Revision Schdule

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2	FIRE ACCESS PLAN	NOV 25 2021
1	ISSUED FOR DP SUBMISSION	NOV 3 2021

Project Name

9 UNIT TOWNHOME DEVELOPMENT

Project Address

2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name

TITLE PAGE

Sheet No.

A100

Project No.

210905

Start of Project

SEPTEMBER 2021

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Web: www.maraarch.com

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1 **Context Plan**
3/4" = 1'-0"

CLARKE STREET

2210 CLARKE ST

2218 CLARKE ST

2222 CLARKE ST

2224 CLARKE ST [HERITAGE]

2226 CLARKE ST [HERITAGE]

VINTNER STREET

2226 VINTNER ST [HERITAGE]

2224 VINTNER ST [HERITAGE]

2222 VINTNER ST

2214 VINTNER ST

2210 VINTNER ST

24			16			8					
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19			11			3					
18			10			2	FIRE ACCESS PLAN	NOV 25 2021			
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021			

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
SITE CONTEXT

Sheet No.
A101

Project No.
210905

Start of Project
SEPTEMBER 2021

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RENDERING - 1. VIEW FROM CLARKE STREET

24			16			8					
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19			11			3					
18			10			2	FIRE ACCESS PLAN	NOV 25 2021			
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021			

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
RENDERING - 1

Sheet No.
A102

Project No.
210905

Start of Project
SEPTEMBER 2021

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RENDERING - 2. VIEW FROM VINTNER STREET

24			16			8					
23			15			7					
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21			13			5					
20			12			4					
19			11			3					
18			10			2	FIRE ACCESS PLAN	NOV 25 2021			
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021			

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
RENDERING - 2

Sheet No.
A103

Project No.
210905

Start of Project
SEPTEMBER 2021

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RENDERING - 3. VIEW OF COMMON AMENITY SPACE

24			16			8					
23			15			7					
22			14			6					
21			13			5					
20			12			4					
19			11			3					
18			10			2	FIRE ACCESS PLAN	NOV 25 2021			
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021			

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET PORT MOODY, B.C.

Sheet Name
RENDERING - 3

Sheet No.
A104

Project No.
210905

Start of Project
SEPTEMBER 2021

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PROPOSED 9 UNIT TOWNHOME DEVELOPMENT

LOT INFORMATION

CIVIC ADDRESS : **2222 CLARKE STREET, PORT MOODY, B.C**
LEGAL DESCRIPTION : LOT 40 BLOCK 2 DL 202 GP 1 NWD
LOT AREA : 809.5 m^2 (8713.4 ft^2)
LOT DEDICATIONS : N/A

ZONING
EXISTING : RS1
PROPOSED : CD (BASED ON RM4)
NCP : MOODY CENTRE
OCP : MULTI-FAMILY RESIDENTIAL

SETBACKS	ALLOWED	PROPOSED
FRONT	4.00 m	4.01 m
INTERIOR	2.00 m	2.01 m
REAR	3.00 m	4.98 m

BUILDING HEIGHT
STOREYS 3 STOREYS
BUILDING 1 12.82 m
BUILDING 2 12.30 m

LOT COVERAGE
BUILDING 1 : 179.77 m^2
BUILDING 2 + : 166.31 m^2
TOTAL COVERAGE : 346.08 m^2

LOT COVERAGE = $\frac{\text{TOTAL LOT COVERAGE}}{\text{LOT AREA}} = \frac{346.08\ m^2}{809.50\ m^2} \times 100$

LOT COVERAGE = 42.75 %

FLOOR AREA RATIO (PER FLOOR LEVEL)

BUILDING 1 - F.A.R. (PER FLOOR LEVEL)

BUILDING - FLOOR	AREA (sm)	AREA (sf)	FAR
BLDG1 - 1st FLOOR			
UNIT 101	79.3 m²	854.1 ft²	0.098
UNIT 102	80.9 m²	870.6 ft²	0.100
UNIT 201	7.0 m²	75.5 ft²	0.009
UNIT 202	7.0 m²	75.5 ft²	0.009
UNIT 203	5.5 m²	59.3 ft²	0.007
	179.8 m²	1935.0 ft²	0.222
BLDG1 - 2nd FLOOR			
UNIT 201	60.2 m²	648.2 ft²	0.074
UNIT 202	59.1 m²	635.7 ft²	0.073
UNIT 203	60.0 m²	645.4 ft²	0.074
	179.2 m²	1929.2 ft²	0.221
BLDG1 - 3rd FLOOR			
UNIT 201	64.7 m²	696.7 ft²	0.080
UNIT 202	52.3 m²	563.3 ft²	0.065
UNIT 203	64.4 m²	693.4 ft²	0.080
	181.5 m²	1953.3 ft²	0.224
BLDG1- ROOF DECK			
UNIT 201	1.7 m²	17.9 ft²	0.002
UNIT 203	1.7 m²	17.9 ft²	0.002
	3.3 m²	35.8 ft²	0.004
FAR TOTAL	543.8 m²	5853.4 ft²	0.672

BUILDING 2 - F.A.R. (PER FLOOR LEVEL)

BUILDING - FLOOR	AREA (sm)	AREA (sf)	FAR
BLDG2 - 1st FLOOR			
UNIT 103	113.9 m²	1226.4 ft²	0.141
UNIT 104	41.8 m²	450.2 ft²	0.052
UNIT 204	5.3 m²	56.8 ft²	0.007
UNIT 205	5.3 m²	56.7 ft²	0.007
	166.3 m²	1790.2 ft²	0.205
BLDG2 - 2nd FLOOR			
UNIT 104	44.9 m²	483.3 ft²	0.055
UNIT 204	63.0 m²	678.4 ft²	0.078
UNIT 205	62.1 m²	668.1 ft²	0.077
	170.0 m²	1829.7 ft²	0.210
BLDG2 - 3rd FLOOR			
UNIT 104	47.7 m²	513.8 ft²	0.059
UNIT 204	66.7 m²	717.7 ft²	0.082
UNIT 205	54.0 m²	581.3 ft²	0.067
	168.4 m²	1812.9 ft²	0.208
BLDG2 - ROOF DECK			
UNIT 104	1.6 m²	17.2 ft²	0.002
UNIT 204	1.4 m²	15.6 ft²	0.002
	3.0 m²	32.8 ft²	0.004
FAR TOTAL	507.8 m²	5465.6 ft²	0.627

FLOOR AREA RATIO (PER UNIT)

BUILDING 1 - F.A.R. (PER UNIT)

Level	AREA (sm)	AREA (sf)	FAR
UNIT 101			
BLDG1 - 1st FLOOR	79.3 m²	854.1 ft²	0.098
	79.3 m²	854.1 ft²	0.098
UNIT 102			
BLDG1 - 1st FLOOR	80.9 m²	870.6 ft²	0.100
	80.9 m²	870.6 ft²	0.100
UNIT 201			
BLDG1 - 1st FLOOR	7.0 m²	75.5 ft²	0.009
BLDG1 - 2nd FLOOR	60.2 m²	648.2 ft²	0.074
BLDG1 - 3rd FLOOR	64.7 m²	696.7 ft²	0.080
BLDG1- ROOF DECK	1.7 m²	17.9 ft²	0.002
	133.6 m²	1438.3 ft²	0.165
UNIT 202			
BLDG1 - 1st FLOOR	7.0 m²	75.5 ft²	0.009
BLDG1 - 2nd FLOOR	59.1 m²	635.7 ft²	0.073
BLDG1 - 3rd FLOOR	52.3 m²	563.3 ft²	0.065
	118.4 m²	1274.4 ft²	0.146
UNIT 203			
BLDG1 - 1st FLOOR	5.5 m²	59.3 ft²	0.007
BLDG1 - 2nd FLOOR	60.0 m²	645.4 ft²	0.074
BLDG1 - 3rd FLOOR	64.4 m²	693.4 ft²	0.080
BLDG1- ROOF DECK	1.7 m²	17.9 ft²	0.002
	131.6 m²	1416.0 ft²	0.163
FAR TOTAL	543.8 m²	5853.4 ft²	0.672

BUILDING 2 - F.A.R. (PER UNIT)

Level	AREA (sm)	AREA (sf)	FAR
UNIT 103			
BLDG2 - 1st FLOOR	113.9 m²	1226.4 ft²	0.141
	113.9 m²	1226.4 ft²	0.141
UNIT 104			
BLDG2 - 1st FLOOR	41.8 m²	450.2 ft²	0.052
BLDG2 - 2nd FLOOR	44.9 m²	483.3 ft²	0.055
BLDG2 - 3rd FLOOR	47.7 m²	513.8 ft²	0.059
BLDG2 - ROOF DECK	1.6 m²	17.2 ft²	0.002
	136.1 m²	1464.5 ft²	0.168
UNIT 204			
BLDG2 - 1st FLOOR	5.3 m²	56.8 ft²	0.007
BLDG2 - 2nd FLOOR	63.0 m²	678.4 ft²	0.078
BLDG2 - 3rd FLOOR	66.7 m²	717.7 ft²	0.082
BLDG2 - ROOF DECK	1.4 m²	15.6 ft²	0.002
	136.4 m²	1468.5 ft²	0.169
UNIT 205			
BLDG2 - 1st FLOOR	5.3 m²	56.7 ft²	0.007
BLDG2 - 2nd FLOOR	62.1 m²	668.1 ft²	0.077
BLDG2 - 3rd FLOOR	54.0 m²	581.3 ft²	0.067
	121.3 m²	1306.2 ft²	0.150
FAR TOTAL	507.8 m²	5465.6 ft²	0.627

TOTAL FAR AREA OF BUILDING 1 & 2 = 543.8 + 507.8 = 1051.6 m^2
TOTAL FAR OF BUILDING 1 & 2 = 0.672 + 0.627 = 1.299

NUMBER OF ADAPTABLE UNITS = 2 UNITS.
EXCLUDE 2.0 m^2 PER EACH ADAPTABLE DWELLING UNIT
2 UNITS x 2.0 m^2 = 4.0 m^2 DEDUCTION.

1051.6 m^2 - 4.0 m^2 = 1047.6 m^2

FINAL FAR = $\frac{1047.6\ m^2}{809.5\ m^2}$ = 1.294

24			16			8			Project Name	Project Address	Sheet Name	Sheet No.	SIGN & SEAL	These plans are **COPYRIGHTED** and **ALL RIGHTS ARE RESERVED**. The reproduction of these plans in any form, in part or as a whole is strictly prohibited. This plan and design are, and at all times remain the exclusive property of **MARA + NATHA ARCHITECTURE LTD.** and may not be reproduced without written consent.

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23			15			7			9 UNIT TOWNHOME DEVELOPMENT	2222 CLARKE STREET PORT MOODY, B.C.	PROJECT DATA	A105			
22			14			6						Project No. 210905			
21			13			5									
20			12			4									
19			11			3						Start of Project SEPTEMBER 2021			
18			10			2	FIRE ACCESS PLAN	NOV 25 2021							
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021							

PROPOSED 9 UNIT TOWNHOME DEVELOPMENT

OFF STREET PARKING

OFF STREET PARKING			
UNIT	# ROOMS	STALLS PER UNIT	REQ. STALLS
101	2 BED (ACCESSIBLE)	1.5	1.5
102	2 BED (ACCESSIBLE)	1.5	1.5
103	2 BED + DEN	1.5	1.5
104	3 BED + DEN	2	2
201	2 BED + DEN	1.5	1.5
202	2 BED	1.5	1.5
203	2 BED + DEN	1.5	1.5
204	2 BED + DEN	1.5	1.5
205	2 BED	1.5	1.5
TOTAL REQUIRED STALLS			14

REQUIRED NUMBER OF PARKING STALLS = 14 STALLS

PROVIDED NUMBER OF PARKING STALLS = 13 STALLS
+ 2 ACCESSIBLE STALLS
= **15 STALLS PROVIDED**

VISITOR PARKING			
UNIT	# ROOMS	VISITOR PER UNIT	# VISITOR STALLS
101	2 BED (ACCESSIBLE)	0.2	0.2
102	2 BED (ACCESSIBLE)	0.2	0.2
103	2 BED + DEN	0.2	0.2
104	3 BED + DEN	0.2	0.2
201	2 BED + DEN	0.2	0.2
202	2 BED	0.2	0.2
203	2 BED + DEN	0.2	0.2
204	2 BED + DEN	0.2	0.2
205	2 BED	0.2	0.2
TOTAL REQUIRED STALLS			1.8

REQUIRED NUMBER OF VISITOR STALLS = 2 STALLS

PROVIDED NUMBER OF VISITOR STALLS = 2 STALLS

ELECTRIC VEHICLE (EV) CHARGING STATION ROUGH-INs = 100%

PROVIDED TOTAL NUMBER OF PARKING STALLS = 2 + 15 = 17 STALLS

BICYCLE PARKING

LONG TERM BICYCLE PARKING					
STORAGE	**TYPE**	**BICYC. PER UNIT**	**UNIT COUNT**	**REQ. BICYC.PARKING**	**PROVIDED**
BICYCLE STORAGE	VERTICAL STORAGE	2	9	18	18

REQUIRED NUMBER OF LONG TERM BICYCLE PARKING = 18

PROVIDED NUMBER OF LONG TERM BICYCLE PARKING = 18

PROVIDED NUMBER OF SHORT TERM BICYCLE PARKING = 6 (AT GROUND LEVEL)

UNIT SUMMARY

UNIT SCHEDULE (DRYWALL TO DRYWALL)			
UNIT NUMBER	# ROOMS	AREA (sm)	AREA (sf)
UNIT			
101	2 BED (ACCESSIBLE)	73.1 m²	786.7 ft²
102	2 BED (ACCESSIBLE)	74.1 m²	797.4 ft²
103	2 BED + DEN	104.8 m²	1127.8 ft²
104	3 BED + DEN	121.2 m²	1304.2 ft²
201	2 BED + DEN	119.9 m²	1290.8 ft²
202	2 BED	108.7 m²	1170.6 ft²
203	2 BED + DEN	117.8 m²	1268.3 ft²
204	2 BED + DEN	122.8 m²	1321.8 ft²
205	2 BED	111.1 m²	1195.6 ft²
UNIT		953.5 m²	10263.2 ft²
ROOF DECK			
104	PRIVATE	15.1 m²	162.6 ft²
201	PRIVATE	21.7 m²	233.4 ft²
203	PRIVATE	22.2 m²	238.7 ft²
204	PRIVATE	19.4 m²	208.8 ft²
ROOF DECK		78.4 m²	843.5 ft²
DECK			
202	PRIVATE	10.0 m²	107.8 ft²
205	PRIVATE	10.6 m²	114.1 ft²
DECK		20.6 m²	221.9 ft²
TOTAL AREA		1052.5 m²	11328.6 ft²

TOTAL UNIT COUNT = 9 UNITS

AMENITY SPACE

AMENITY				
UNIT NO.	TYPE	COMMON / PRIVATE	AREA (sm)	AREA (sf)
(GROUND)	AMENITY	COMMON	65.1 m²	700.8 ft²
COMMON			65.1 m²	700.8 ft²
104	ROOF DECK	PRIVATE	15.1 m²	162.6 ft²
201	ROOF DECK	PRIVATE	21.7 m²	233.4 ft²
202	DECK	PRIVATE	10.0 m²	107.8 ft²
203	ROOF DECK	PRIVATE	22.2 m²	238.7 ft²
204	ROOF DECK	PRIVATE	19.4 m²	208.8 ft²
205	DECK	PRIVATE	10.6 m²	114.1 ft²
PRIVATE			99.0 m²	1065.4 ft²
TOTAL AREA: 7			164.1 m²	1766.2 ft²

REQUIRED AMENITY AREA = No. UNITS x 5.0 m^2 per UNIT = 9 x 5 = 45.0 m^2

PROVIDED COMMON AMENITY AREA @ GROUND LEVEL = 65.1 m^2

PROVIDED PRIVATE AMENITY AREA @ ROOF DECK = 99.0 m^2

PROVIDED TOTAL AREA OF AMENITY SPACES = 164.1 m^2

UNITS WITHOUT PRIVATE ROOF DECKS TO SHARE THE COMMON AMENITY AREA.

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20			12			4											
19			11			3											
18			10			2	FIRE ACCESS PLAN	NOV 25 2021									
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021									

Project Name: 9 UNIT TOWNHOME DEVELOPMENT

Project Address: 2222 CLARKE STREET PORT MOODY, B.C.

Sheet Name: PROJECT DATA - CONTINUED

Sheet No.: A106

Project No.: 210905

Start of Project: SEPTEMBER 2021

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1 **AXO - 1 - EAST CORNER OF CLARKE STREET**

24			16			8																	
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21			13			5																	
20			12			4																	
19			11			3																	
18			10			2	FIRE ACCESS PLAN	NOV 25 2021															
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021															

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
3D VIEW - 1

Sheet No.
A107

Project No.
210905

Start of Project
SEPTEMBER 2021

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1 AXO - 2 - WEST CORNER OF CLARKE STREET

24			16			8																	
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21			13			5																	
20			12			4																	
19			11			3																	
18			10			2	FIRE ACCESS PLAN	NOV 25 2021															
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021															

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
3D VIEW - 2

Sheet No.
A108

Project No.
210905

Start of Project
SEPTEMBER 2021

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1 AXO - 3 - WEST CORNER OF VINTNER STREET

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23			15			7			9 UNIT TOWNHOME DEVELOPMENT	2222 CLARKE STREET PORT MOODY, B.C.	3D VIEW - 3	A109			
22			14			6									
21			13			5						Project No. 210905		It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepencies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	202 - 2414 St Johns Street,Port Moody B.C. V3H 2B1
20			12			4									O: 604. 420-2233
19			11			3									C: 604. 970-8413
18			10			2	FIRE ACCESS PLAN	NOV 25 2021				Start of Project SEPTEMBER 2021	SIGN & SEAL		Email: rob@maraarch.com
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021							Web: www.maraarch.com
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1 AXO - 4 - EAST CORNER OF VINTNER STREET

24			16			8					
23			15			7					
22			14			6					
21			13			5					
20			12			4					
19			11			3					
18			10			2	FIRE ACCESS PLAN	NOV 25 2021			
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021			

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET PORT MOODY, B.C.

Sheet Name
3D VIEW - 4

Sheet No.
A110

Project No.
210905

Start of Project
SEPTEMBER 2021

SIGN & SEAL

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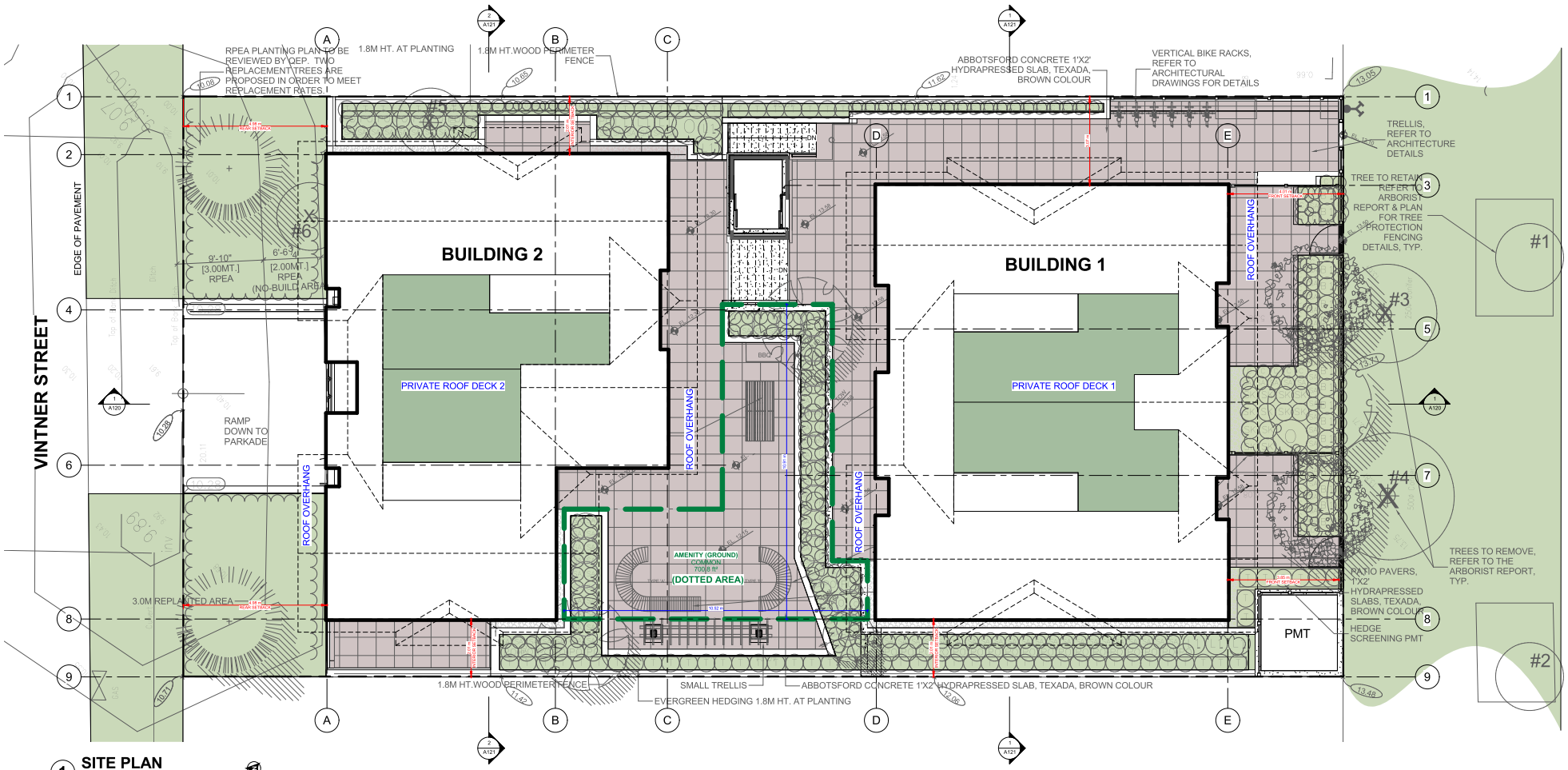

1 **SITE PLAN**
3/16" = 1'-0"

24				16				8															
23				15				7															
22				14				6															
21				13				5															
20				12				4															
19				11				3															
18				10				2	FIRE ACCESS PLAN	NOV 25 2021													
17				9				1	ISSUED FOR DP SUBMISSION	NOV 3 2021													

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
SITE PLAN

Sheet No.
A111

Project No.
210905

Start of Project
SEPTEMBER 2021

SIGN & SEAL

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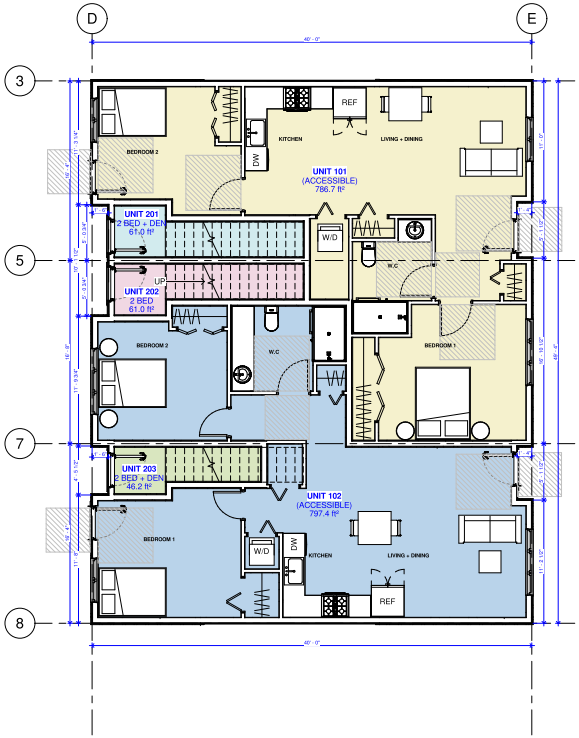
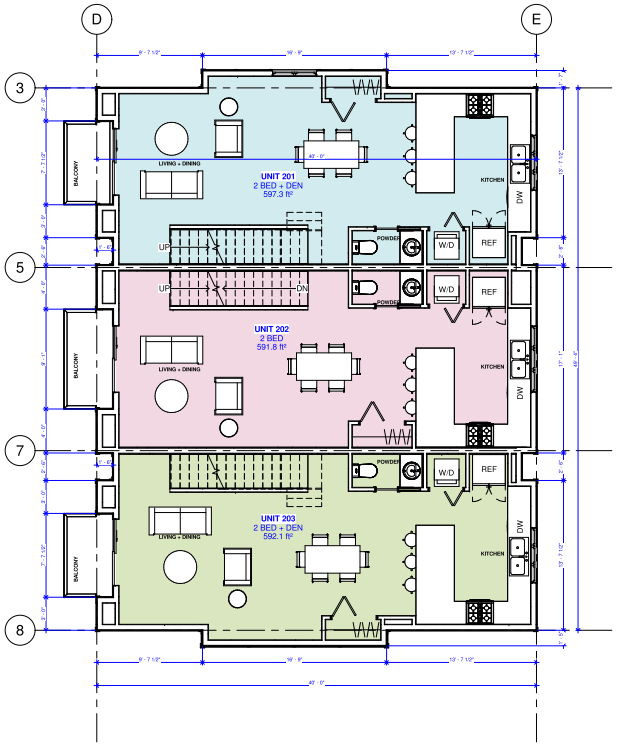
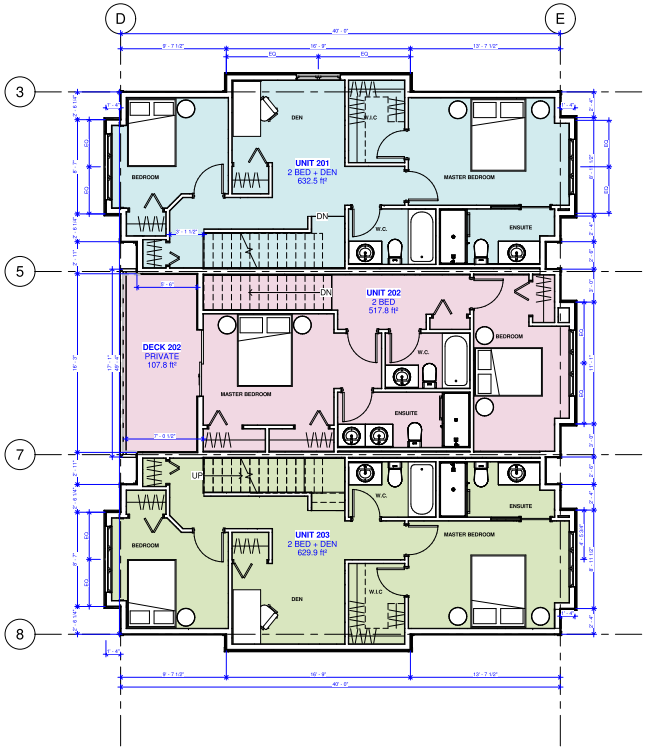


1 **BLDG1 - 1st FLOOR**
3/16" = 1'-0"



2 **BLDG1 - 2nd FLOOR**
3/16" = 1'-0"



3 **BLDG1 - 3rd FLOOR**
3/16" = 1'-0"

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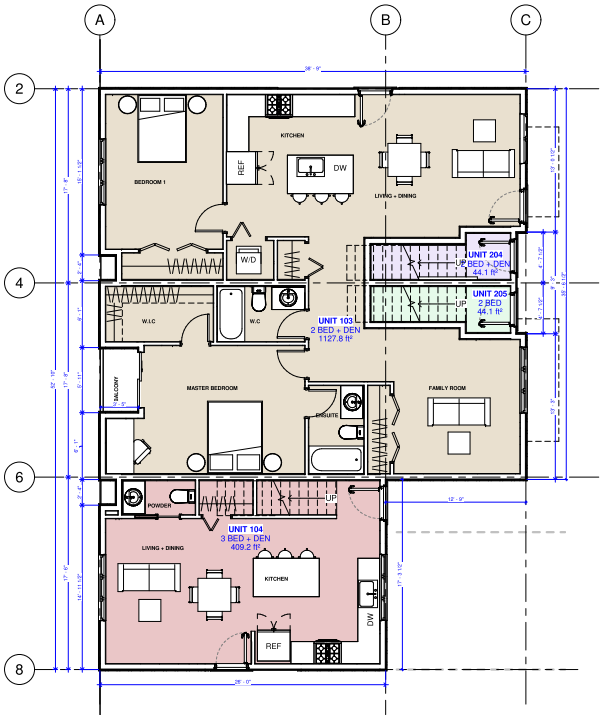
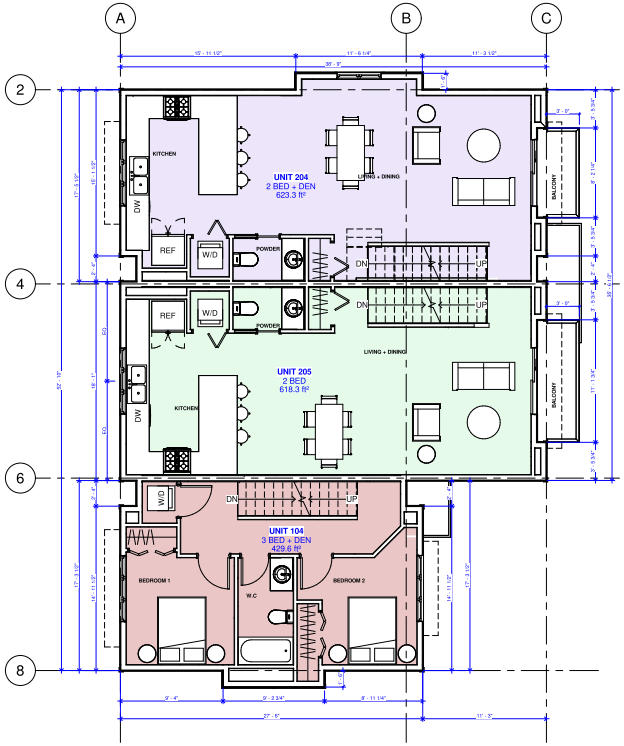
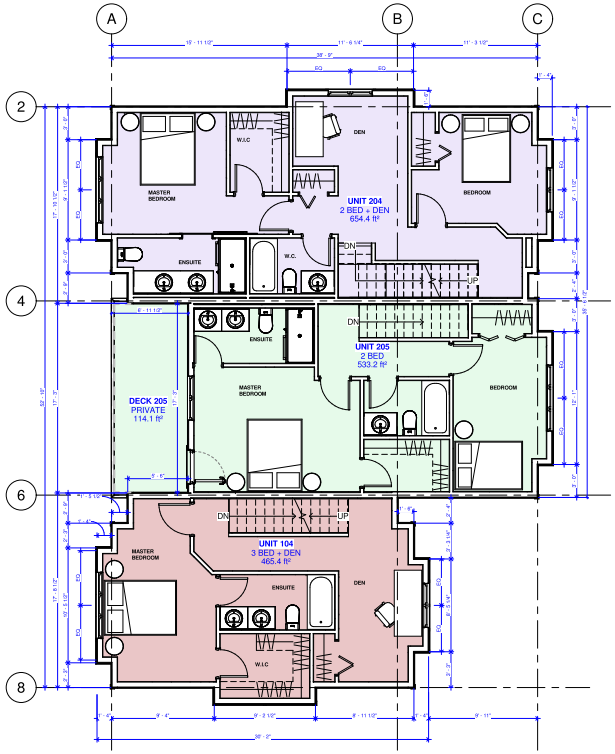
22			14			6						Project No. 210905		It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepancies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
21			13			5									C: 604. 970-8413
20			12			4						Start of Project SEPTEMBER 2021	SIGN & SEAL		Email: rob@maraarch.com
19			11			3									Web: www.maraarch.com
18			10			2	FIRE ACCESS PLAN	NOV 25 2021							AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021							



3 **BLDG2 - 1st FLOOR**
3/16" = 1'-0"



1 **BLDG2 - 2nd FLOOR**
3/16" = 1'-0"



2 **BLDG2 - 3rd FLOOR**
3/16" = 1'-0"

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23			15			7			9 UNIT TOWNHOME DEVELOPMENT	2222 CLARKE STREET PORT MOODY, B.C.	BLDG 2 - FLOOR PLAN	A113			202 - 2414 St Johns Street,Port Moody B.C. V3H 2B1
22			14			6						Project No. 210905		It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepancies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
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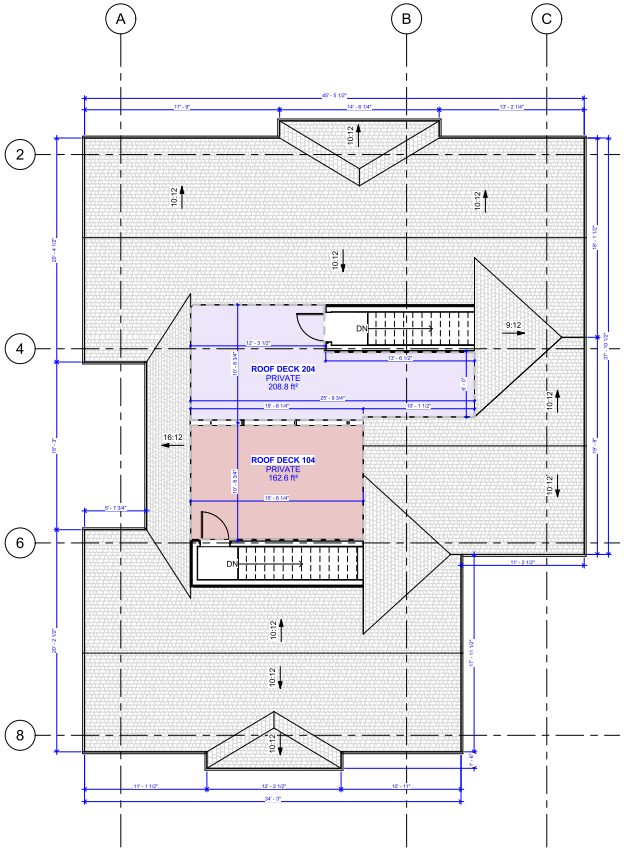
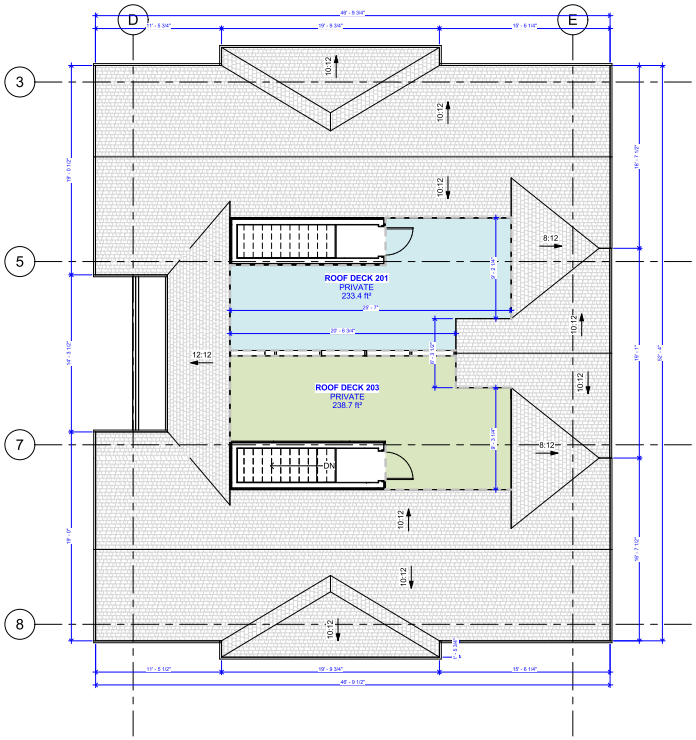
20			12			4						Start of Project SEPTEMBER 2021			Email: rob@maraarch.com
19			11			3									Web: www.maraarch.com
18			10			2	FIRE ACCESS PLAN	NOV 25 2021					SIGN & SEAL		AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021							



2 BLDG2 - ROOF DECK
3/16" = 1'-0"



1 BLDG1- ROOF DECK
3/16" = 1'-0"

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22			14			6						Project No. 210905		O: 604. 420-2233
21			13			5								C: 604. 970-8413
20			12			4						Start of Project SEPTEMBER 2021	SIGN & SEAL	Email: rob@maraarch.com
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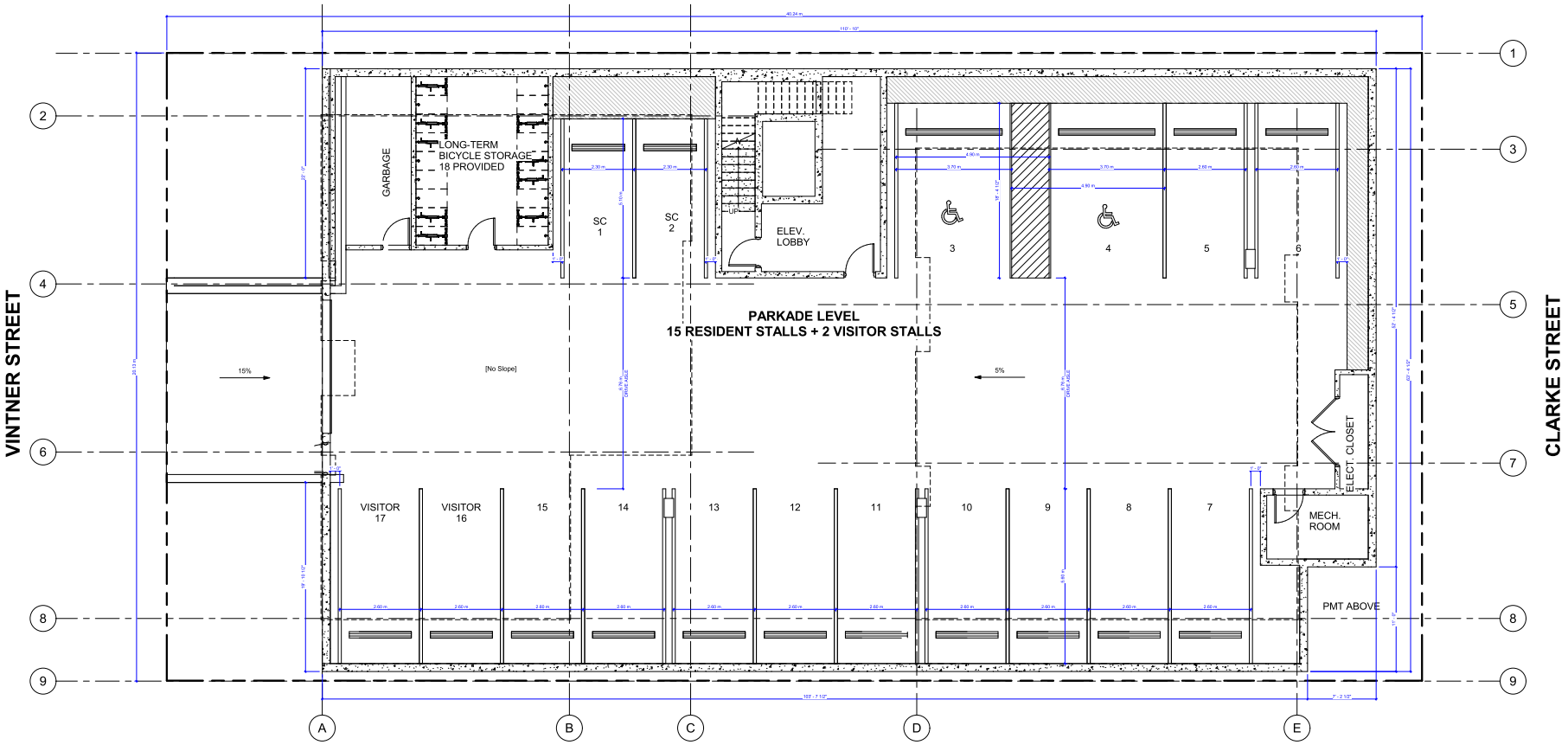
18			10			2	FIRE ACCESS PLAN	NOV 25 2021						AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021						



1 **0 - PARKADE**
3/16" = 1'-0"

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22			14			6						Project No. 210905		It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepancies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
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20			12			4						Start of Project SEPTEMBER 2021	SIGN & SEAL		Email: rob@maraarch.com
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18			10			2	FIRE ACCESS PLAN	NOV 25 2021							AIBC, AAA, SAA
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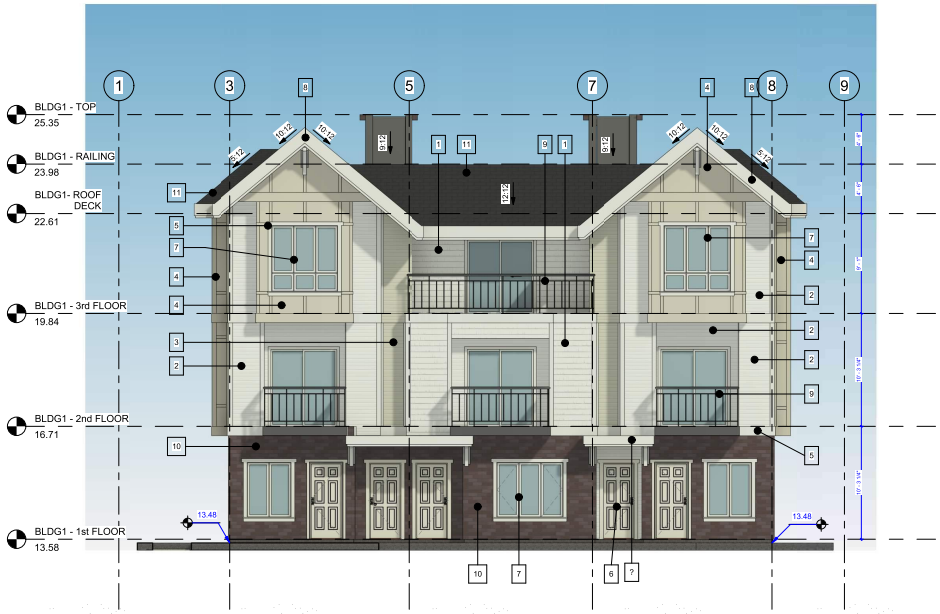
1 BLDG1 - SOUTH
3/16" = 1'-0"



2 BLDG1 - NORTH
3/16" = 1'-0"

FINISH SCHEDULE

1. James Hardie - Shingle Siding Colour : Arctic White	**4. James Hardie - Board & Batten** Colour : Navajo Beige	**7. Vinyl Windows** Colour : White	**10. Endicott Thin Brick** Colour : Sierra Iron Spot Size : 3-5/8" X 0-5/8"
2. James Hardie - Siding Colour : Arctic White	**5. Trims** Colour : To match siding colours	**8. Fascia** Colour : Arctic White	**11. IKO Cambridge - Asphalt Shingle** Colour : Dual Black
3. James Hardie - Siding Colour : Navajo Beige	**6. Doors** Colour : Arctic White	**9. Aluminum Railings** Finish : Powder coated Colour : Benjamin Moore Grey 2120-10 (Jet Black)	

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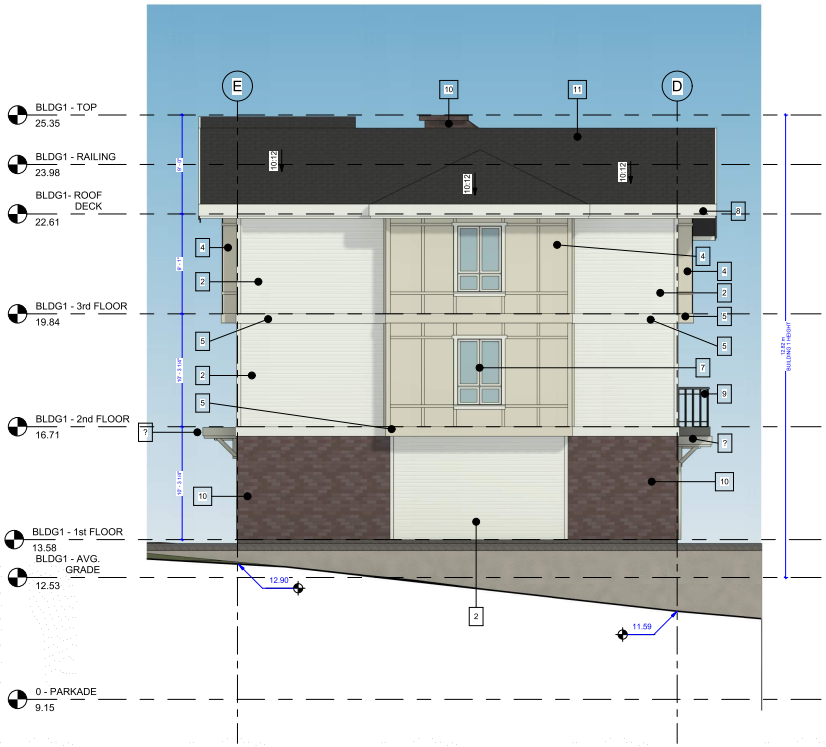
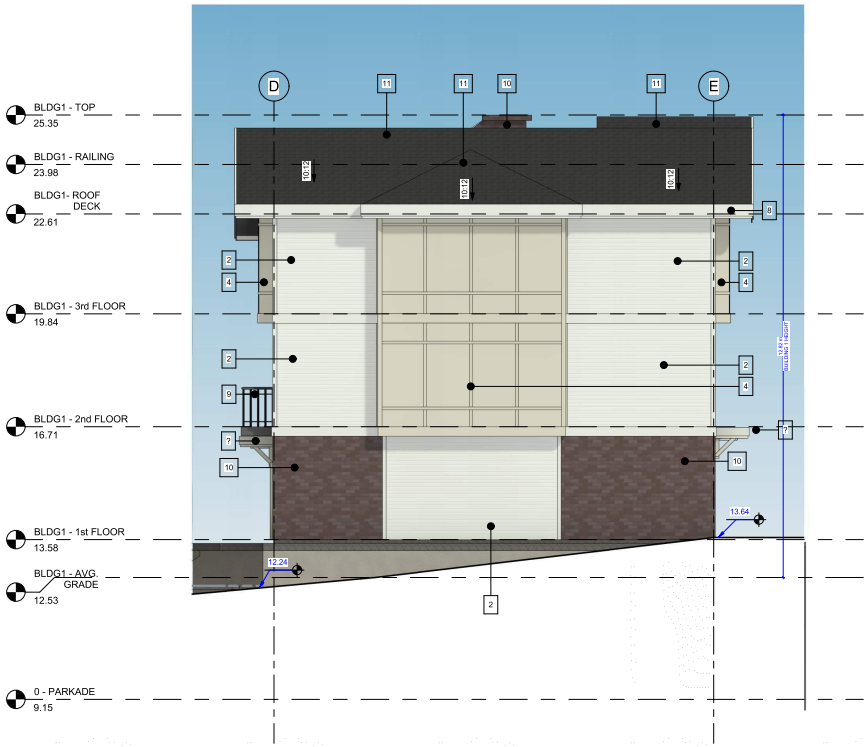
22			14			6						Project No. 210905	It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepencies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
21			13			5								C: 604. 970-8413
20			12			4						Start of Project SEPTEMBER 2021		Email: rob@maraarch.com
19			11			3								Web: www.maraarch.com
18			10			2	FIRE ACCESS PLAN	NOV 25 2021					SIGN & SEAL	AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021						



1 **BLDG1 - EAST**
3/16" = 1'-0"



2 **BLDG1 - WEST**
3/16" = 1'-0"

FINISH SCHEDULE

1. James Hardie - Shingle Siding Colour : Arctic White	**4. James Hardie - Board & Batten** Colour : Navajo Beige	**7. Vinyl Windows** Colour : White	**10. Endicott Thin Brick** Colour : Sienna Iron Spot Size : 3-5/8" X 0-5/8"
2. James Hardie - Siding Colour : Arctic White	**5. Trims** Colour : To match siding colours	**8. Fascia** Colour : Arctic White	**11. IKO Cambridge - Asphalt Shingle** Colour : Dual Black
3. James Hardie - Siding Colour : Navajo Beige	**6. Doors** Colour : Arctic White	**9. Aluminum Railings** Finish : Powder coated Colour : Benjamin Moore Grey 2120-10 (Jet Black)	

24			16			8			Project Name	Project Address	Sheet Name	Sheet No.	These plans are **COPYRIGHTED** and **ALL RIGHTS ARE RESERVED**. The reproduction of these plans in any form, in part or as a whole is strictly prohibited. This plan and design are, and at all times remain the exclusive property of **MARA + NATHA ARCHITECTURE LTD.** and may not be reproduced without written consent.	MARA + NATHA ARCHITECTURE LTD.
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22			14			6						Project No. 210905	It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepancies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
21			13			5								C: 604. 970-8413
20			12			4						Start of Project SEPTEMBER 2021		Email: rob@maraarch.com
19			11			3							SIGN & SEAL	Web: www.maraarch.com
18			10			2	FIRE ACCESS PLAN	NOV 25 2021						AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021						

1 **BLDG2 - SOUTH**
3/16" = 1'-0"

2 **BLDG2 - NORTH**
3/16" = 1'-0"

FINISH SCHEDULE

1. James Hardie - Shingle Siding Colour : Arctic White	**4. James Hardie - Board & Batten** Colour : Navajo Beige	**7. Vinyl Windows** Colour : White	**10. Endicott Thin Brick** Colour : Sienna Iron Spot Size : 3-5/8" X 0-5/8"
2. James Hardie - Siding Colour : Arctic White	**5. Trims** Colour : To match siding colours	**8. Fascia** Colour : Arctic White	**11. IKO Cambridge - Asphalt Shingle** Colour : Dual Black
3. James Hardie - Siding Colour : Navajo Beige	**6. Doors** Colour : Arctic White	**9. Aluminum Railings** Finish : Powder coated Colour : Benjamin Moore Grey 2120-10 (Jet Black)	

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22			14			6						Project No. 210905	It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepencies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
21			13			5								C: 604. 970-8413
20			12			4						Start of Project SEPTEMBER 2021	SIGN & SEAL	Email: rob@maraarch.com
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18			10			2	FIRE ACCESS PLAN	NOV 25 2021						AIBC, AAA, SAA
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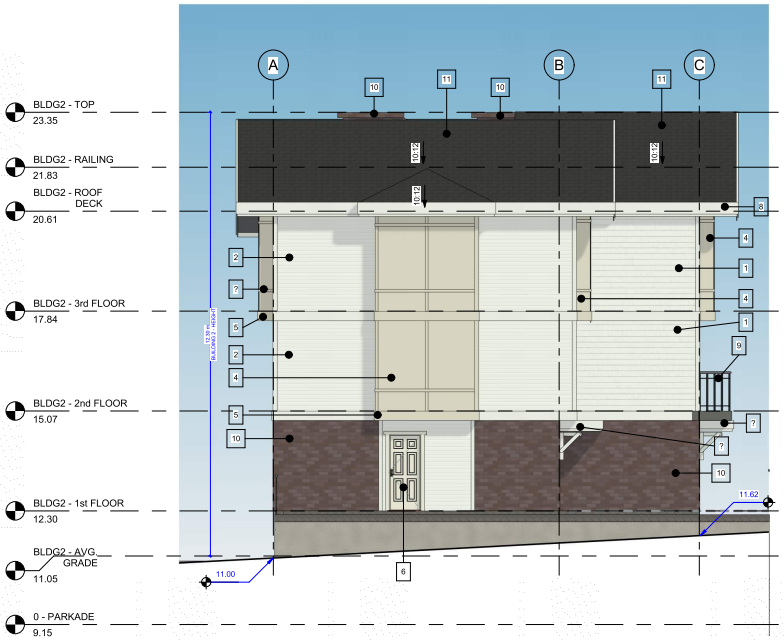
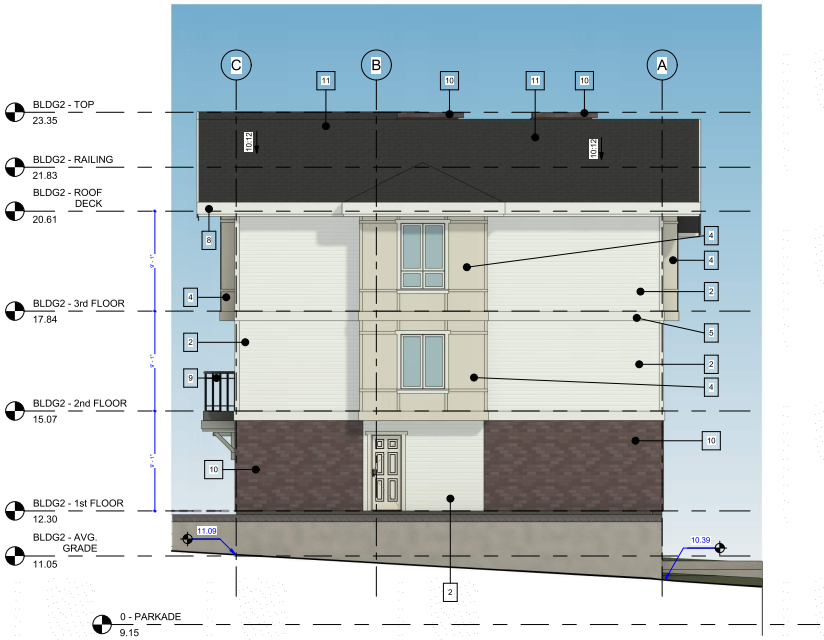


1 **BLDG2 - WEST**
3/16" = 1'-0"



2 **BLDG2 - EAST**
3/16" = 1'-0"

FINISH SCHEDULE

1. James Hardie - Shingle Siding Colour : Arctic White	**4. James Hardie - Board & Batten** Colour : Navajo Beige	**7. Vinyl Windows** Colour : White	**10. Endicott Thin Brick** Colour : Sienna Iron Spot Size : 3-5/8" X 0-5/8"
2. James Hardie - Siding Colour : Arctic White	**5. Trims** Colour : To match siding colours	**8. Fascia** Colour : Arctic White	**11. IKO Cambridge - Asphalt Shingle** Colour : Dual Black
3. James Hardie - Siding Colour : Navajo Beige	**6. Doors** Colour : Arctic White	**9. Aluminum Railings** Finish : Powder coated Colour : Benjamin Moore Grey 2120-10 (Jet Black)	

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22			14			6						Project No. 210905	It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepencies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	O: 604. 420-2233
21			13			5								C: 604. 970-8413
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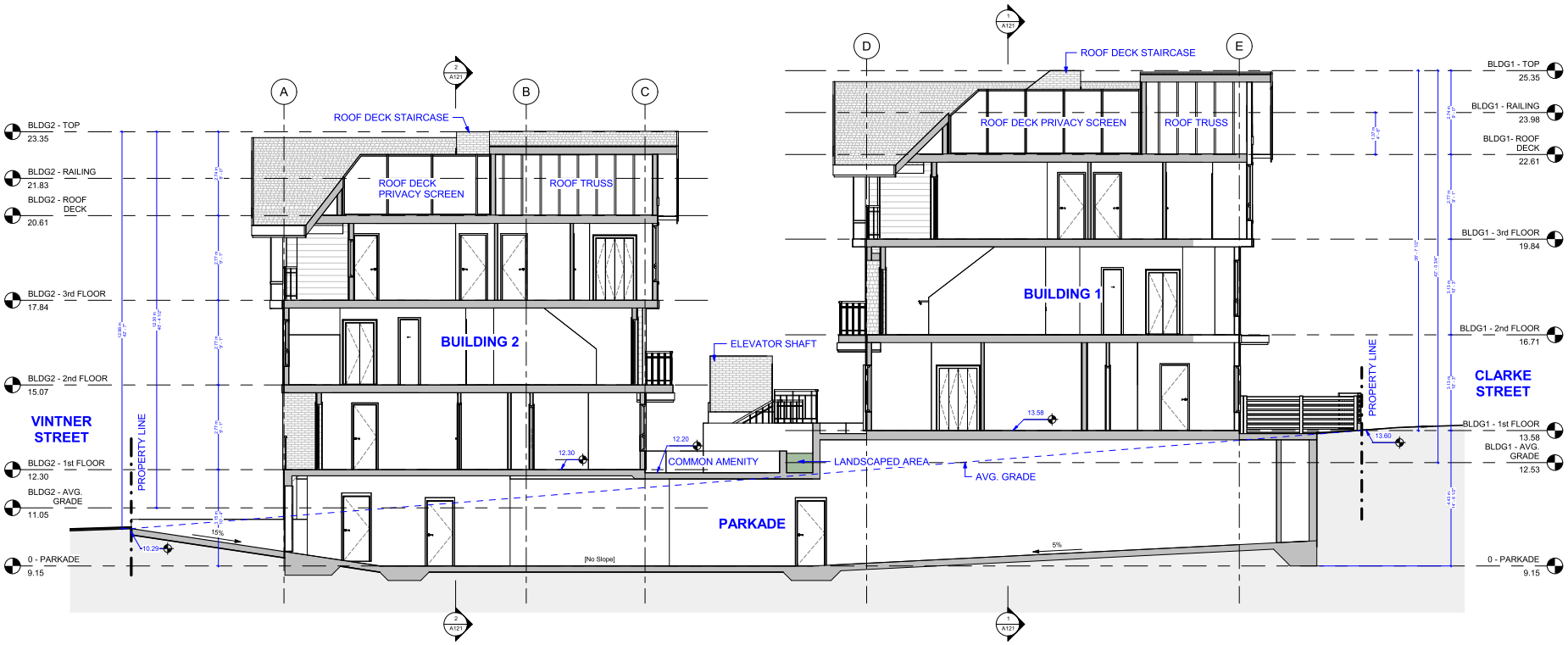
19			11			3							SIGN & SEAL	Web: www.maraarch.com
18			10			2	FIRE ACCESS PLAN	NOV 25 2021						AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021						



1 **SECTION - 1**
3/16" = 1'-0"

24			16			8																	
23			15			7																	
22			14			6																	
21			13			5																	
20			12			4																	
19			11			3																	
18			10			2	FIRE ACCESS PLAN	NOV 25 2021															
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021															

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
BUILDING SECTION - 1

Sheet No.
A120

Project No.
210905

Start of Project
SEPTEMBER 2021

SIGN & SEAL

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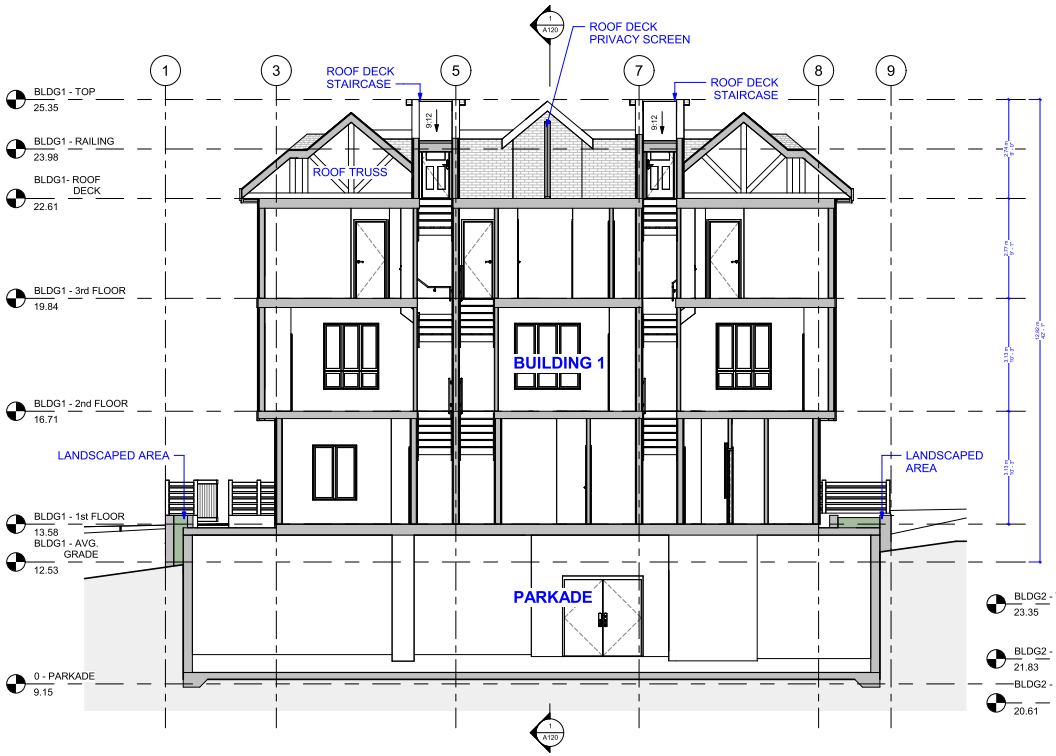
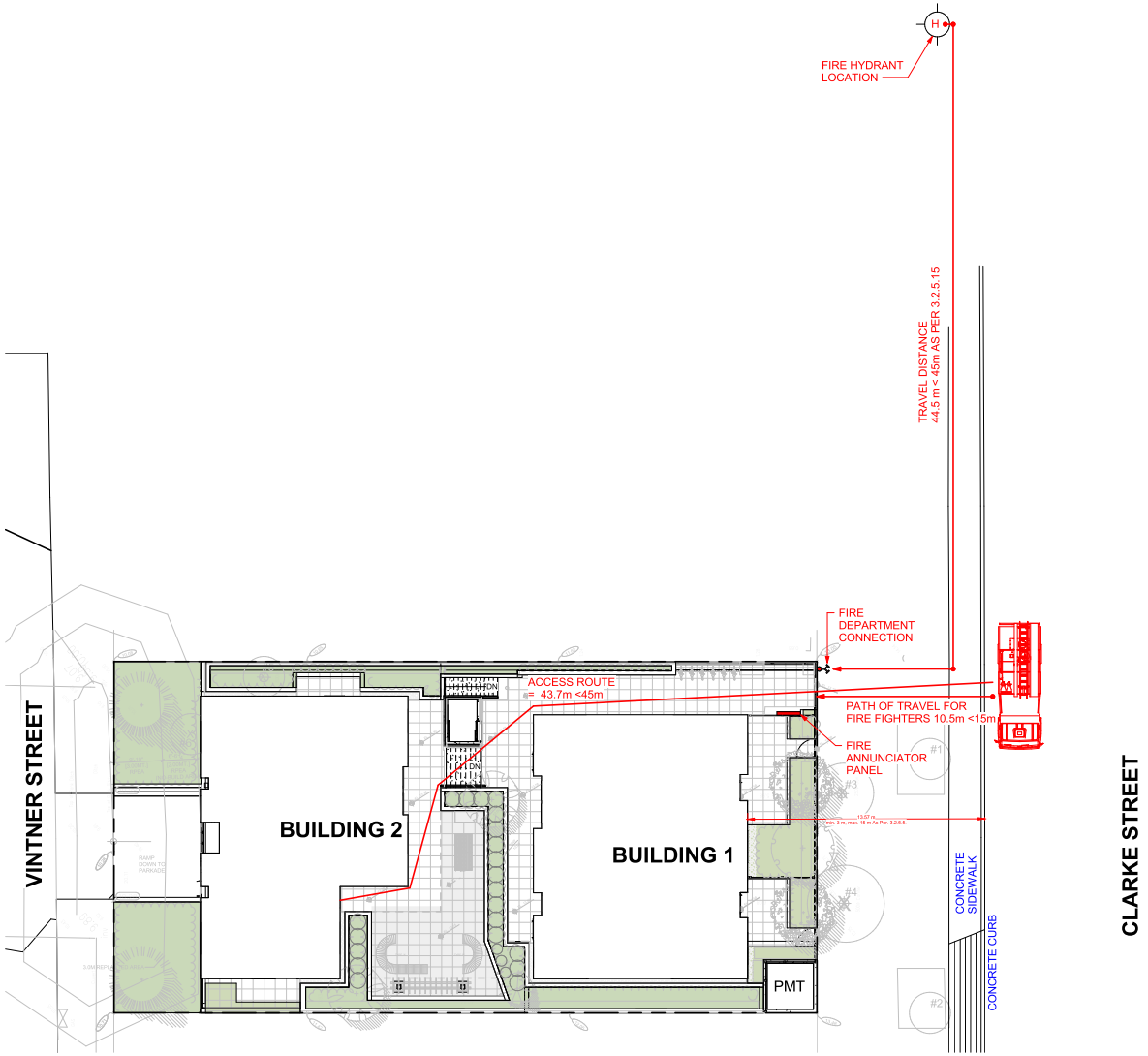
O: 604. 420-2233
C: 604. 970-8413
Email: rob@maraarch.com
Web: www.maraarch.com
AIBC, AAA, SAA



1 **SECTION - 2**
3/16" = 1'-0"

2 **SECTION - 3**
3/16" = 1'-0"

24			16			8			Project Name	Project Address	Sheet Name	Sheet No.	These plans are **COPYRIGHTED** and **ALL RIGHTS ARE RESERVED**. The reproduction of these plans in any form, in part or as a whole is strictly prohibited. This plan and design are, and at all times remain the exclusive property of **MARA + NATHA ARCHITECTURE LTD.** and may not be reproduced without written consent.	MARA + NATHA ARCHITECTURE LTD.
23			15			7			9 UNIT TOWNHOME DEVELOPMENT	2222 CLARKE STREET PORT MOODY, B.C.	BUILDING SECTION - 2	A121		202 - 2414 St Johns Street,Port Moody B.C. V3H 2B1
22			14			6						Project No. 210905		O: 604. 420-2233
21			13			5							It is the responsibility of the Owner and General Contractor to verify all dimensions and site conditions prior to commencement of work and they shall notify the architect of any errors, omissions or discrepancies. Any work completed without architect's knowledge will be the full responsibility of the Owner and General Contractor.	C: 604. 970-8413
20			12			4						Start of Project SEPTEMBER 2021		Email: rob@maraarch.com
19			11			3								Web: www.maraarch.com
18			10			2	FIRE ACCESS PLAN	NOV 25 2021					SIGN & SEAL	AIBC, AAA, SAA
17			9			1	ISSUED FOR DP SUBMISSION	NOV 3 2021						



1 **FIRE ACCESS PLAN**
3/32" = 1'-0"

Revision Schdule

No	Description	Date
24		
23		
22		
21		
20		
19		
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4		
3		
2	FIRE ACCESS PLAN	NOV 25 2021
1	ISSUED FOR DP SUBMISSION	NOV 3 2021

Project Name
9 UNIT TOWNHOME DEVELOPMENT

Project Address
2222 CLARKE STREET
PORT MOODY, B.C.

Sheet Name
FIRE ACCESS PLAN

Sheet No.
A122

Project No.
210905

Start of Project
SEPTEMBER 2021

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