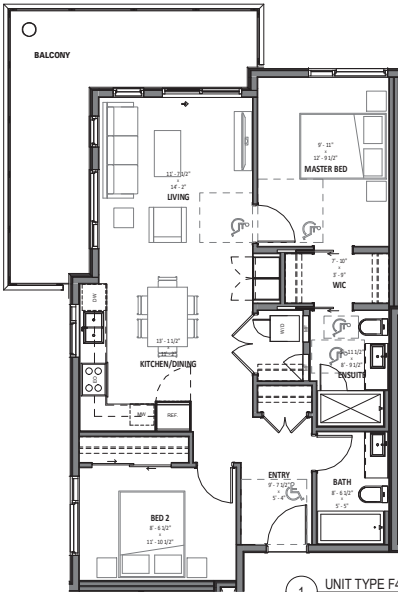
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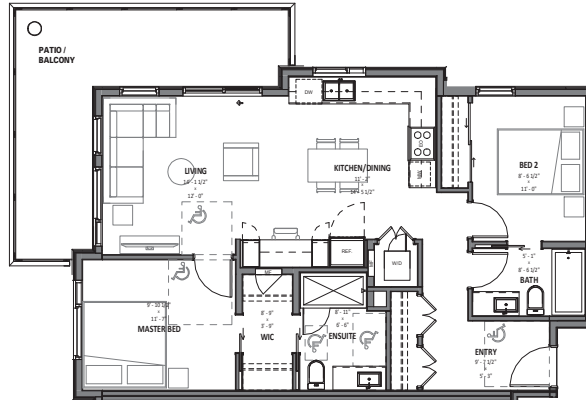
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D	2021/06/10	RE ISSUED FOR RZ/DP
B	2020/10/14	RE ISSUED FOR RZ/DP
A	2019/03/06	ISSUED FOR RZ/DP
No.	Date	Revision Notes

- UNIT PLAN TYPICAL NOTES:**
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  3. FINISHES ARE TO BE AS PER SUITE SPECIFICATION PREPARED BY MARCON. CONTRACTOR TO CONSULT ANY ADDITIONAL FINISH REQUIREMENTS WITH MARCON.
  4. CONTRACTOR TO PROVIDE GWB BULKHEAD ABOVE ALL KITCHEN CABINETS UNLESS NOTED OTHERWISE.
  5. ALL INTERIOR WALLS AT UNITS TO BE WALL TYPE WA4.2 UNLESS NOTED OTHERWISE.
  6. GWB TO EXTEND FULL HEIGHT OF WALLS BEHIND ALL TUBS AND SHOWERS.
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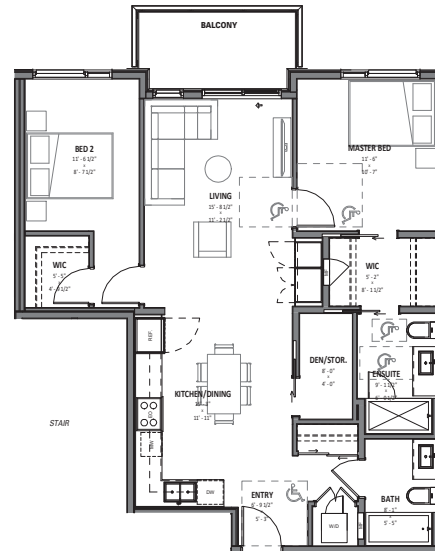
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1/4" = 1'-0"



2 UNIT TYPE F5 - ADAPTABLE  
1/4" = 1'-0"



3 UNIT TYPE F6 - ADAPTABLE  
1/4" = 1'-0"



4 UNIT TYPE F7 - ADAPTABLE  
1/4" = 1'-0"

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Sheet Title  
**UNITS F4, F5, F6, F7**

Drawn By: CB / HK  
Reviewed by: CH

Project Number  
**1805**

Plot Date: 21/12/24  
Issue Date: 2021/12/24

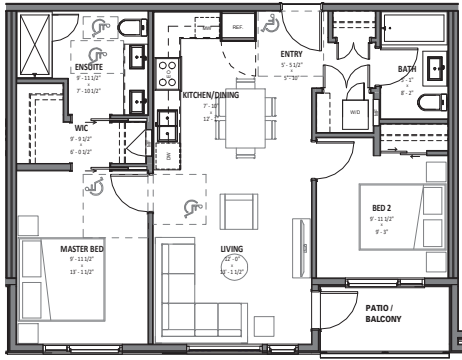
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Sheet Number

**A8.03**

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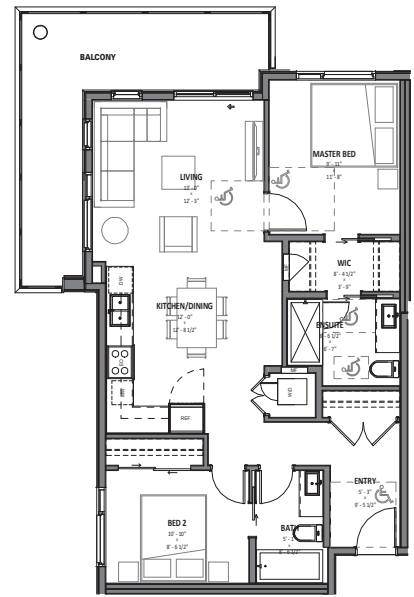




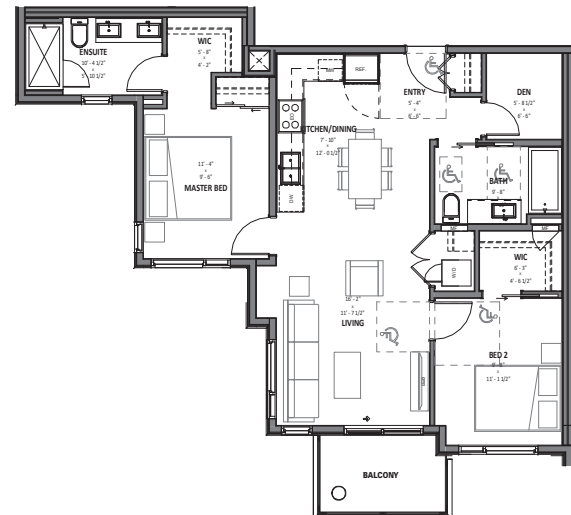
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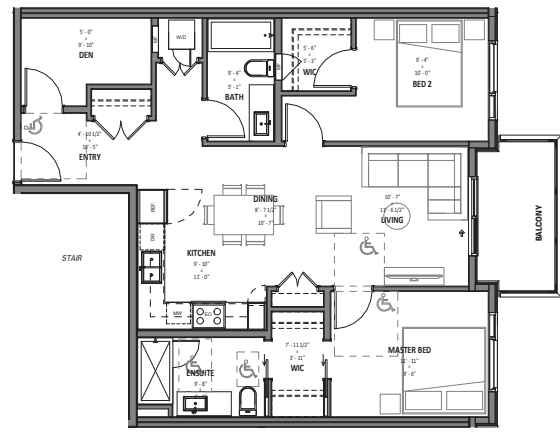
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3 UNIT TYPE G - ADAPTABLE  
14'0" x 1'0"



4 UNIT TYPE G1 - ADAPTABLE  
14'0" x 1'0"



5 UNIT TYPE G2 - ADAPTABLE  
14'0" x 1'0"

- UNIT PLAN TYPICAL NOTES:**
- DOORS WHICH ARE NOT DIMENSIONED SHALL BE CENTERED BETWEEN THE WALLS THEY OCCUR ON. JAMB RUSH OPENING 2 STUDS OVER FROM THE ADJACENT WALL.
  - REFER TO WALL SCHEDULE FOR WALL TYPES AND CONSTRUCTION. ALL INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUD OR EXTERIOR FACE OF SHEATHING.
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  - SUITE ENTRY DOORS IN ADAPTABLE UNITS ARE TO BE PIPE WIRING FOR FUTURE ELECTRIC DOOR OPENER.
  - EXCEPT FOR ADAPTABLE UNITS, CONTRACTOR TO ENSURE A PRIMARY PASSAGEWAY WITH A MINIMUM CLEAR WIDTH OF 2'-0" TO ALL FLOOR SPACES. UNRESTRICTED BY ITEMS INCLUDING, BUT NOT LIMITED TO, CABINETS AND OTHER FINISH ITEMS. ADAPTABLE UNITS TO HAVE A PASSAGEWAY OF 4'-0" TO PRIMARY FLOOR AREAS.
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No.	Date	Revision Notes
F	2021/02/24	RE ISSUED FOR R2/GP
E	2021/09/10	50% COORDINATION
D	2021/09/10	RE ISSUED FOR R2/GP
B	2020/10/14	RE ISSUED FOR R2/GP
A	2019/03/06	ISSUED FOR R2/GP

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**HUE**  
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Port Moody, BC

**MARCON**  
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**MARCON ALBERT (GP) LTD.**  
5545 199 Street  
Langley, BC V3A 1H9

Sheet Title  
**UNITS F8, F9, G, G1, G2**

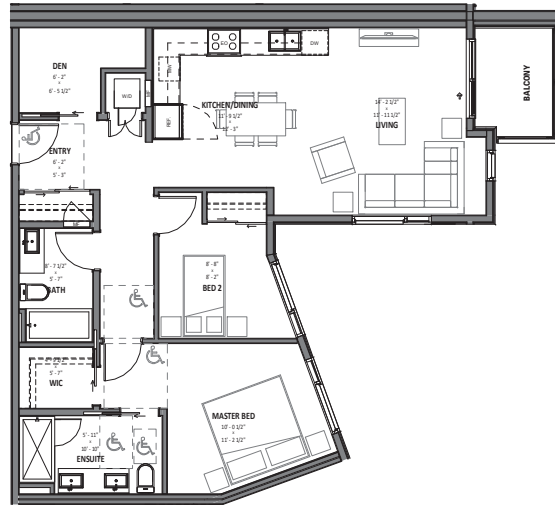
Drawn By: SB / HK  
Reviewed by: CH

Project Number  
**1805**

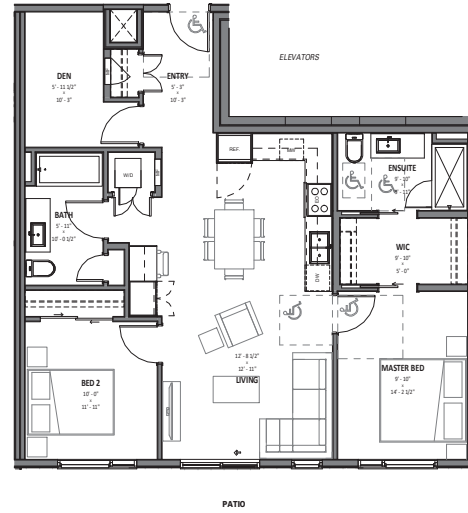
Plot Date: 21/12/24  
Issue Date: 2021/12/24

Scale: 1/4" = 1'-0"  
Revision: **F**

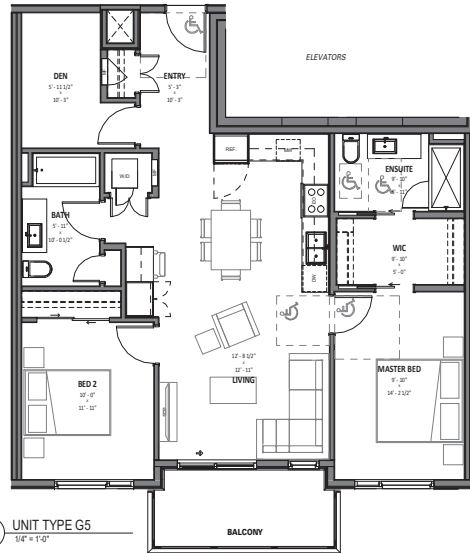
Sheet Number  
**A8.04**



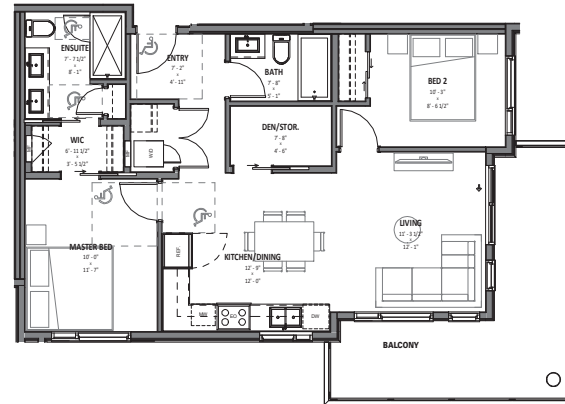
1 UNIT TYPE G3  
1/4" = 1'-0"



2 UNIT TYPE G4  
1/4" = 1'-0"



3 UNIT TYPE G5  
1/4" = 1'-0"



4 UNIT TYPE G6  
1/4" = 1'-0"

UNIT PLAN TYPICAL NOTES:

- DOORS WHICH ARE NOT DIMENSIONED SHALL BE CENTERED BETWEEN THE WALLS THEY OCCUR OR JAMB ROUGH OPENING 2 STUDS OVER FROM THE ADJACENT WALL.
- REFER TO WALL SCHEDULES FOR WALL TYPES AND CONSTRUCTION. ALL INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUD OR EXTERIOR FACE OF SHEATHING.
- FINISHES ARE TO BE AS PER SUITE SPECIFICATION PREPARED BY MARCON. CONTRACTOR TO CONSIDER ANY ADDITIONAL FINISH REQUIREMENTS WITH MARCON.
- CONTRACTOR TO PROVIDE GWB BULKHEAD ABOVE ALL KITCHEN CABINETS UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS AT UNITS TO BE WALL TYPE WA2 UNLESS NOTED OTHERWISE.
- GWB TO EXTEND FULL HEIGHT OF WALLS BEHIND ALL TUBS AND SHOWERS.
- CONTRACTOR TO VERIFY ALL FRAMING DIMENSIONS FOR ALL TUBS AND SHOWERS WITH MANUFACTURER PRIOR TO FRAMING. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
- SUITE ENTRY DOORS IN ADAPTABLE UNITS ARE TO BE PRE-WIRED FOR FUTURE ELECTRIC DOOR OPENER.
- EXCEPT FOR ADAPTABLE UNITS, CONTRACTOR TO ENSURE A PRIMARY PASSAGEWAY WITH A MINIMUM CLEAR WIDTH OF 3'-0" TO ALL FLOOR SPACES. UNRESTRICTED BY ITEMS INCLUDING, BUT NOT LIMITED TO, CABINETS AND OTHER FINISH ITEMS. ADAPTABLE UNITS TO HAVE A PASSAGEWAY OF 4'-0" TO PRIMARY FLOOR AREAS.
- CONTRACTOR TO PROVIDE SOLID BLOCKING FOR FUTURE GWB BASES AT ALL WATER CLOSETS AND TUBS IN ADAPTABLE WASHROOMS.
- ALL CONTROL VALVES FOR TUBS IN ADAPTABLE WASHROOMS TO BE INSTALLED AT OUTER EDGE OF TUB.



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No.	Date	Revision Notes
F	2021/22/24	RE ISSUED FOR R2/GP
E	2021/09/10	50% COORDINATION
D	2021/08/10	RE ISSUED FOR R2/GP
C	2020/10/14	RE ISSUED FOR R2/GP
A	2019/03/06	ISSUED FOR R2/GP

Project File

HUE

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Sheet Title

UNITS G3, G4, G5, G6

Drawn By

SB / RK

Reviewed by

CH

Project Number

1805

Plot Date

21/12/24

Issue Date

2021/12/24

Scale

1/4" = 1'-0"

Sheet Number

F

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A8.05

RE-ISSUED FOR R2 / DP 21-12-24



