

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE CORRECTNESS, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

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Albert Street Residential Development

Landscape Set: RE-ISSUED FOR RZ/DP

December 24th, 2021

LANDSCAPE DRAWING LIST

- L0.0 COVER SHEET
- L0.1 TREE MANAGEMENT PLAN
- L1.0 LAYOUT & MATERIALS - LEVEL 1
- L1.01 LAYOUT & MATERIALS - LEVEL P1&P2
- L1.02 LAYOUT & MATERIALS - LEVEL 2
- L1.1 LAYOUT & MATERIALS - ROOF
- L1.2 ENLARGEMENT - COURTYARD LAYOUT
- L1.3 ENLARGEMENTS - COMMERCIAL & P1
- L1.4 ENLARGEMENT - BUILDING 1 ROOF
- L1.5 ENLARGEMENT - BUILDING 2 ROOF
- L1.6 ENLARGEMENT - BUILDING 3 ROOF
- L2.0 GRADING PLAN - LEVEL 1
- L3.0 PLANT MATERIALS
- L4.0 DETAILS - HARDSCAPE
- L5.1 DETAILS - HARDSCAPE
- L5.2 DETAILS - FENCES & WALLS
- L5.3 DETAILS - PLAY AREA
- L5.4 DETAILS - FURNISHINGS
- L5.5 DETAILS - PLANTERS

OFFSITE

- OSL1.0 LANDSCAPE OFFSITE - SAINT JOHNS STREET
- OSL1.1 LANDSCAPE OFFSITE - ALBERT STREET

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLECT OF THIS ADVICE.

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ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SELECTION AND LAYOUT OF ALL SITE WORKS (INCLUDING, BUT NOT LIMITED TO: HARDSCAPES, SITE FURNITURE, GROWING MEDIA, TREES, AND PLANTING) IS TO BE APPROVED BY THE CITY OF VANCOUVER PRIOR TO MATERIAL ACQUISITION AND STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SIDEWALK LOCATION AND BOULEVARD DESIGN TO BE DETERMINED BY THE GENERAL MANAGER OF ENGINEERING SERVICES PRIOR TO BUILDING OCCUPANCY.

THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND BE ISSUED AS "FOR CONSTRUCTION". EIGHT WEEKS NOTICE IS REQUESTED. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT KEVIN CAVELL AT 604-873-7773 FOR DETAILS.

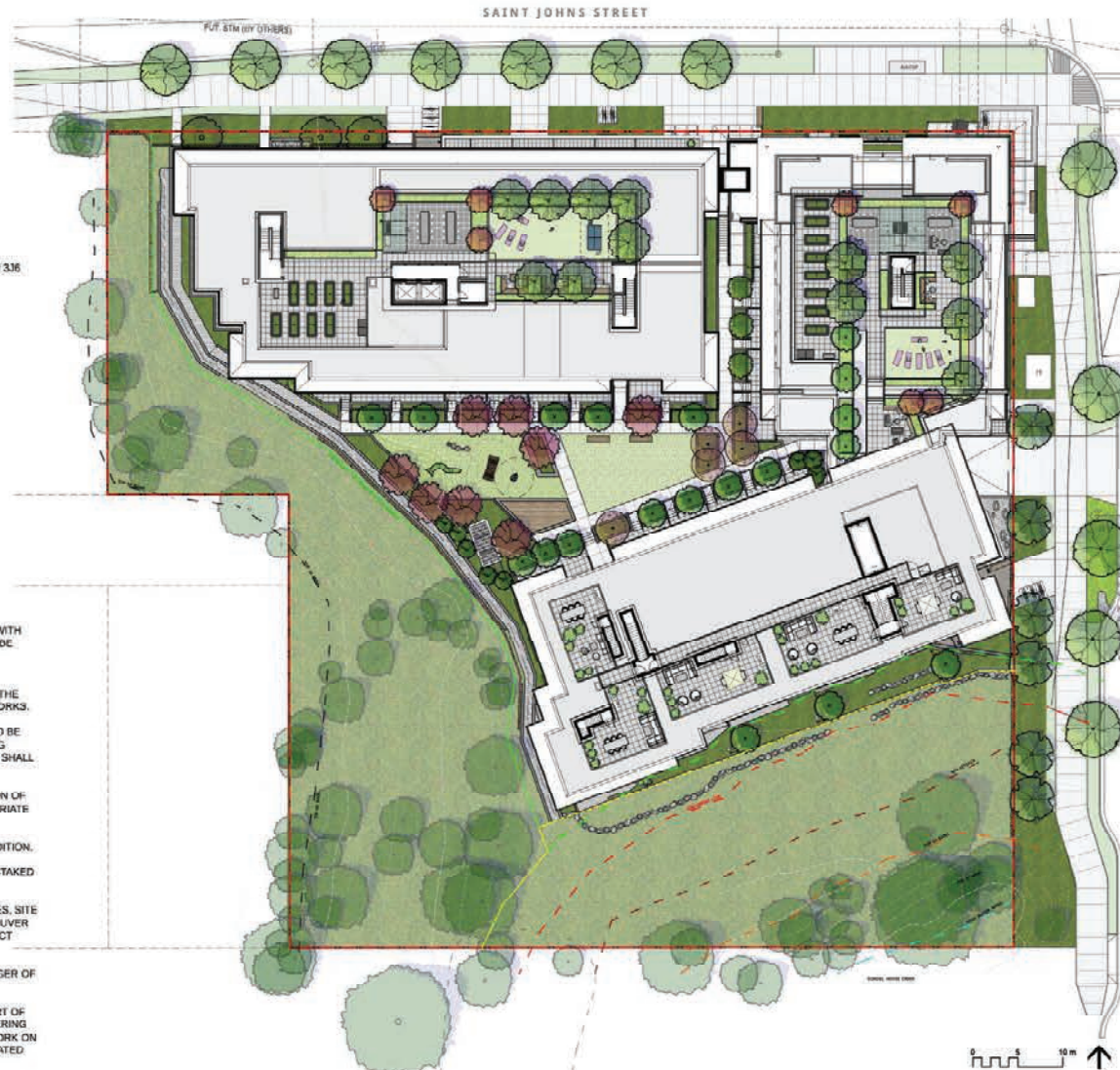
PROJECT TEAM

OWNER/DEVELOPER

MARCON ALBERT (GP) LTD.
5645-199th Street, Langley, BC V3A 1H9
604.530.5616

ARCHITECT

SHIFT ARCHITECTURE INC.
200-100 W 3 Street, North Vancouver, BC V7P 3J6
604.988.7501



NO.	REVISION	DATE
7	RE-ISSUED FOR RZ/DP	21-12-24
6	RE-ISSUED FOR RZ/DP	21-11-09
5	ISSUED FOR RZ/DP REVISION	21-08-12
4	ISSUED FOR RZ/DP REVISION	21-06-08
3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR RZ/DP	19-09-06

HUE

2025 Saint Johns Street
Port Moody, BC

Scale: 1:250

Drawn: MR

Reviewed: KL

Project No. 06-653

COVER SHEET
& DRAWING LIST

L0.0

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REVISIONS

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2025 Saint Johns Street
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**LAYOUT & MATERIALS
LEVEL 1**



LAYOUT & MATERIAL LEGEND

- CIP CONCRETE WALKWAY**
PER PLANS & DETAILS
- FEATURE UNIT PAVING**
PER PLANS & DETAILS
- PERMEABLE UNIT PAVING**
PER PLANS & DETAILS
- PRIVATE PATIO SLAB PAVING**
PER PLANS & DETAILS
- WOOD DECK**
RFD IN ANR & DETAIL E
- GRAVEL FINISH**
450MM TYP. PER PLANS & DETAILS
- CIP CONCRETE RETAINING WALL**
PER ARCHITECTURE
- TREE PROTECTION FENCING**
PER CITY STANDARDS
- GUARD RAIL**
PER ARCHITECTURAL DETAILS
- WOOD GUARD**
PER PLANS & DETAILS
- POST AND RAIL FENCE**
PER PLANS AND DETAILS
- PRIVACY SCREEN**
PER ARCHITECTURAL DETAILS
- EXISTING PLANTING**
TO REMAIN UNDISTURBED
- PROPOSED PLANTING**
PER PLANS & DETAILS
- PLAYGROUND GRASS SAFETY SURFACE**
PER PLANS AND DETAILS
- PROPOSED LAWN**
RFD IN ANR & DETAIL E
- CUSTOM WOOD BENCH**
PER PLANS & DETAILS
- BIKE RACK (2 Class B each)**
PER PLANS & DETAILS
- OUTDOOR FURNITURE**
LOCATION PER PLAN
PER MARCONI/INTERIORS
- EXISTING TREE TO REMAIN**
PER ARBORIST REPORT
- PROPOSED TREE**
PER PLANS & DETAILS
- PLAY AREA SURFACING**
PER PLANS & DETAILS
- PLAY STUMPS**
PER PLANS & DETAILS
- BOULDER RETAINING**
PER PLANS & DETAILS

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**LAYOUT & MATERIALS
LEVEL 2**



LAYOUT & MATERIAL LEGEND

- CIP CONCRETE WALKWAY**
PER PLANS & DETAILS
- FEATURE UNIT PAVING**
PER PLANS & DETAILS
- PERMEABLE UNIT PAVING**
PER PLANS & DETAILS
- PRIVATE PATIO SLAB PAVING**
PER PLANS & DETAILS
- WOOD DECK**
DETD IN ANR & DETAIL E
- GRAVEL EDGING**
450MM TYP. PER PLANS & DETAILS
- CIP CONCRETE RETAINING WALL**
PER ARCHITECTURE
- TREE PROTECTION FENCING**
PER CITY STANDARDS
- GUARD RAIL**
PER ARCHITECTURAL DETAILS
- WOOD GUARD**
PER PLANS & DETAILS
- POST AND RAIL FENCE**
PER PLANS AND DETAILS
- PRIVACY SCREEN**
PER ARCHITECTURAL DETAILS
- EXISTING PLANTING**
TO REMAIN UNDISTURBED
- PROPOSED PLANTING**
PER PLANS & DETAILS
- PLAYGROUND GRASS SAFETY SURFACE**
PER PLANS AND DETAILS
- PROPOSED LAWN**
DETD IN ANR & DETAIL E
- CUSTOM WOOD BENCH**
PER PLANS & DETAILS
- BIKE RACK (2 Class B each)**
PER PLANS & DETAILS
- OUTDOOR FURNITURE**
LOCATION PER PLAN
PER MARCONI/INTERIORS
- EXISTING TREE TO REMAIN**
PER ARBORIST REPORT
- PROPOSED TREE**
PER PLANS & DETAILS
- PLAY AREA SURFACING**
PER PLANS & DETAILS
- PLAY STUMPS**
PER PLANS & DETAILS
- BOULDER RETAINING**
PER PLANS & DETAILS

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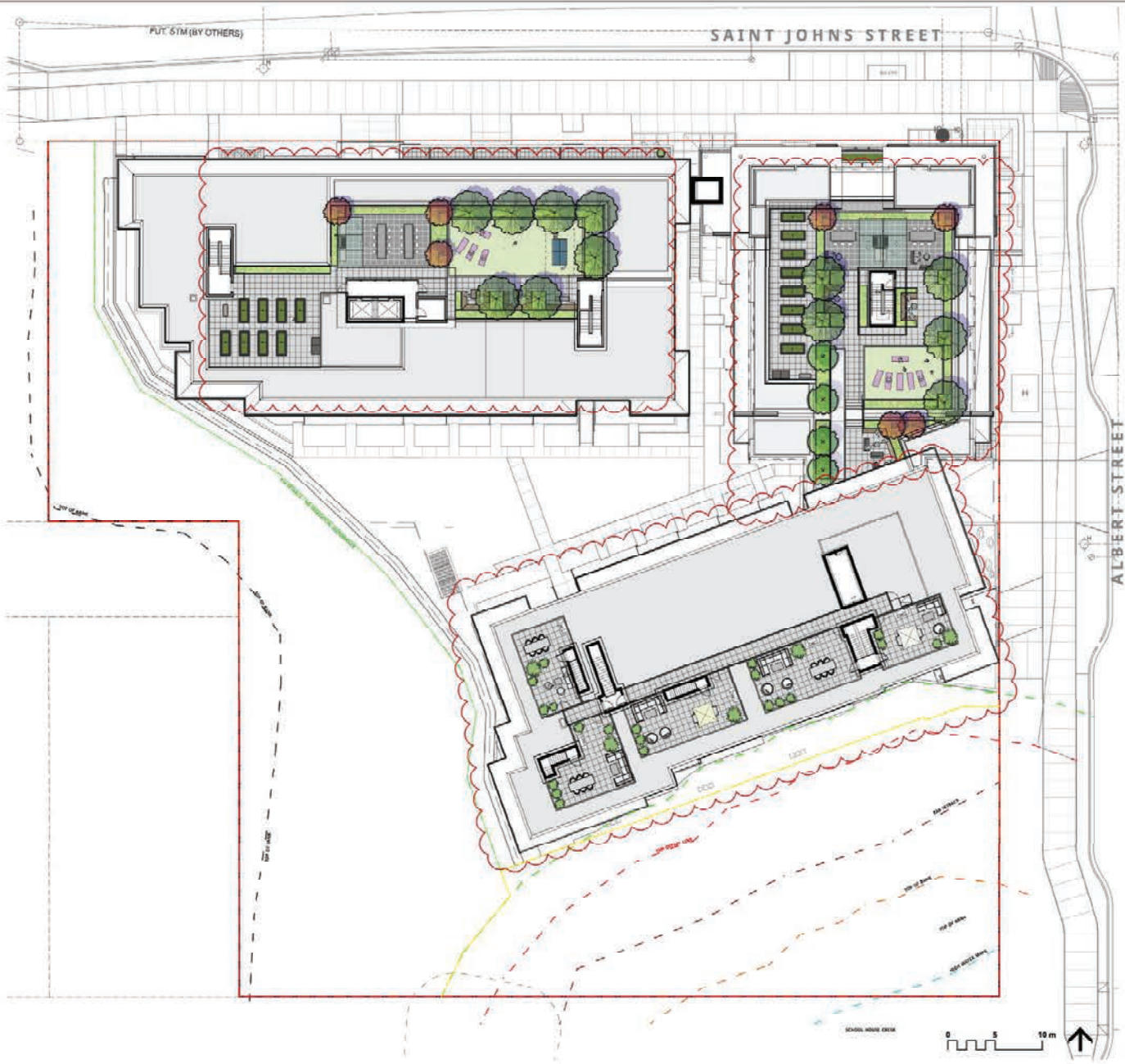
REVISIONS

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Port Moody, BC

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Drawn:	MR
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LAYOUT & MATERIALS
ROOF

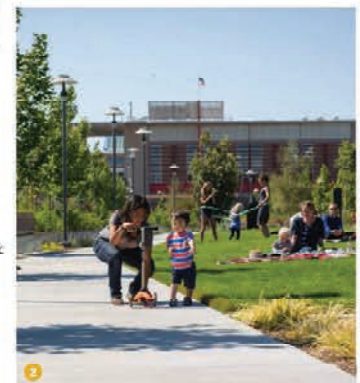


LAYOUT & MATERIAL LEGEND

- CIP CONCRETE
PER PLANS & DETAILS
- PATIO SLAB PAVING
NATURAL GREY
- PATIO SLAB PAVING
OIL MARCOAL
- GRAVEL SURFACE
PER PLANS & DETAILS
- SYNTHETIC TURF
PER PLANS AND DETAILS
- PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
- BBQ & COUNTER
PER PLANS & DETAILS
- GLASS CANOPY STRUCTURE
REFER TO ARCHITECTS
- OUTDOOR FURNITURE
LOCATION PER PLAN
PER MARCON/INTERIORS
- CUSTOM WOOD BENCH
PER PLANS & DETAILS
- FIRE TABLE
WITH GAS CONNECTION
- TIMBER GARDEN PLANTER
PER PLANS & DETAILS
- COMPOST & WORK TABLE
LOCATION PER PLAN
PER MARCON/INTERIORS

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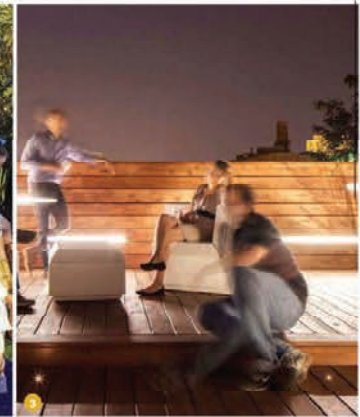
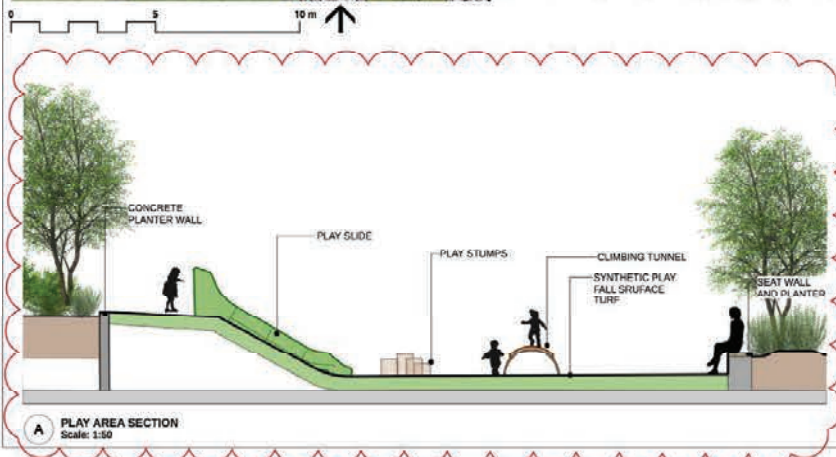
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- 1 PRIVATE PATIO SCREENING
- 2 MULTI FUNCTIONAL SYNTHETIC LAWN
- 3 RAISED WOOD DECK
- 4 CLIMBING SLOPE AND SLIDE
- 5 NATURE PLAY ELEMENTS
- 6 PRIVATE PATIO
- 7 PLAYGROUND GRASS SAFETY SURFACE

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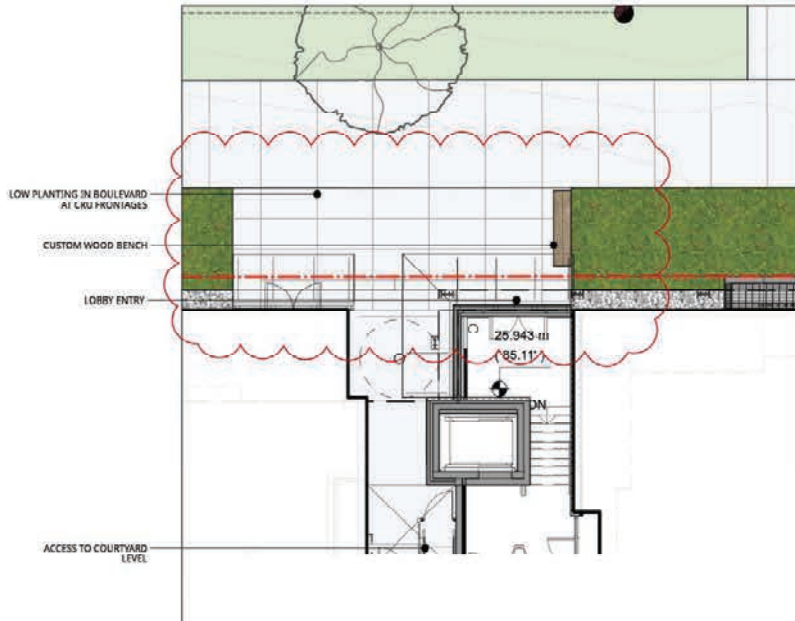
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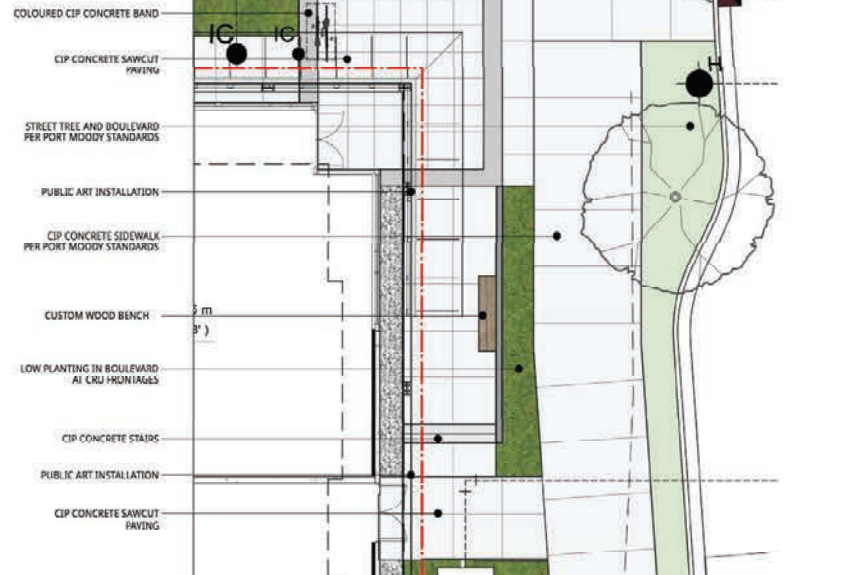
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**ENLARGEMENT
COURTYARD LAYOUT**

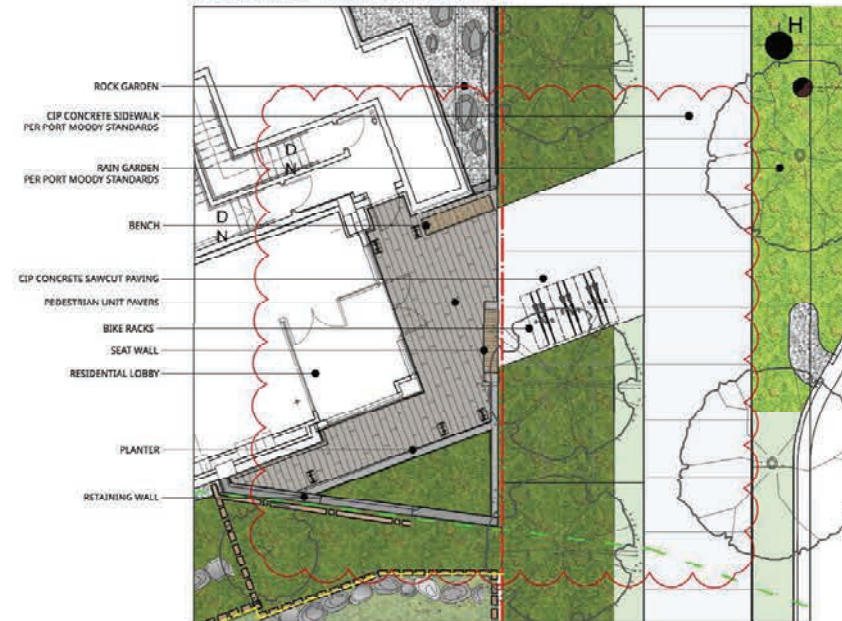
BUILDING 2 - NORTH ENTRY



BUILDING 2 - NORTH-EAST ENTRIES



BUILDING 3 - RESIDENTIAL LOBBY



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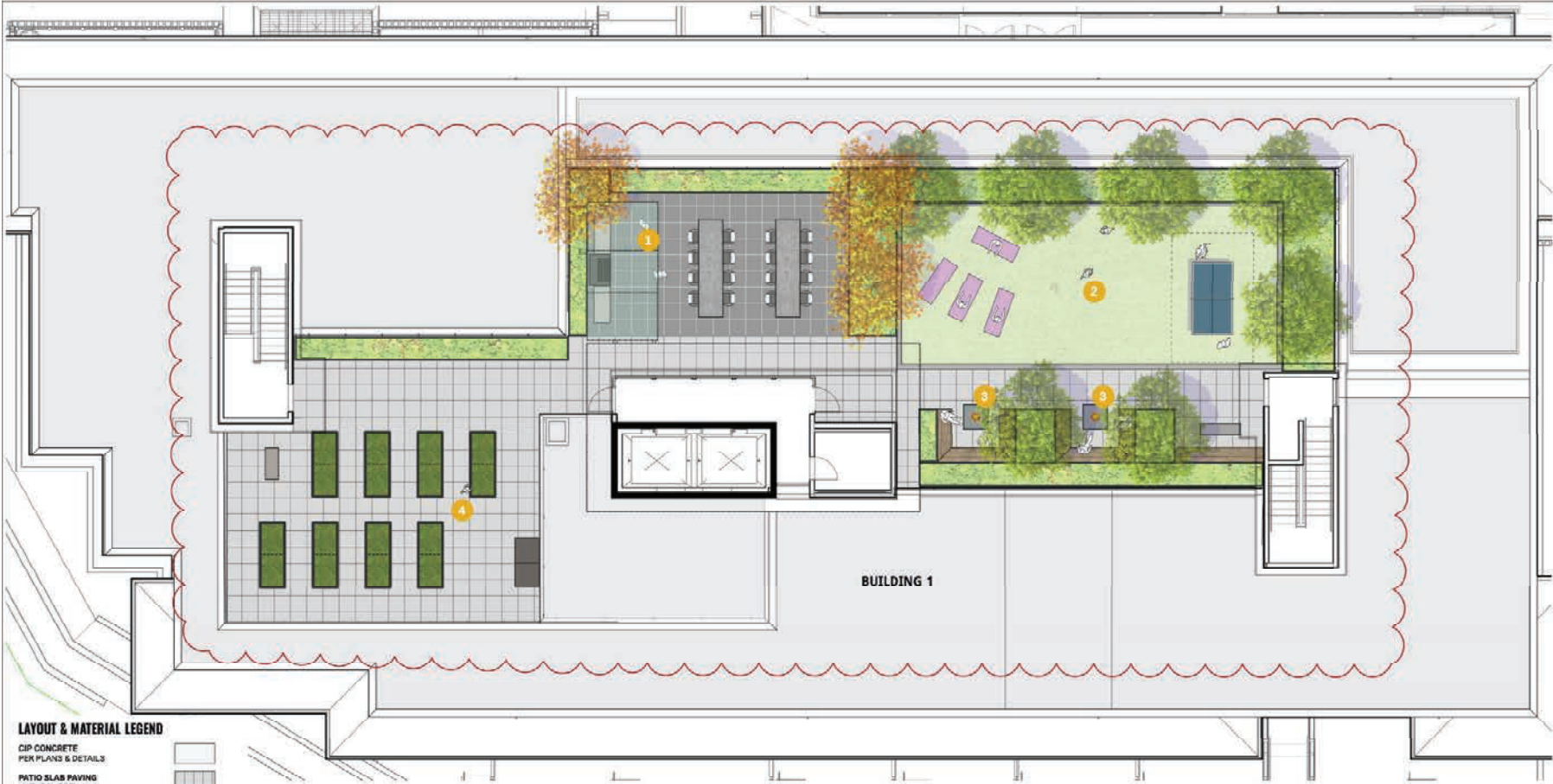
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ENLARGEMENT
COMMERCIAL & P1

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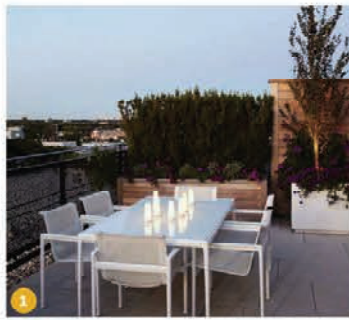


LAYOUT & MATERIAL LEGEND

- CIP CONCRETE
PER PLANS & DETAILS
- PATIO SLAB PAVING
NATURAL GREY
- PATIO SLAB PAVING
CHARCOAL
- GRAVEL SURFACE
PER PLANS & DETAILS
- SYNTHETIC TURF
PER PLANS AND DETAILS
- PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
- BBQ & COUNTER
PER PLANS & DETAILS
- GLASS CANOPY STRUCTURE
REFER TO ARCHITECTS
- OUTDOOR FURNITURE
LOCATION PER PLAN
PER MARCONI/INTERIORS
- CUSTOM WOOD BENCH
PER PLANS & DETAILS
- FIRE TABLE
WITH GAS CONNECTION
- TIMBER GARDEN PLANTER
PER MARCONI/INTERIORS
- COMPOST & WORK TABLE
LOCATION PER PLAN
PER MARCONI/INTERIORS



- 1 DINING & KITCHEN
- 2 ACTIVE FLEX SPACE
- 3 LOUNGE AREA
- 4 HOUSU GARDEN



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**ENLARGEMENT
ROOF BUILDING 1**

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6	RE ISSUED FOR RZDP	21-11-09
5	ISSUED FOR RZDP REVISION	21-09-17
4	ISSUED FOR RZDP REVISION	21-09-08
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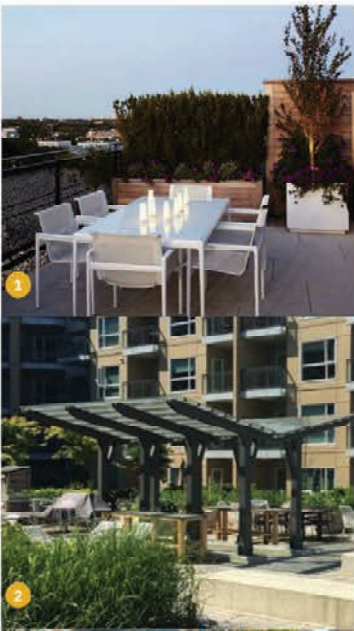
**ENLARGEMENT
ROOF BUILDING 2**



LAYOUT & MATERIAL LEGEND

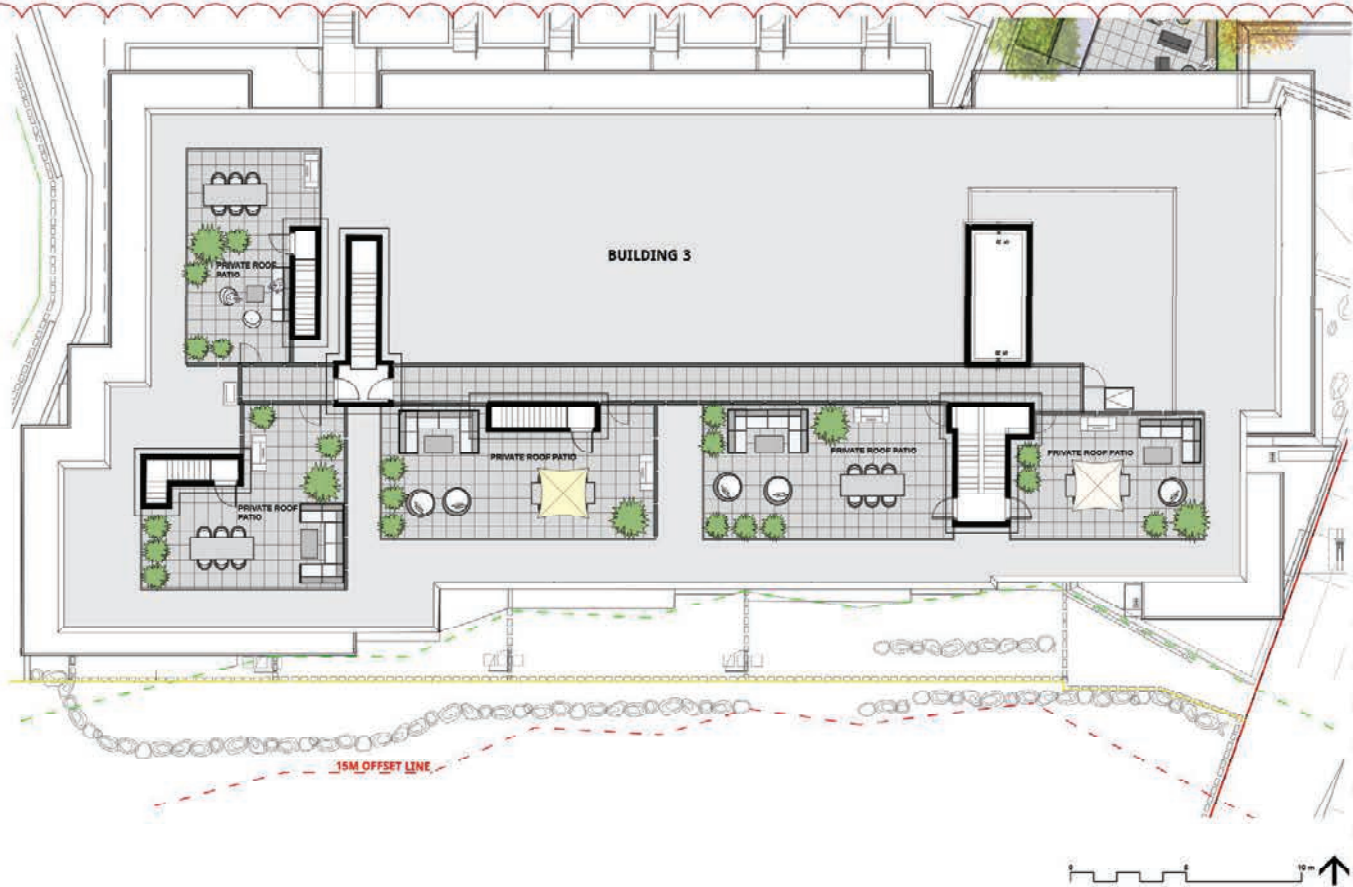
- CIP CONCRETE
PER PLANS & DETAILS
- PAVING SLAB PAVING
NATURAL GREY
- PATIO SLAB PAVING
CHARCOAL
- GRAVEL SURFACE
PER PLANS & DETAILS
- SYNTHETIC TURF
PER PLANS AND DETAILS
- PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
- BBQ & COUNTER
PER PLANS & DETAILS
- GLASS CANOPY STRUCTURE
REFER TO ARCHITECTS
- OUTDOOR FURNITURE
LOCATION PER PLAN
PER MARCON/INTERIORS
- CUSTOM WOOD BENCH
PER PLANS & DETAILS
- FIRE TABLE
WITH GAS CONNECTION
- TIMBER GARDEN PLANTER
PER PLANS & DETAILS
- COMPOST & WORK TABLE
LOCATION PER PLAN
PER MARCON/INTERIORS

- 1 DINING AREA
- 2 OUTDOOR KITCHEN
- 3 LOUNGE AREA
- 4 FOOD GARDEN
- 5 SEATING AREA AND PLANTERS
- 6 AMENITY LAWN



LAYOUT & MATERIAL LEGEND

- PATIO SLAB PAVING**
NATURAL GREY 
- METAL PRIVACY SCREEN
AND GATE**
PER PLANS & DETAILS 
- GUARDRAIL**
REFER TO ARCHITECTURE 
- POTTED PLANTERS**
BY PATIO OWNER 
- BQ BY PATIO OWNER** 
- FURNITURE BY PATIO OWNER** 
- PATIO TABLE BY PATIO OWNER** 



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ENLARGEMENT
ROOF BUILDING 3

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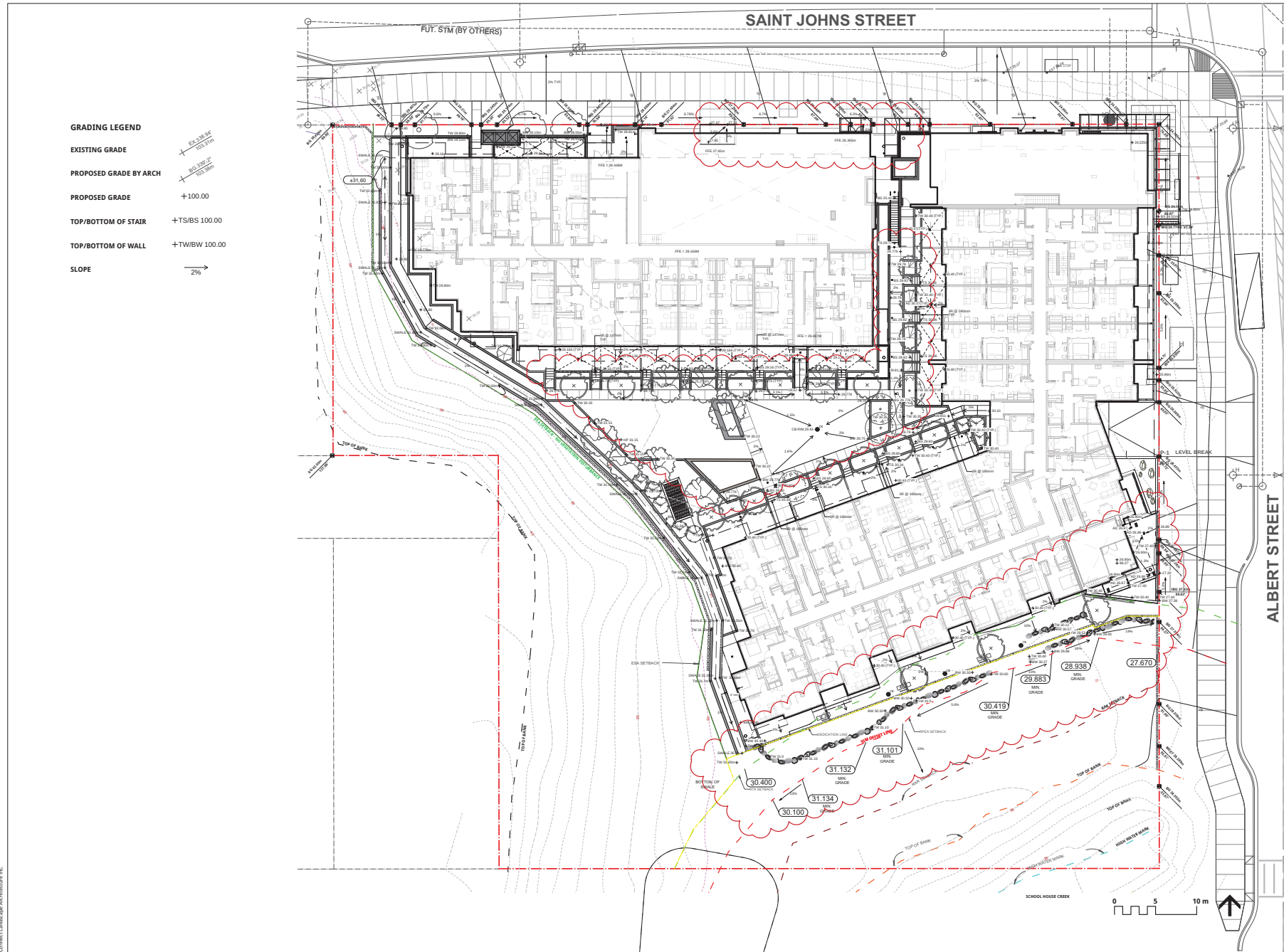
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LANDSCAPE LEVEL 1
GRADING PLAN



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NATIVE & EVERGREEN LAYERS



Acer griseum
Paperbark Maple



Iris tenax
Oregon Iris



Rosa gymnocarpa
Baldhip Rose



Taxus x media 'Hicksii'
Hick's Yew



ENVIRONMENTALLY SENSITIVE AREA NATIVE PLANTINGS



Amelanchier alnifolia
Saskatoon Berry



Arctostaphylos uva-ursi
Kinnikinnick



Acer circinatum
Vine Maple



Polystichum Munitum
Western Sword Fern

PLANTING NOTE

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL TREE LOCATIONS TO BE STAKED / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
5. STREETScape DESIGN TO MEET CITY OF PORT MOODY STANDARDS. CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

NOTE: ALL PLANTING AREAS TO HAVE MINIMUM 450MM SOIL DEPTH TO MEET STORMWATER MANAGEMENT PLAN RECOMMENDATIONS FOR ABSORBANT LANDSCAPE

PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES				
19	*Acer circinatum	Vine Maple	3m Multi-steml.	as shown
7	Acer shirasawanum 'Aureum'	Golden Full Moon Maple	3m Multi-steml.,	as shown
8	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7cm cal., B&B	as shown
3	Fraxinus pennsylvanica 'Prairie Spire'	Prairie Spire Ash	6cm cal., B&B	as shown
1	Liquidambar styraciflua 'Slender Silhouette'	Fastigiata Sweetgum	6cm cal., B&B	as shown
5	Acer griseum	Paperbark Maple	6cm cal., B&B	as shown
8	Picea omorika	Serbian Spruce	3M height, B&B	as shown
12	Styrax japonicus	Japanese Snowbell tree	6cm cal., B&B	as shown
3	Stewartia pseudocamellia	Japanese Stewartia	6cm cal., B&B	as shown
	Street Tree Per City of Port Moody	See offsite drawings	8cm cal., B&B	as shown
SHRUBS				
	*Amelanchier alnifolia	Saskatoon Berry	#2 pot	42" o.c
	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#5 pot	18" o.c
	*Cornus stolonifera	Red Osier Dogwood	#5 pot	36" o.c
	Cotoneaster dammeri	Little-Leaf Cotoneaster	#2 pot	24" o.c
	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot	18" o.c
	*Physocarpus capitatus	Pacific Ninebark	#2 pot	35" o.c
	*Polystichum munitum	Western Sword Fern	#2 pot	24" o.c
	*Rhododendron macrophyllum	Pacific Rhododendron	#5 pot	36" o.c
	*Rosa gymnocarpa	Baldhip Rose	#2 pot	36" o.c
	Sarcococca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c
	Skimmia japonica	Japanese Skimmia	#3 pot	24" o.c
	Stipa tenuissima	Mexican Feather Grass	#2 pot	24" o.c
	*Symphoricarpos albus	Common Snowberry	#2 pot	24" o.c
	Taxus X Media 'Hicksii'	Hick's Yew - 1.5M height	#3 pot	20" o.c
GROUND COVERS AND VINES				
	*Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	15" o.c
	*Frageria chiloensis	Beach Strawberry	4"(10cm) pot	15" o.c
	50/50mix			
	*Oxalis oreganum	Redwood Spurge	4"(10cm) pot	15" o.c
	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	15" o.c
GRASSES, PERENNIALS, BULBS, AND ANNUALS				
	*Achillia millefolium	Yarrow	#1 pot	18" o.c
	*Dicentra formosa	Bleeding Heart	#1 pot	18" o.c
	Oregon Iris	Oregon Iris	#1 pot	18" o.c
ENVIRONMENTAL SENSITIVE AREA				
SEE ENVIRONMENTAL PLANTING PLAN BY KEYSTONE ENVIRONMENTAL				
OFFSITE RAIN GARDENS				
0	*Cornus sericea 'Kelseyi'	Dwarf Red Twig Dogwood	#1 pot	24" o.c
0	*Carex pendula	Pendulous Sedge	4" (10cm) pot	18" o.c
0	*Iris tenax	Tough leaf Iris	#1 pot	18" o.c
0	*Mahonia repens	Creeping Oregon Grape	#1 pot	18" o.c

7	RE-ISSUED FOR RZ/DP	21-12-24
6	RE-ISSUED FOR RZ/DP	21-11-09
5	ISSUED FOR RZ/DP REVISED	21-08-12
4	ISSUED FOR RZ/DP REVISED	21-06-08
3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR RZ/DP	19-09-06

REVISIONS

HUE

2025 Saint Johns Street
Port Moody, BC

Scale:	N/A
Drawn:	MR
Reviewed:	KL
Project No.	06-653

LANDSCAPE MATERIALS

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

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3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

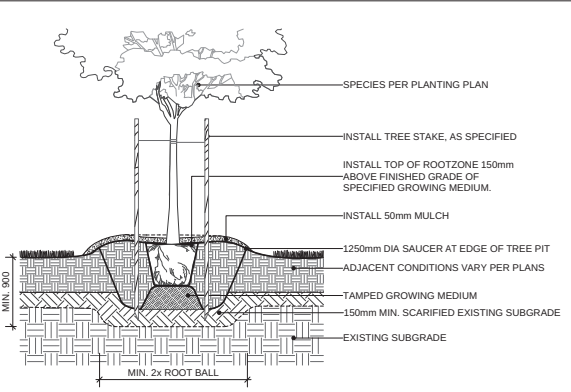
REVISIONS

ALBERT STREET

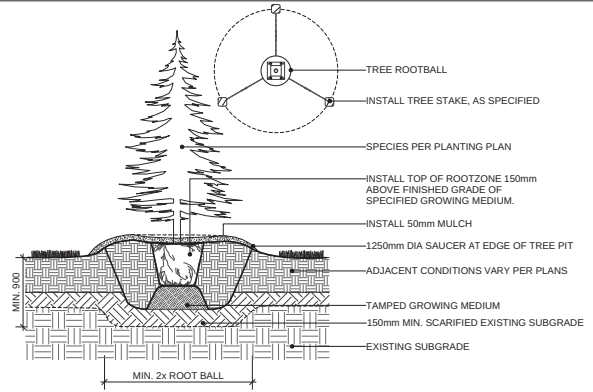
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-653

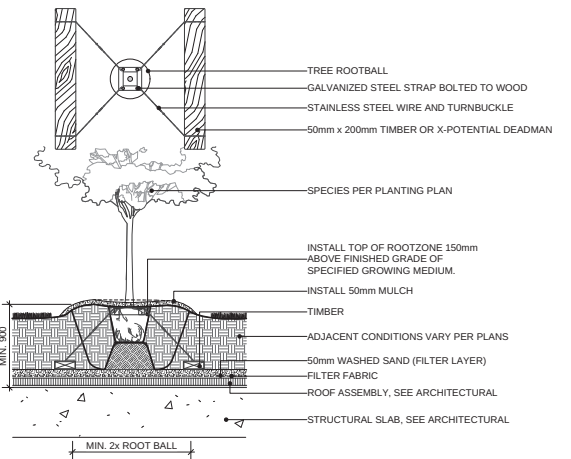
**LANDSCAPE DETAILS
SOFTSCAPE**



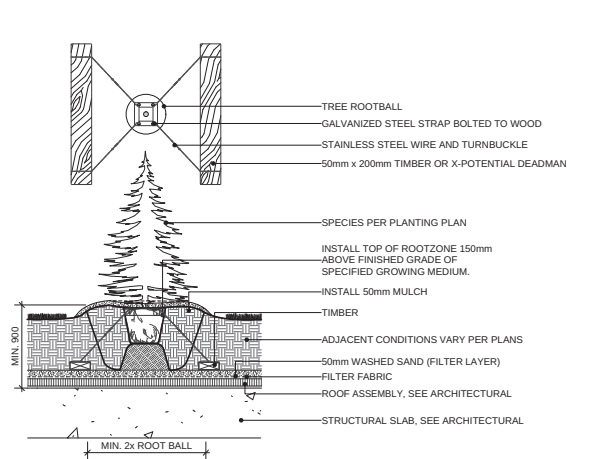
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



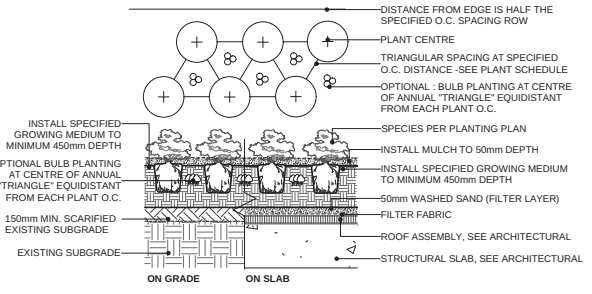
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



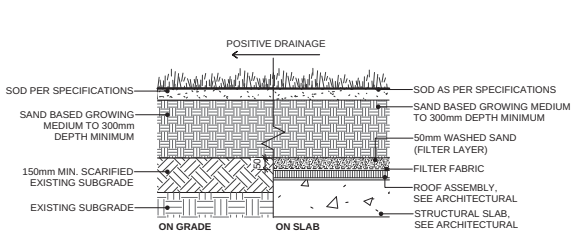
3 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



4 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25

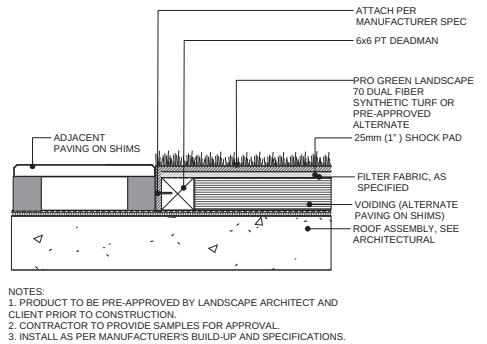


5 SHRUB AND GROUND COVER PLANTING (TYPICAL)
Scale: 1:25



6 SOD LAWN (TYPICAL)
Scale: 1:10

NOTE: ALL PLANTING AREAS TO HAVE MINIMUM 300MM SOIL DEPTH TO MEET STORMWATER MANAGEMENT PLAN RECOMMENDATIONS FOR ABSORBANT LANDSCAPE

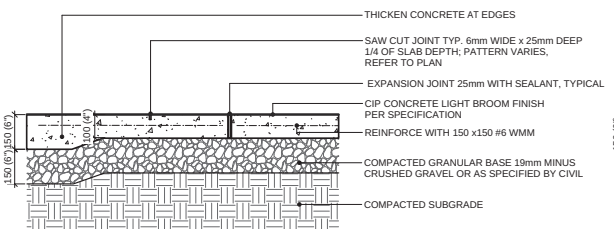


7 SYNTHETIC TURF
Scale: 1:10

NOTES:
1. PRODUCT TO BE PRE-APPROVED BY LANDSCAPE ARCHITECT AND CLIENT PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO PROVIDE SAMPLES FOR APPROVAL.
3. INSTALL AS PER MANUFACTURER'S BUILD-UP AND SPECIFICATIONS.

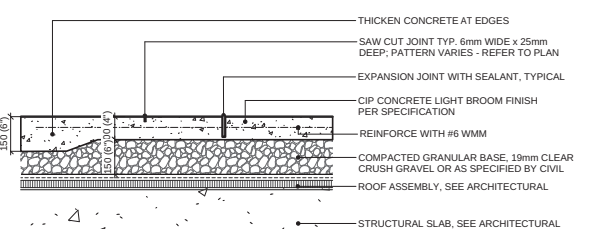
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

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NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

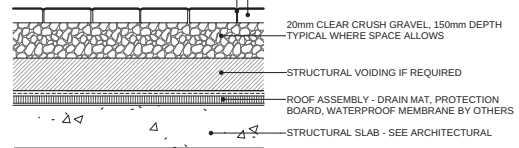
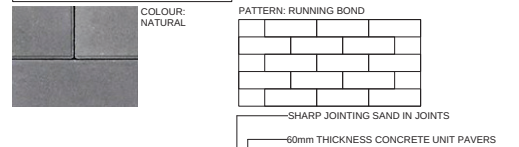
1 CIP CONCRETE ON GRADE
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON SLAB (TYPICAL)
Scale: 1:10

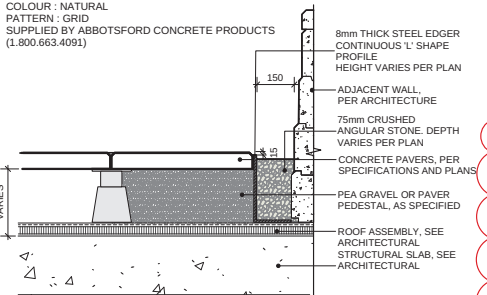
UNIT PAVING CLASSIC STANDARD SERIES
SIZE: 3-1 225mm x 75mm x 60mm
BY: ABBOTSFORD CONCRETE PRODUCTS
(1.800.663.4091)



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

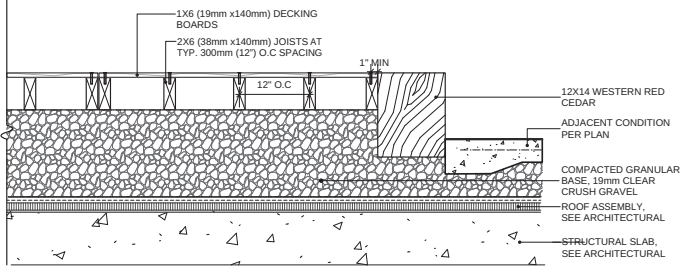
3 PEDESTRIAN UNIT PAVING ON SLAB
Scale: 1:10

TEXADA HYDRAPRESSED SLAB PAVER
SIZE - 610mm x 610mm
COLOUR : NATURAL
PATTERN : GRID
SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS
(1.800.663.4091)

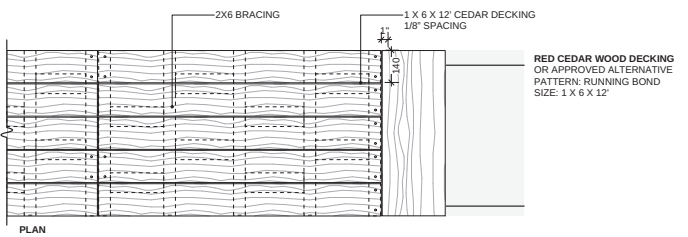


NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

4 HYDRAPRESSED CONCRETE PAVERS ON SLAB (TYPICAL)
Scale: 1:10



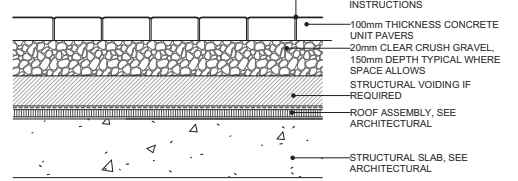
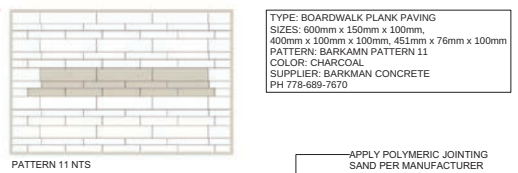
SECTION



PLAN

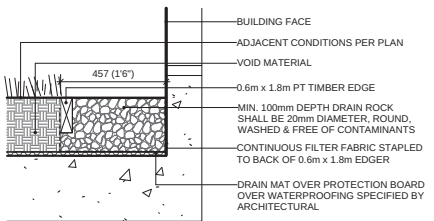
6 RAISED WOOD DECK
Scale: 1:10

TYPE: BOARDWALK PLANK PAVING
SIZES: 600mm x 150mm x 100mm, 400mm x 100mm x 100mm, 451mm x 76mm x 100mm
PATTERN: BARKAMN PATTERN 11
COLOR: CHARCOAL
SUPPLIER: BARKMAN CONCRETE
PH 778-689-7670



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

7 PLANK UNIT PAVERS ON SLAB (TYPICAL)
Scale: 1:10



5 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1:10

NO.	REVISIONS	DATE
7	RE-ISSUED FOR RZIDP	21-12-24
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3	RE-ISSUED FOR RZIDP	21-03-18
2	RE-ISSUED FOR RZIDP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

ALBERT STREET

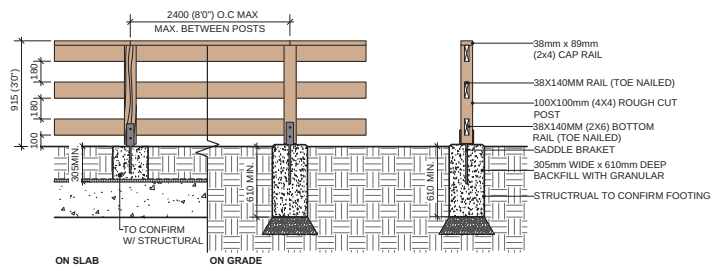
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-653

**LANDSCAPE DETAILS
HARDSCAPE**

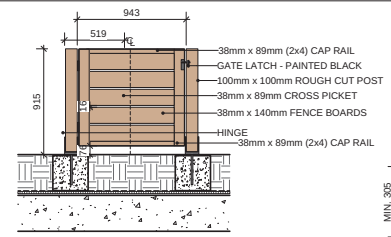
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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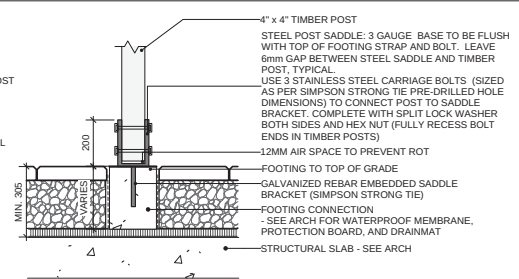


1 INTERNAL YARD FENCE
Scale: 1:20

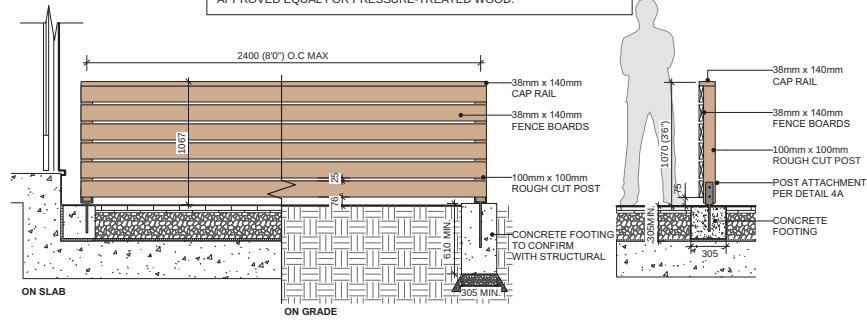
TIMBER NOTES:
1. ALL WOOD POSTS TO BE PRESSURE TREATED HEMFIR, ALL BOARDS TO BE HEMFIR, CLEAN NO KNOTS.
2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
4. ALL CUTS TO BE SQUARE AND CLEAN.
5. ALL EXPOSED WOOD TO BE STAINED (SOLID). COLOUR PER MARCON (TO MATCH ARCHITECTURE).
6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.



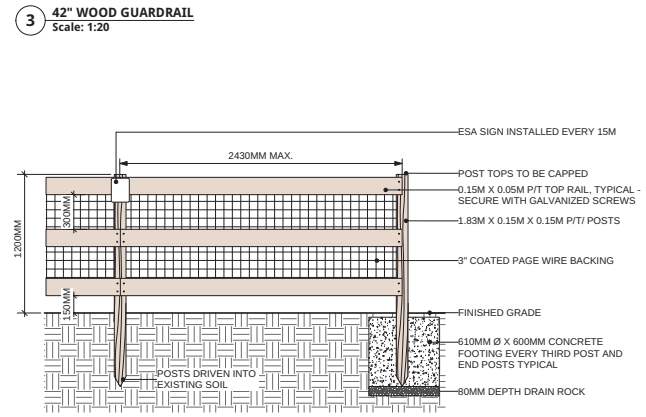
2 WOOD YARD GATE
Scale: 1:20



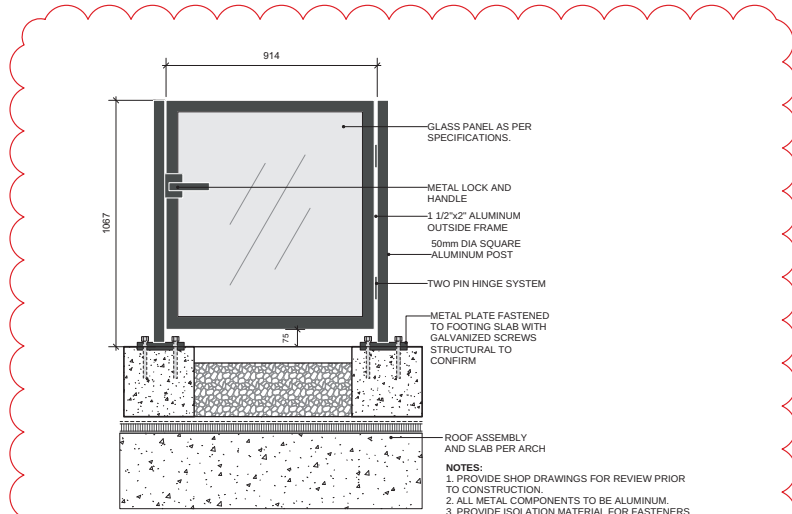
4A TIMBER POST ATTACHMENT, ON SLAB
Scale: 1:10



3 42" WOOD GUARDRAIL
Scale: 1:20



5 ESA AND RPEA PROTECTION FENCE
Scale: 1:20



6 METAL ENTRY GATE ON SLAB
Scale: 1:10

NOTES:
1. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
2. ALL METAL COMPONENTS TO BE ALUMINUM.
3. PROVIDE ISOLATION MATERIAL FOR FASTENERS TO AVOID ELECTROLYSIS.
4. COLOUR TO MATCH ARCHITECTURAL RAILS.

NO.	REVISION	DATE
7	RE-ISSUED FOR RZIDP	21-12-24
6	RE-ISSUED FOR RZIDP	21-11-09
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3	RE-ISSUED FOR RZIDP	21-03-18
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1	ISSUED FOR REVIEW	19-07-16

ALBERT STREET

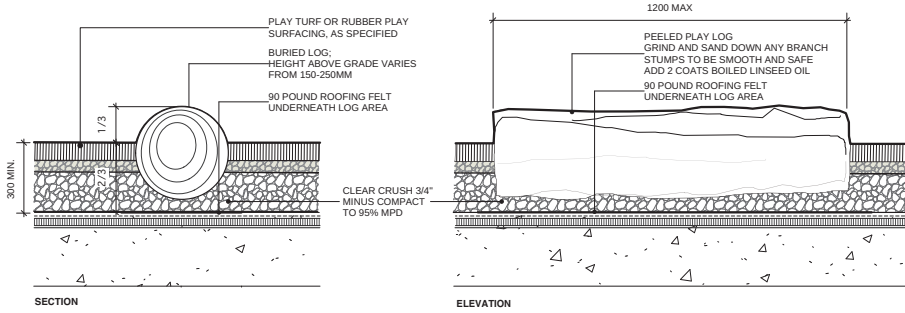
2025 Saint Johns Street
Port Moody, BC

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**LANDSCAPE DETAILS
FENCES**

WOOD ELEMENTS NOTES:

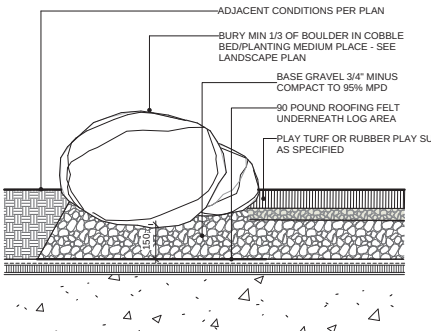
1. REMOVE BARK, SAND ALL CORNERS, EDGES, AND TIMBER SMOOTH, NO ROUGH SURFACES, SMOOTH AND FREE OF SPLINTERS.
2. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF LOG; NO DEPRESSIONS PERMITTED
3. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



SECTION

ELEVATION

1 PLAY LOGS
Scale: 1:10

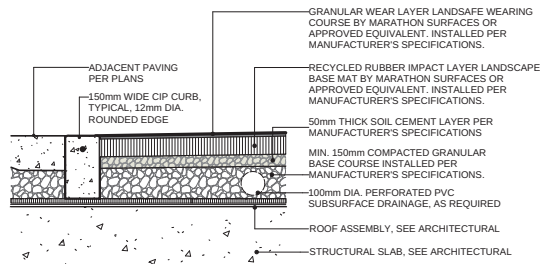


SECTION

3 PLAY AREA BOULDER EDGE
Scale: 1:10



SLIDEWINDER
COLOUR: TBD
BY: LANDSCAPE STRUCTURES
AVAILABLE THROUGH HABITAT



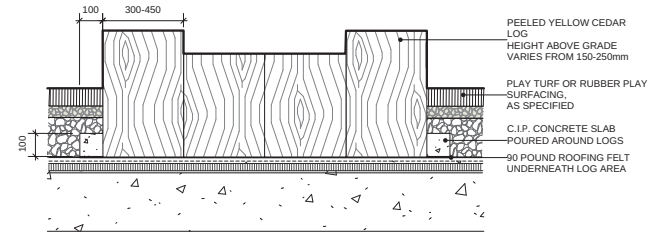
- NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

4 RUBBER PLAY SURFACING
Scale: 1:10

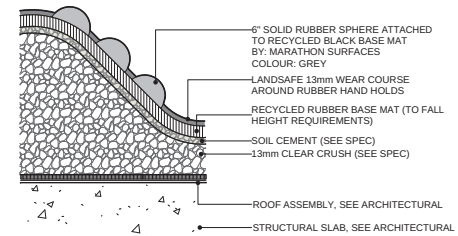


WAVE PLAY BRIDGE
COLOUR: NATURAL WOOD COMPOSITE AND ACORN
BY: LANDSCAPE STRUCTURES
AVAILABLE THROUGH HABITAT

7 CLIMBING BRIDGE PLAY ELEMENT



2 PLAY STUMPS
Scale: 1:10



- NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

5 RUBBER MOUND AND HAND HOLD ON SLOPE
Scale: 1:10

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3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

ALBERT STREET

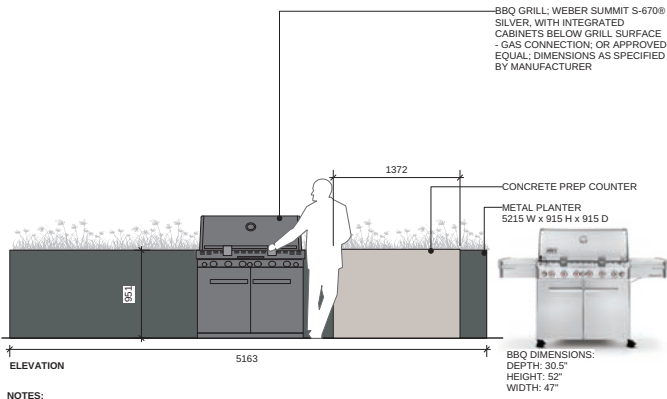
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-653

**LANDSCAPE DETAILS
PLAY AREA**

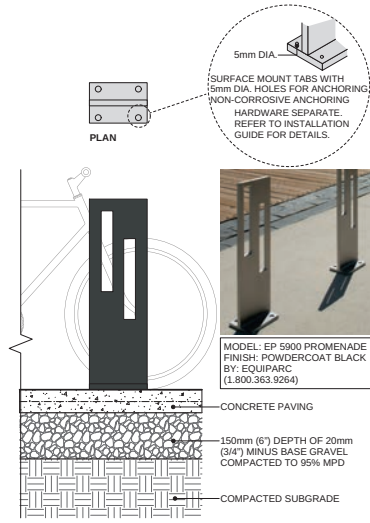
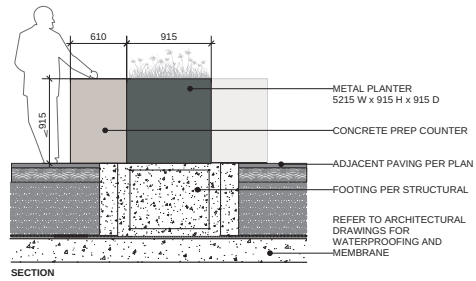
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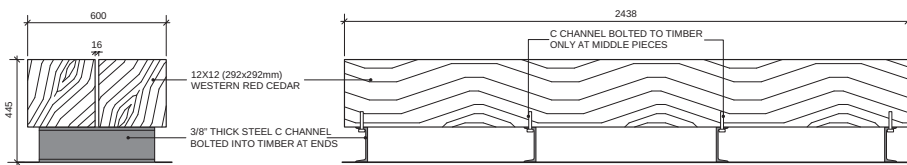


- NOTES:**
1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS OF THE METAL TRELLIS FOR REVIEW AND APPROVAL.
 2. ALL FASTENERS ARE TO BE HOT-DIPPED GALVANIZED.
 3. ALL WELDS TO BE GROUND SMOOTH.
 4. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 5. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
 6. REFER TO SPECIFICATION FOR FINISH AND COLOUR OF TRELLIS STRUCTURE.

1 BBQ AND COUNTER
Scale: 1:25

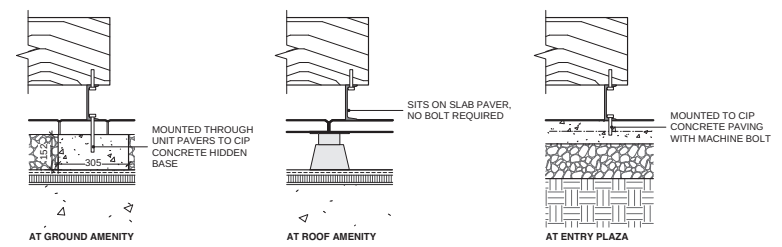


3 BIKE RACK
Scale: 1:10



2 CUSTOM TIMBER BENCH
Scale: 1:10

- TIMBER NOTES:**
1. LUMBER TO BE YELLOW CEDAR, CLEAN NO KNOTS.
 2. APPLY 2 COATS BOILED LINDSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.
 3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 4. ALL CUTS TO BE SQUARE AND CLEAN.
 5. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF BENCH; NO DEPRESSIONS PERMITTED.
 6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
 7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL.



2A C CHANNEL ATTACHMENT
Scale: 1:10

7	RE-ISSUED FOR RZ/DP	21-12-24
6	RE-ISSUED FOR RZ/DP	21-11-09
5	ISSUED FOR 50% SET	21-09-13
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1	ISSUED FOR REVIEW	19-07-16

REVISIONS

ALBERT STREET

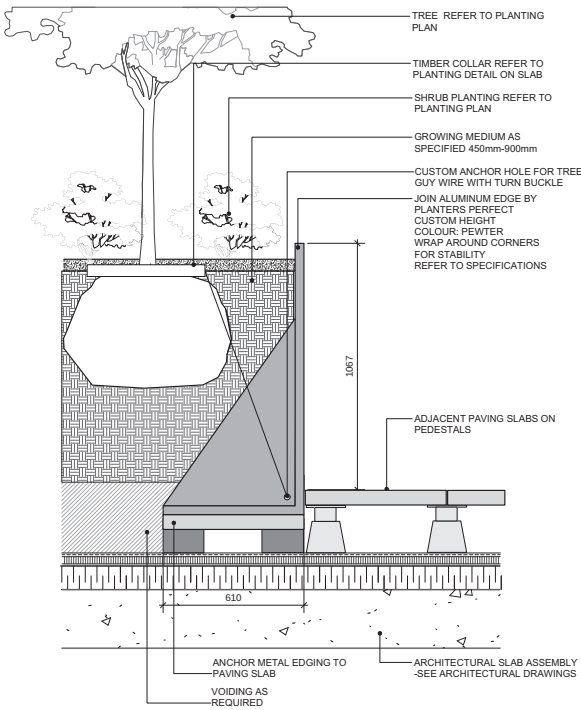
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
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Reviewed:	KL
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**LANDSCAPE DETAILS
FURNISHINGS**

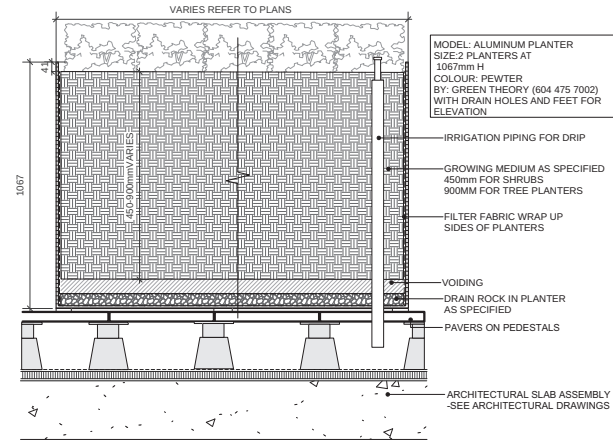
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

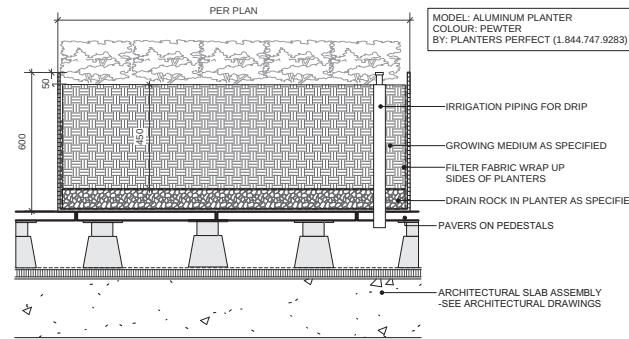


NOTE: 1. PROVIDE SHOP DRAWINGS FOR APPROVAL
2. FOLLOW MANUFACTURER INSTALLATION INSTRUCTIONS FOR ATTACHING PANELS TOGETHER

1 CUSTOM METAL PLANTER EDGE AND ROOF TREE PLANTING
Scale: 1:10



2 CUSTOM METAL PLANTER ROOF LEVEL
Scale: 1:10



3 METAL AGRICULTURAL PLANTER
Scale: 1:10

7	RE-ISSUED FOR RZ/DP	21-12-24
6	RE-ISSUED FOR RZ/DP	21-11-09
5	ISSUED FOR 50% SET	21-09-13
4	RE-ISSUED FOR RZ/DP	21-08-12
3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN

Drawn: MR

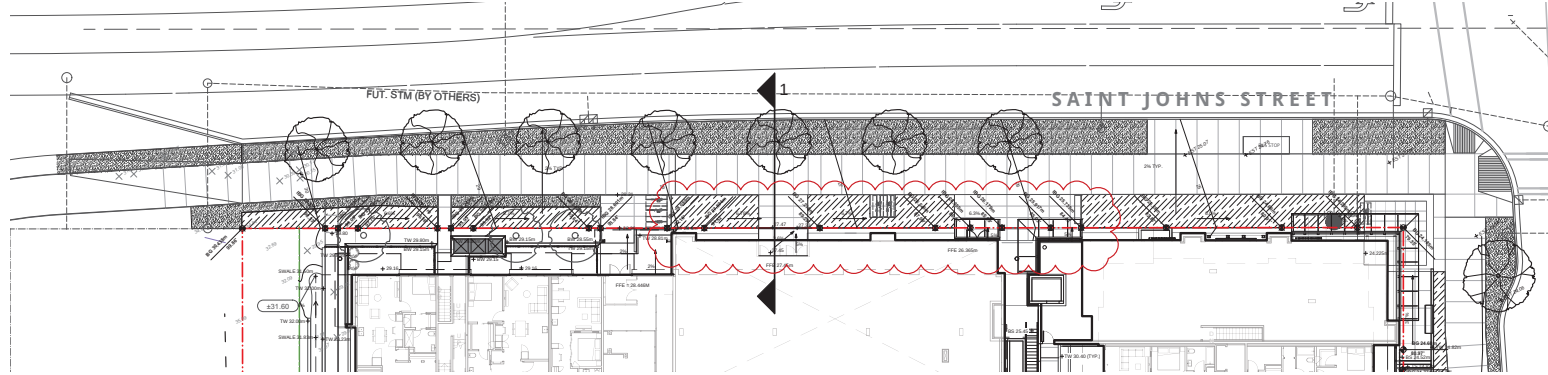
Reviewed: KL

Project No. 06-653

LANDSCAPE DETAILS
ROOF PLANTERS

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

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OFF-SITE PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	7	Zelkova serrata	Japanese Zelkova	7cm CAL., B&B	

PLANTING NOTE

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL TREE LOCATIONS TO BE STAKED OUT / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
5. OFFSITE LANDSCAPE TO MEET CITY OF PORT MOODY DRAFT INTERIM SPECIFICATIONS AND STANDARDS (OCTOBER 2020). CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

TREES SHALL HAVE A MINIMUM CLEARANCE AS SHOWN FROM THE FOLLOWING:

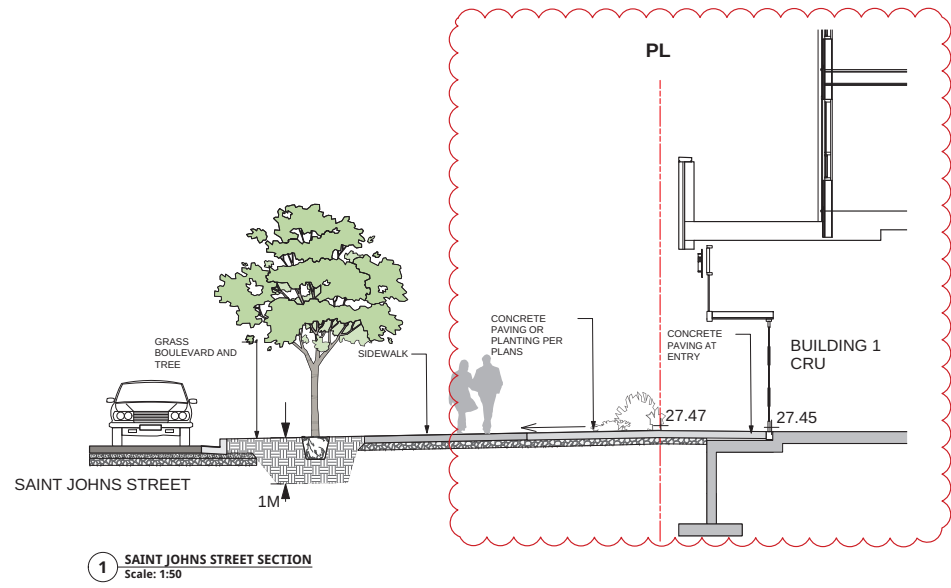
STREET LIGHTS - 6M	DRIVEWAYS - MIN. 2.0M
STOP SIGNS AND TRAFFIC SIGNALS - 6M	ELECTRICAL JUNCTION BOXES & KIOSKS - PER UTILITY OWNER
CORNERS / INTERSECTIONS - MIN. 6M SIGHT TRIANGLE	HYDRANTS - 2M
OVERHEAD POWER LINES - PER UTILITY OWNER	SERVICE CONNECTIONS - VARIES
MANHOLES, VALVE BOXES - 1.2M	SEE SUPPLEMENTAL STANDARDS

LAYOUT AND MATERIAL LEGEND

KEY	DESCRIPTION
	CIP CONCRETE SIDEWALK, REFER TO CIVIL
	FRONT BOULEVARD LAWN, REFER TO DETAIL
	GROUND COVER PLANTING, PER ONSITE LANDSCAPE DRAWINGS

LAYOUT AND MATERIAL NOTE

1. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, AND WALLS FOR DURATION OF CONSTRUCTION.
7. THE LOCATION OF ALL PROPOSED HARDSCAPE ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



NO.	REVISIONS	DATE
7	RE-ISSUED FOR RZ/DP	21-12-24
6	RE-ISSUED FOR RZ/DP	21-11-09
5	ISSUED FOR RZ/DP REVISED	21-08-12
4	ISSUED FOR RZ/DP REVISED	21-06-08
3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR RZ/DP	19-09-06

HUE

2025 Saint Johns Street
Port Moody, BC

Scale:	1:200
Drawn:	MR
Reviewed:	KL
Project No.	06-653

LANDSCAPE OFFSITE
SAINT JOHNS ST.

OSL1.0

SAINT JOHNS STREET

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7	RE-ISSUED FOR RZ/DP	21-12-24
6	RE-ISSUED FOR RZ/DP	21-11-09
5	ISSUED FOR RZ/DP REVISED	21-08-12
4	ISSUED FOR RZ/DP REVISED	21-06-08
3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR RZ/DP	19-09-06

REVISIONS

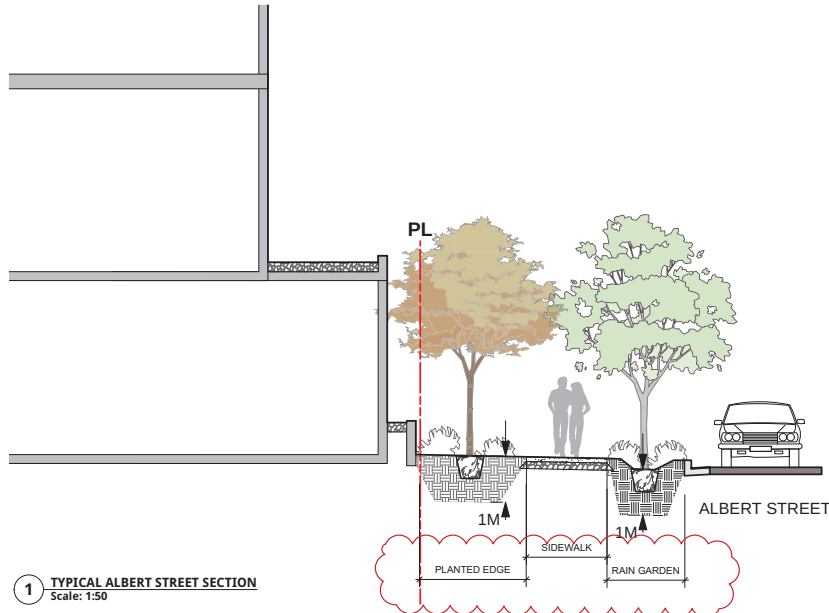
HUE

2025 Saint Johns Street
Port Moody, BC

Scale:	1:200
Drawn:	MR
Reviewed:	KL
Project No.	06-653

LANDSCAPE OFFSITE
ALBERT ST.

OSL1.1



1 TYPICAL ALBERT STREET SECTION
Scale: 1:50

OFF-SITE PLANT LIST					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
	5	Fraxinus oxycarpa 'Raywood'	Raywood Ash	7cm CAL., B&B	
	6	Crataegus x lavallei	Lavalle Hawthorn	7cm CAL., B&B	
SHRUBS - RAIN GARDEN					
	68	Cornus sericea 'Kelsey'	Dwarf Red Twig Dogwood	#1 pot	24" o.c
	45	Carex pendula	Pendulous Sedge	#1 pot	18" o.c
	18	Iris tenax	Oregon Iris	#1 pot	18" o.c
	73	Mahonia repens	Creeping Oregon Grape	#1 pot	18" o.c
PLANTING NOTE					
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STREET LIGHTS - 6M		DRIVEWAYS - MIN 2.0M			
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CORNERS / INTERSECTIONS - MIN. 6M SIGHT TRIANGLE		HYDRANTS - 2M			
OVERHEAD POWER LINES - PER UTILITY OWNER		SERVICE CONNECTIONS - VARIES, SEE SUPPLEMENTAL STANDARDS			
MANHOLES, VALVE BOXES - 1.2M					

