



City of Port Moody

Report/Recommendation to Council

Date: May 12, 2021
Submitted by: Community Development Department – Development Planning Division
Subject: Rezoning (Mixed Use) – 2025 St. Johns Street (Marcon)

Purpose

To present for consideration of first and second reading a Zoning Amendment Bylaw for a six-storey mixed-use development, with 680m² (7,329ft²) of commercial space, 242 residential units, and the dedication of 1,234.7m² (13,291ft²) of riparian area (South Schoolhouse Creek) to the City.

Recommended Resolution(s)

THAT City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 54, 2021, No. 3315 (2025 St. Johns Street) (CD85) be read a first time as recommended in the report dated May 12, 2021 from the Community Development Department – Development Planning Division regarding Rezoning (Mixed Use) – 2025 St. Johns Street (Marcon);

AND THAT City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 54, 2021, No. 3315 (2025 St. Johns Street) (CD85) be read a second time;

AND THAT City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 54, 2021, No. 3315 (2025 St. Johns Street) (CD85) be referred to a Public Hearing.

Executive Summary

A rezoning application was submitted by Marcon for the property at 2025 St. Johns Street in September 2019. A location map of the site is included as **Attachment 1**. The application was first reviewed at Community Planning Advisory Committee (CPAC) in November 2019 and by Council at a Committee of the Whole (COTW) meeting in June 2020. In response to staff comments and input from Council and CPAC, an updated proposal was submitted, which includes a number of substantial changes from the original proposal. The changes are summarized in the following table:

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PLAN ELEMENT	INITIAL SUBMISSION	REVISED SUBMISSION	CHANGE
Riparian Protection and Enhancement Area (RPEA)	RPEA setback per the Zoning Bylaw	RPEA setback per the Zoning Bylaw and dedication of that 1,234.7m ² (13,291ft ²) to the City	RPEA dedication
Riparian Transition Area (RTA)	70m ² of encroachment for parkade, balconies, and patios	70m ² of encroachment for parkade	Above grade encroachment for balconies and patios removed
Total Below Market Rental	0	4 (20% below market) in perpetuity	+4 units
Total Market Rental	22 for 20 years	20 for 20 years	-2 units
Commercial Floor Area	743m ² (8,000ft ²)	680m ² (7,329ft ²) due to requested changes in grading on the street frontage	- 63m ²
Parking Spaces	322 spaces compared to the Zoning Bylaw requirement of 330	333 spaces compared to the Zoning Bylaw requirement of 330	+11 spaces

In addition to the above noted changes, there have also been changes to the building design on the corner of St. Johns Street and Albert Street, in order to make that corner more of a feature. As part of this, the standalone art piece has been eliminated in favour of a more significant installation on the building façade (St. Johns Street frontage).

On balance, the project has sought to address concerns and comments raised as part of the initial staff review and the review by CPAC and Council at COTW, including:

- the dedication of a Riparian Protection and Enhancement Area (RPEA) area, which exceeds the 15m Zoning Bylaw requirement, to the City as park. The additional 220m² (2,306ft²) of RPEA will be within the area that would typically be part of the Riparian Transition Area (RTA), with the classification of it as RPEA providing greater protection. This RPEA area to be dedicated totals 1,234.7m² (13,291ft²) and includes portions of the channel and northern bank of South Schoolhouse Creek;
- changes to the above-grade conditions within the proposed Riparian Transition Area (RTA) encroachment, result in the encroachment now being limited to an underground structure for a 70m² (753ft²) portion of the below-grade parkade. Though of a limited benefit biologically, there will be no further encroachments above grade for the building, projections and patios;
- the overall number of rental units has been increased from 22 to 24. This component now includes four below market-rental units in perpetuity, with rents 20% below CMHC averages for the Tri-Cities. The market rental units will remain for rental for a period of 20 years; and
- parking will meet and exceed the overall Zoning Bylaw requirement; and

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- the amount of commercial space has been reduced slightly from 743m² (8,000ft²) to 680m² (7,329ft²) due to changes made to the grading on the street frontage. The amount of commercial space proposed for this project is based on consideration of the viability of such space at this location.

Consideration of the above items as well as other details of the proposal are discussed in more detail in the main body of the report below. In order to accommodate the land dedication component, a Comprehensive Development (CD) Zone rather than a standard Mixed-Use (CRM) zones is being used. The draft CD Rezoning Bylaw is included as **Attachment 2**. On the basis of the changes made to the proposal as part of this resubmission, staff recommend first and second reading of the related rezoning Bylaw and referral to a Public Hearing.

Background

The following are the key milestones in the development review process to date:

- the application was accepted on September 19, 2019;
- CPAC consideration of the application took place on November 5, 2019;
- a Community Information Meeting was held on February 13, 2020; and
- Early Input was provided at COTW on June 16, 2020.

At the above referenced meeting, CPAC passed the following resolution:

CPAC19/016

THAT staff and the applicant consider the comments provided during the Community Planning Advisory Committee meeting held on November 5, 2019 regarding the proposed project presented in the report dated October 28, 2019 from the Planning and Development Department – Development Planning Division regarding 2025 St. Johns Street.

AND THAT the Chair of the Community Planning Advisory Committee prepare a report addressing each of the specific items identified by CPAC at its 5 November 2019 meeting concerning this proposal and that the Chair present this report to Council at the Council Meeting in which this proposal will be brought forward for consideration.

Attachment 3 provides an excerpt of the CPAC minutes.

At the above referenced meeting, COTW passed the following resolution:

CW20/061

THAT staff and the applicant consider the comments provided during the Committee of the Whole meeting held on June 16, 2020, regarding the rezoning application presented in the report dated April 28, 2020, from the Planning and Development Department - Development Planning Division regarding Early Input - Rezoning Application (Mixed-Use) - 2025 St. Johns Street (Marcon Albert (GP) Ltd.).

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If this report's recommendations are supported by Council, the next steps will be:

- Public Hearing followed by consideration of third reading;
- drafting of and Council Consideration of Housing Agreement Bylaw;
- detailed design review for Development Permit; and
- Adoption of Bylaws (Rezoning and Housing Agreement) and issuance of Development Permits (form and character and environmentally sensitive areas).

Discussion

Property Description and Neighbourhood Context

The subject site at 2025 St. Johns Street, as shown on the Location Plan (**Attachment 1**), is approximately 8,088.1m² (97,059ft²) in area and has significant grade changes on the western portion of the site, before more gradually sloping down towards the northeast corner of the property. South Schoolhouse Creek runs through the southeast portion of the property. The subject property is currently vacant, but was the site of the former Barnet Hotel.

The OCP designates the subject lands as Mixed Use – Moody Centre; the site is also part of the Westport Evergreen Line Sub-Area, which permits commercial and residential development of up to six storeys in height. The site is located within Development Permit Area 2:

Moody Centre, which regulates the form and character of multi-family residential developments. The site is also located within Development Permit Area 4: Environmentally Sensitive Areas related to South Schoolhouse Creek and an Environmentally Sensitive Area located on the western portion of the property. The subject lots are presently zoned Automobile Sales and Leasing (C5), with a site-specific allowance for a Licensee (liquor) Retail Store on the subject property.

Surrounding development includes:

- North: Medium Density Townhouse Residential (RM4) lots developed as three-storey apartment buildings and Automobile Sales and Leasing (C5) occupied by Craftsman Collision. These properties are respectively designated Multi-Family Residential and Mixed Use – Moody Centre in the OCP;
- East: Single Detached Residential (RS1) lots, including a vacant lot and a lot developed with a single-family home. These properties are respectively designated Multi-Family Residential and Single-Family Low Density in the OCP;
- South: Undeveloped, forested land zoned Civic Institutional (P1) with South Schoolhouse Creek running through the properties and Port Moody Secondary School beyond that to the south. These properties are designated Single-Family Low Density in the OCP; and
- West: Formerly, Single Detached Residential (RS1) lots that were also designated Mixed Use – Moody Centre in the OCP. As part of an application by Bold Properties, these lots were recently re-designated to Multi-Family Residential, as that project included no commercial space, and rezoned to Six-Storey Apartment Residential (RM8) for a six-storey multi-family project.

The OCP, Zoning designation, and Environmentally Sensitive Area maps are included as **Attachments 4, 5, and 6**.

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The development proposal consists of:

- six-storey mixed-use building over an underground parkade;
- Floor Area Ratio of 2.24 before land dedication and 2.64 following dedication;
- a total of 242 residential units, with a unit mix of 119 studio units, 49 one-bedroom units, 70 two-bedroom units, and four three-bedroom units;
- 20 market rental units, secured for a period of 20 years, and four (20% below market) rental units secured in perpetuity;
- 680m² (7,329ft²) of commercial space, located at the northeast corner of the development.
- 333 vehicle parking spaces compared to the Zoning Bylaw requirement of 330 and 376 bicycle parking spaces compared to the required 364;
- a public art component, with a proposed budget of \$200,000, that is incorporated within the building façade on the St. Johns Street frontage;
- 942.8m² (10,148ft²) of outdoor amenity space and 222.7m² (2,397ft²) of indoor amenity space;
- the project will target Step Code 3 or Step Code 2 with a low carbon energy system; and
- protection and restoration of the South Schoolhouse Creek riparian area, with the RPEA portion consisting of 1,234.7m² (13,291ft²) being dedicated to the City as park and rezoned to Civic Institutional (P1). The RTA and also High Value Environmentally Sensitive Area (i.e. mixed forest) will also be enhanced and protected via covenant. The requested variance for the 70m² (753ft²) portion of RTA, will be incorporated as part of the setbacks, within the CD Bylaw (**Attachment 2**).

The applicant is proposing to rezone the subject site from Automobile Sales and Leasing (C5) to Comprehensive Development Zone 85 (CD85) and Civic Institutional (P1) for the South Schoolhouse Creek RPEA portion of land that is to be dedicated to the City. Reduced architectural plans and landscape plans are included as **Attachment 7** and **8**, and the Draft Rezoning (CD) Bylaw as **Attachment 2**.

Key Considerations

This proposal is brought forward for consideration of first and second reading. The key project elements for Council consideration at this time are:

- the current building locations/setbacks in relation to South Schoolhouse Creek;
- the affordable housing component of the project; and
- the commercial component proposed for the project.

These three key items are expanded on below:

South Schoolhouse Creek and RPEA dedication

A significant element of the proposal is the enhancement of the portion of the site that lies within the setback area of South Schoolhouse Creek, which was previously significantly impacted by the former Barnet Hotel. South Schoolhouse Creek provides habitat connectivity from the marine foreshore to upland forested areas and is an important stream for salmon. Significant investment has been made by all levels of government to protect and enhance this creek,

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including riparian area protection, instream fish habitat enhancement, and ongoing efforts of local stewardship groups to enhance resident fish populations. The Zoning Bylaw setback for South Schoolhouse Creek requires a 20-metre Riparian Management Zone measured from the top of bank, which includes:

- a 15m RPEA, a 'no touch/no build' area that should not be impacted by any construction-related activities (apart from enhancement work); and
- a 5m RTA, an area where certain features or activities may be permitted, including construction-related activities (e.g., work zones), landscaping, stormwater management, and trails.

The proposal is requesting a setback variance to the RTA for a 70m² (753ft²) portion of the parkade at the southwest corner of Building 2 (South). A map detailing the current condition and proposed condition is included in **Attachment 9**. This map illustrates: the current site condition, which includes asphalt/concrete covering an extensive area of the RPEA and RTA; and the proposed condition which shows the 70m² (753ft²) encroachment area for the parkade and would see the enhancement of the RPEA and the RTA areas.

Since the application was reviewed by CPAC and COTW, the application has been amended in order that the below-grade parkade is now the only portion of the building that encroaches into the RTA. Above-grade encroachments for patios and projections (balconies and roof overhangs) have been eliminated. Significantly, the application now proposes an RPEA portion of the site, consisting of 1,234.7m² (13,291ft²), that will be dedicated to the City as park, securing its long-term protection. The proposed RPEA portion now extends beyond the 15m Zoning Bylaw requirement, to include an additional 220m² (2,306ft²) of RPEA within the area that would typically be part of the RTA. This additional RPEA portion is seen as a positive element as its classification provides greater protection than that of the RTA. The ESA portions of the site to the west will also be enhanced and, along with the RTA, will be protected by an associated covenant. Based on the above, staff are supportive of this element of the project and the variance for 70m² (753ft²) encroachment into the RTA, which is reflected in the setbacks set out in the CD Bylaw (**Attachment 2**).

The dedication of the South Schoolhouse Creek RPEA land to the City has implications for the overall FAR of the development, which is 2.24 before land dedication and 2.64 following dedication. For this reason, a CD zone is being proposed as the applicable CRM2 zone has a maximum FAR of 2.5. It is noted that densities over 2.5 in the Zoning Bylaw are typically subject to a density bonus, however, per the bylaw, *"the City may, at its option, elect to accept all or any portion of the amenity contribution to be received for the density bonus in the form of amenities that are identified in or consistent with the goals and objectives set out in the City's Official Community Plan"*. Further to this, the OCP specifically identifies environmental enhancements as one such amenity. Given the dedication of the RPEA and related enhancement and restoration of the RPEA, RTA, and ESA areas on the site, staff feel that this meets the intent of the Zoning Bylaw and OCP policy, meaning that the project would not be subject to any density bonus requirements, as reflected in the CD Bylaw (**Attachment 2**).

In addition, the proponent is pursuing Salmon Safe Certification for the project. Salmon Safe provides a third-party verification that the project is being designed and built in accordance with

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environmentally friendly management practices that minimize impacts on water quality and aquatic biodiversity.

Affordable Housing options

The application pre-dated the March 2020 Interim Affordable Housing Policy, which would have requested 15% of the units to be below market rental housing. Previously, the project did not include any designated affordable housing options. The updated proposal designates 24 of the units as rental, which amounts to 10% of total units. Moreover, this includes four below-market rental homes, secured in perpetuity, with rents 20% below CMHC averages for the Tri-Cities. The 20 market-rental units are proposed to be secured only for a period of 20 years. The addition of the proposed below market and market rental housing offers a diversification of the housing options in the project, though it is noted that, on a number of recent projects, Council has expressed a desire to have such units secured in perpetuity. Generally, securing units in perpetuity is the recommended approach. Details of this component will be established through a Housing Agreement Bylaw.

Commercial Space

The project includes 680m² (7,329ft²) of commercial space, located at the northeast corner of the development, representing approximately 4% of the total saleable floor area of the project. The site is designated as Mixed-Use – Moody Centre in the OCP. In reviewing the application, staff have considered the viability of commercial space at this location, and the challenges of the grade changes across the site in terms of including retail fronting both St. Johns Street and Albert Street. Based on this review, it is felt that the corner location is the most viable location for commercial space as part of the development. It is also noted that the Bold Properties development to the west was also designated Mixed-Use – Moody Centre in the OCP and, as part of the redevelopment, the OCP land use designation was changed to Multi-Family Residential with no commercial space being included.

Additional Matters

Transportation

Vehicle access to the site and underground parking is provided from Albert Street. As discussed above, the project conforms with Zoning Bylaw requirements, providing 333 vehicle parking space and 376 bicycle parking spaces. A loading space for the development will be allowed for on the Albert Street frontage, as well as two passenger vehicle-sized loading spaces within the parkade. Frontage improvements will include a Multi-use pathway along St. Johns Street and related public realm improvements, which also include Albert Street, with seating fronting the commercial area and bike racks for short-term bike parking.

Sustainability Report Card

The completed Sustainability Report Card for the development proposal is included as **Attachment 10**, and the following table summarizes the scoring for the current proposal.

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Sustainability Pillar Application	Cultural	Economic	Environmental	Social	Overall Total
2025 St. Johns Street	60% (6.5 out of 11)	54% (8.5 out of 16)	80% (42 out of 53)	57% (21.5 out of 38)	67%

Based on the enhancement of the riparian area adjacent to South Schoolhouse Creek and the on-site ESA, the application scores well in the environmental section of the report card. The current proposal includes a commitment for either Step Code Level 3 or Level 2 with a low-carbon energy system, which meets the City's Corporate Policy for applications received in 2020. In addition, it is noted that the applicant is proposing 20 market-rental units and four below-market rental units. A public art element will be incorporated into the St. Johns Street façade. A limited amount of commercial space will be provided at the corner of St Johns Street and Albert Street. All residential units will have access to a variety of amenity spaces both indoor and outdoor, including rooftop deck amenity spaces.

Concluding Comments

Overall, staff are supportive of the application as proposed. The application conforms with Official Community Plan policies in relation to the properties Mixed-Use – Moody Centre land use designation. The commercial space provided at the corner of St. Johns Street and Albert Street, though proportionally a relatively small element, is seen as justified based on the viability of commercial space at this location and the challenges with grade changes across the rest of the site. Significantly, the project proposes enhancement of the riparian area adjacent to South Schoolhouse Creek, including the dedication of the RPEA area to the City as park, with a relatively small variance request related to the RTA for the below grade parkade. Additionally, from a housing perspective, the application proposes four below market rental units in perpetuity and 20 market rental units. Even though staff recommend that the market rental units be in perpetuity, the application as proposed meets the intent of diversifying housing options in the community.

Other Option(s)

If Council would prefer that the applicant consider substantial changes to the project, staff would suggest limiting the reading of the bylaw to first reading, combined with recommendations that identify specific Council direction.

Financial Implications

Community Amenity Contributions (CACs)

The CAC amount will be established at the development permit stage once the final residential floor area is confirmed and prior to the adoption of the rezoning bylaw. Based on the proposed residential floor area of 16,944.7m² (182,391ft²) at \$6.00/ft², the contribution would be approximately \$1,094,346. Of that total, approximately \$364,782 would be directed to the Affordable Housing Reserve Fund, and the remaining \$729,564 would go towards general community amenities.

Communications and Civic Engagement Initiatives

In accordance with the City's Public and Stakeholder Consultation for Major Development Projects or Area Plans policy, an opportunity for input from the general public and specific stakeholder groups was provided at the community information meeting held on February 12, 2020 at the Old Mill Boathouse from 6:00-8:00pm. Should the application proceed through the approval process, there will be an additional opportunity for community input at a Public Hearing.

Should this rezoning application proceed to a Public Hearing, notices will be sent to adjacent properties within a 140m radius of the site and will be advertised in the local newspaper in accordance with the Development Approval Procedures Bylaw and the *Local Government Act*.

Council Strategic Plan Objectives

The proposal is consistent with the strategic priority of Community Evolution in the 2019-2022 Council Strategic Plan as it relates to the objective of ensuring that future community growth is carefully considered and strategically managed, consistent with the City's Official Community Plan.

Attachment(s)

1. Location Map.
2. Draft Rezoning Bylaw.
3. CPAC Minutes – November 5, 2019.
4. OCP Designation Map.
5. Zoning Map.
6. Environmentally Sensitive Areas Map.
7. Architectural Plans.
8. Landscape Plans.
9. Riparian Area Plan – Current and Proposed.
10. Sustainability Report Card.

Report Author

Kevin Jones, MCIP, RPP
Senior Development Planner

Considered at the Special Council Meeting of June 15, 2021

Report Approval Details

Document Title:	Rezoning (Mixed Use) – 2025 St. Johns Street (Marcon).docx
Attachments:	<ul style="list-style-type: none">- Attachment 1 - Location Map.pdf- Attachment 2- Draft Rezoning Bylaw.pdf- Attachment 3 - CPAC minutes - November 5, 2019.pdf- Attachment 4 - OCP Designation Map.pdf- Attachment 5 - Zoning Map.pdf- Attachment 6 - Environmentally Sensitive Areas Map.pdf- Attachment 7 - Architectural Plans.PDF- Attachment 8 - Landscape Plans.PDF- Attachment 9 - Riparian Area Plan - Current and Proposed.PDF- Attachment 10 - Sustainability Report Card.pdf
Final Approval Date:	Jun 1, 2021

This report and all of its attachments were approved and signed as outlined below:

André Boel, City Planner - May 19, 2021 - 1:15 PM

Kate Zanon, General Manager of Community Development - May 20, 2021 - 8:34 AM

Dorothy Shermer, Corporate Officer - May 27, 2021 - 2:26 PM

Natasha Vander Wal for Rosemary Lodge, Manager of Communications and Engagement - May 27, 2021 - 3:03 PM

Paul Rockwood, General Manager of Finance and Technology - May 30, 2021 - 1:26 PM

Tim Savoie, City Manager - Jun 1, 2021 - 2:11 PM

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LOCATION MAP - 2025 St. Johns Street

 **SUBJECT PROPERTY**





City of Port Moody

Bylaw No. 3315

A Bylaw to amend City of Port Moody Zoning Bylaw, 2018, No. 2937 to facilitate a mixed-use development, including two buildings, one building with commercial uses on the ground floor and residential uses above and one residential building, all over a common underground parking structure at 2025 St. Johns Street.

The Council of the City of Port Moody enacts as follows:

1. Citation

- 1.1 This Bylaw may be cited as "City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 54, 2021, No. 3315 (2025 St. Johns Street) (CD85)".

2. Amendments

- 2.1 City of Port Moody Zoning Bylaw, 2018, No. 2937 is amended by rezoning the following lands from Automobile Sales and Service (C5) to Comprehensive Development Zone 85 (CD85) and Civic Institutional (P1):

Lot 92 District Lot 202 Group 1 New Westminster District Plan 52281
PID: 004-963-539

as shown on the location map in Schedule A of this Bylaw.

- 2.2 City of Port Moody Zoning Bylaw, 2018, No. 2937 is further amended by adding the following section CD85 to Schedule D:

"CD85. Comprehensive Development Zone (CD85)

CD85.1 Intent

The intent of this zone is to facilitate the development of a mixed-use development, including two buildings, one building with commercial uses on the ground floor and residential uses above and one residential building, all over a common underground parking structure. The development allows for a total maximum of 242 residential units and approximately 680m² (7,319ft²) of commercial space.

CD85.2 Permitted Uses

The following uses are permitted in the CD85 Zone:

a) Principal Uses

- (1) Apartment
- (2) Artist Studio – Type A
- (3) Assembly
- (4) Child Care
- (5) Civic
- (6) Commercial Athletic and Recreation
- (7) Community Care
- (8) Entertainment
- (9) Hotel
- (10) Office
- (11) Personal Service
- (12) Restaurant
- (13) Retail Food Service
- (14) Retail
- (15) Townhouse
- (16) Work-Live.

b) Secondary Use

- (1) Home Occupation – Type A.

CD85.3 Conditions of Use

Commercial Uses, as set out in CD85.2(a)(2-16) are only permitted on the ground floor of Building 2 North.

CD85.4 Floor Area Ratio (FAR)

CD85.4.1 The maximum permitted Floor Area Ratio in the CD85 Zone shall not exceed 2.65.

CD85.4.2 Section 7.0 of the Zoning Bylaw shall not apply to this CD zone.

CD85.5 Building Height

Buildings in the CD85 Zone shall not exceed six storeys or 23m, whichever is less.

CD85.6 Setbacks

Minimum setbacks in the CD85 Zone shall be in accordance with the plans included as Schedule B.

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CD85.7 Parking

CD85.7.1 Refer to section 6.0 of this Bylaw for Off-Street Parking Requirements.

CD85.7.2 Refer to section 6.10 of this Bylaw for Bicycle Parking requirements.

CD85.7.3 No on-site loading space will be required.

CD85.8 Landscaping

Refer to section 5.2.10 of this Bylaw for landscaping requirements.

CD85.9 Common Amenity Space

Amenity Spaces in the CD85 Zone shall be in accordance with the following:

- (a) The minimum amount of indoor amenity area is 222m²; and
- (b) The minimum amount of outdoor amenity area is 942m².

3. Attachments and Schedules

3.1 The following schedules are attached to and form part of this Bylaw:

- Schedule A – Location Map.
- Schedule B – Building Setbacks.

4. Severability

4.1 If a portion of this Bylaw is found invalid by a court, it will be severed and the remainder of the Bylaw will remain in effect.

Read a first time this ___ day of ____, 2021.

Read a second time this ___ day of ____, 2021.

Read a third time this ___ day of ____, 2021.

Adopted this ___ day of ____, 2021.

R. Vagramov
Mayor

D. Shermer
Corporate Officer

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I hereby certify that the above is a true copy of Bylaw No. 3315 of the City of Port Moody.

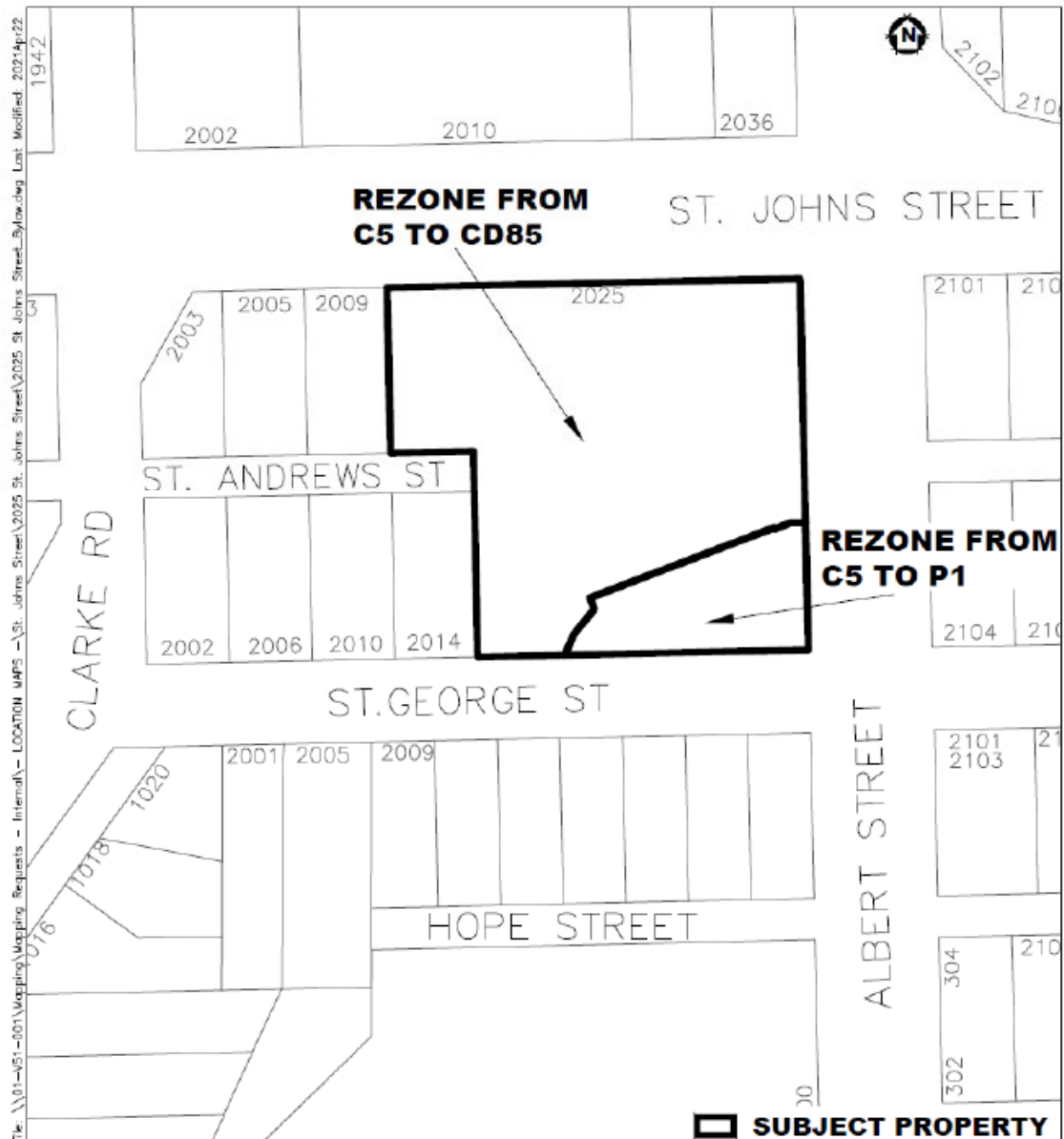
D. Shermer
Corporate Officer

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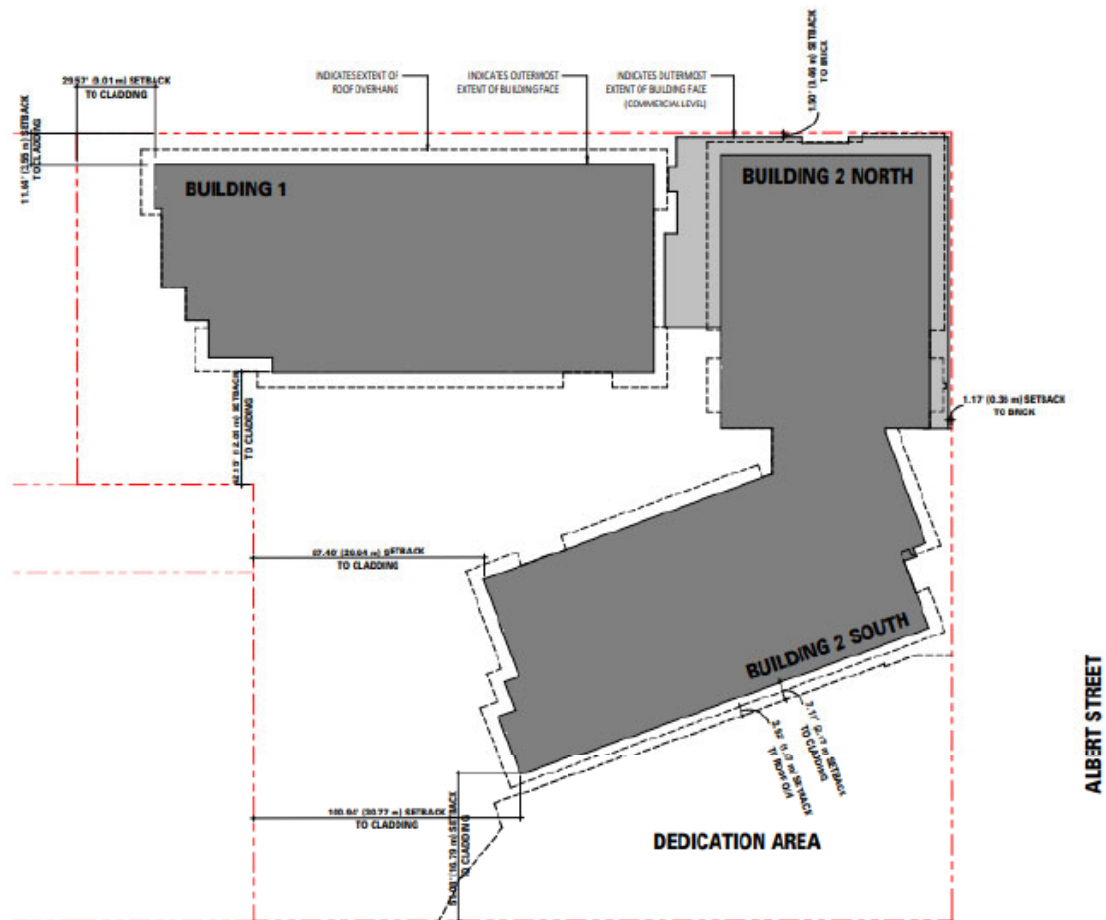
Schedule A – Location Map

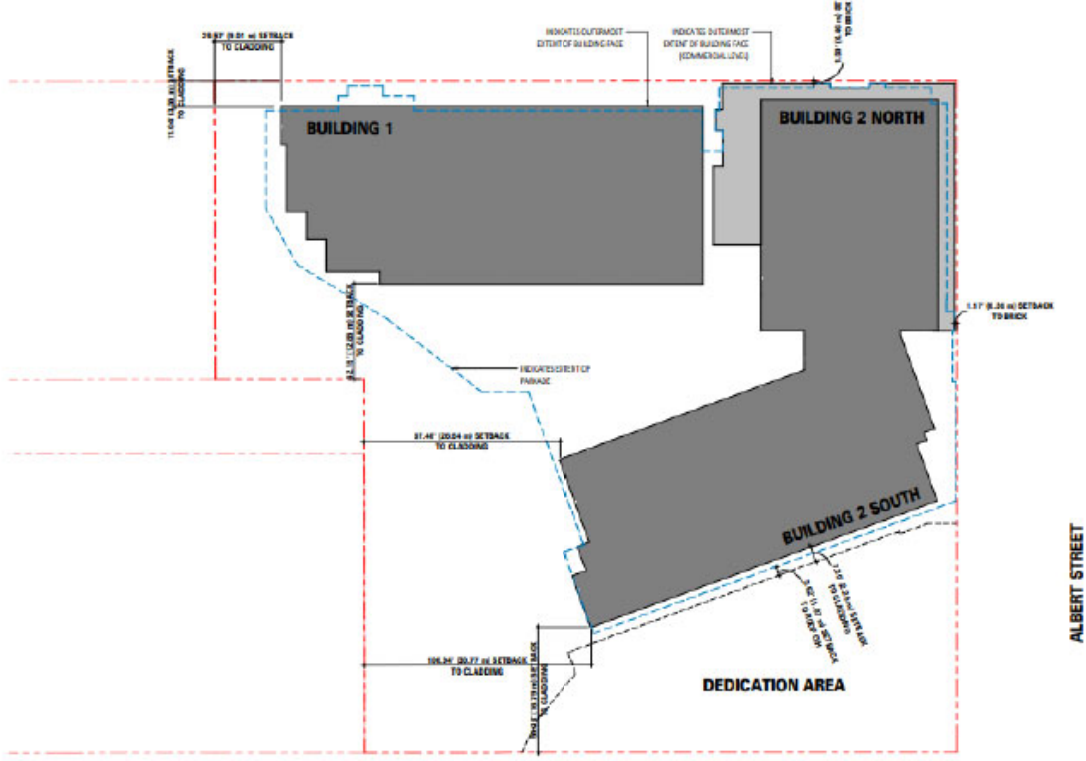
This is a certified true copy of the map referred to in section 2 of City of Port Moody Zoning Bylaw, 2018, No. 2937, Amendment Bylaw No. 54, 2021, No. 3315 (2025 St. Johns Street) (CD85).

Corporate Officer



Schedule B – Building Setbacks







City of Port Moody Minutes Community Planning Advisory Committee

Minutes of the meeting of the Community Planning Advisory Committee held on Tuesday, November 5, 2019 in Council Chambers.

Present

Councillor Meghan Lahti, Chair
Councillor Steven Milani, Vice-Chair
Edward Chan
Melissa Chaun
Greg Elstrand
Patricia Mace
Wilhelmina Martin
Hazel Mason
Ronda McPherson
Callan Morrison
Lydia Mynott

Absent

Mike Bitter (Regrets)
Darquise Desnoyers (Regrets)
Allan Fawley
Severin Wolf (Regrets)

In Attendance

André Boel – General Manager of Planning and Development
Kevin Jones – Senior Planner
Philip Lo – Committee Coordinator

1. Call to Order

The Chair called the meeting to order at 7:09pm

2. Adoption of Minutes

Minutes

2.1 CPAC19/013

Moved, seconded, and CARRIED

THAT the minutes of the Community Planning Advisory Committee meeting held on Tuesday, October 1, 2019 be amended as follows:

- by adding “and concerns were raised regarding the height of the building” under item 4.1 – 148 and 154 James Road; and

- by removing “the landscaping plan outlines irrigation which is not necessary in this climate”, and add “the landscaping plan should include innovative ways to make use of rainwater” under item 4.1 – 148 and 154 James Road.

AND THAT the minutes of the Community Planning Advisory Committee meeting held on Tuesday, October 1, 2019 be adopted as amended.

3. Unfinished Business

4. New Business

2025 St. Johns Street

4.1 Report: Planning and Development Department – Development Planning Division, dated October 28, 2019

The Senior Planner gave a presentation regarding the application for 2025 St. Johns Street, and answered questions regarding estimated job creation figures, parking requirements and potential contributions in lieu, the riparian setback requirements and water quality impact, projected CAC and DCC contributions, and provision of loading and service access.

The Committee provided the following comments to staff:

- if possible, review and minimize the impacts of shadowing in conjunction with adjacent developments;
- ensure the safety of pedestrian traffic around the development;
- consider a separated multi-use path for pedestrians and cyclists;
- work with the Engineering department to determine if there is a need for a pull-in for the bus stop on St. Johns Street; and
- ensure that the water quality in Schoolhouse Creek is maintained.

The proponent gave a presentation on the application, and answered questions regarding the rationale behind the unit mix, including three-bedroom units; provision, type and locations of the rental units; parking ratios and loading space provision; projected employment density; provision of storage space; proposed setback reduction to the riparian transition area; building and parkade height; target demographic; slope stability; pedestrian traffic management, shadow studies, accessibility and adaptability of units, and the size and potential viable uses for the commercial spaces.

The Committee noted the following in discussion:

- the proposed land use is appropriate;
- there will be an overall environmental benefit despite the proposed reduction to the Riparian Transition Area setback, as the riparian area will remain buffered;
- the lack of affordable housing is disappointing; however, the opportunities for first-time buyers can be considered as a form of affordable housing;
- the temporary art installation should be elevated to avoid damage; and
- there are concerns regarding the viability of the proposed retail use;
- early involvement of the artist is commendable; however, Alex Morrison's style may not be representative of Port Moody; the standalone "house" piece may not be suitable or reflective of the city;
- the artistic concept of the project could be developed further, beyond the two standalone pieces and possibly include balcony treatment, façade colouring, and other elements;
- the standalone "house" art piece may be lost in visual competition with the clutter of traffic lights and signage at its proposed location; consider relocating this piece;
- the streetscape should be more dynamic and attractive;
- ~~consider including accessible units~~ consider increasing the number of adaptable and accessible small units;
- consider the provision of a space where used items can be deposited and exchanged;
- the environmental report and planting palette should be further scrutinized to ensure that invasive and aggressive species are not planted and that only trees suitable for the environment are planted;
- the overall design of the project can be more architecturally ambitious as a focal point and entrance to the city; additional building height could achieve this;
- the projected employment density will be dependent on the type of commercial tenants; retail uses would be preferred in order to make it a vibrant retail hub;
- a smaller healthy food vendor could also be a good option for the commercial space, which could serve as a community gathering space;
- a daycare could be a possible usage for the ground floor commercial space, as such spaces are in high demand in the Tri-Cities; and
- comments were made that it was appreciated that the proponent adhered to the current OCP height requirements.

*Amended by resolution
CPAC20/001*

*Amended by resolution
CPAC20/001*

CPAC19/014

Moved, seconded, and CARRIED

THAT the meeting be extended for 15 minutes.

CPAC19/015

Moved and seconded

THAT staff and the applicant consider the comments provided during the Community Planning Advisory Committee meeting held on November 5, 2019 regarding the proposed project presented in the report dated October 28, 2019 from the Planning and Development Department – Development Planning Division regarding 2025 St. Johns Street.

CPAC19/016

Moved, seconded, and CARRIED

THAT the foregoing motion be amended by adding:

“AND THAT the Chair of the Community Planning Advisory Committee prepare a report addressing each of the specific items identified by CPAC at its 5 November 2019 meeting concerning this proposal and that the Chair present this report to Council at the Council Meeting in which this proposal will be brought forward for consideration.”

The question on the main motion (CPAC19/015) as amended (by CPAC19/016) was put to a vote; the following motion was CARRIED:

THAT staff and the applicant consider the comments provided during the Community Planning Advisory Committee meeting held on November 5, 2019 regarding the proposed project presented in the report dated October 28, 2019 from the Planning and Development Department – Development Planning Division regarding 2025 St. Johns Street;

AND THAT the Chair of the Community Planning Advisory Committee prepare a report addressing each of the specific items identified by CPAC at its 5 November 2019 meeting concerning this proposal and that the Chair present this report to Council at the Council Meeting in which this proposal will be brought forward for consideration.

CPAC19/017

Moved, seconded, DEFEATED

THAT the meeting be extended for 15 minutes.

(Voting against: Callan Morrison and Wilhelmina Martin)

**Temporary Use –
Old Fire Hall No. 1
Site**

**4.2 Attachment: Report: Mayor Rob Vagramov, dated
September 20, 2019**

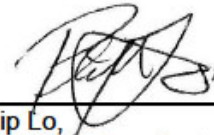
Application Review Criteria	5. Information
	5.1 Memo: General Manager of Planning and Development, dated September 25, 2019 File: 08-3060-01/Vol 01

6. Adjournment

The Chair adjourned the meeting at 9:18pm.



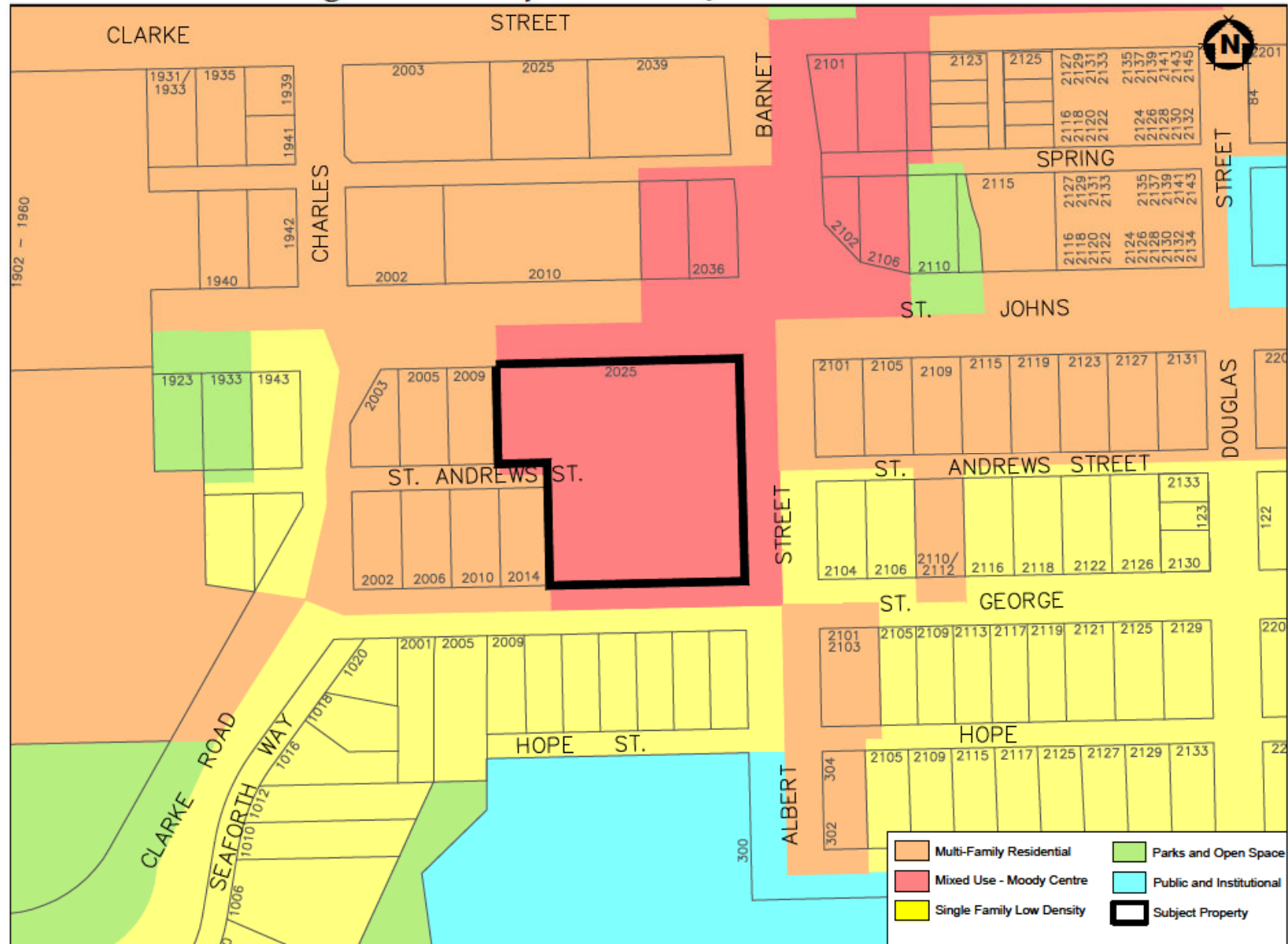
Councillor Meghan Lahti,
Chair



Philip Lo,
Committee Coordinator

Considered at the Special Council Meeting of June 15, 2021

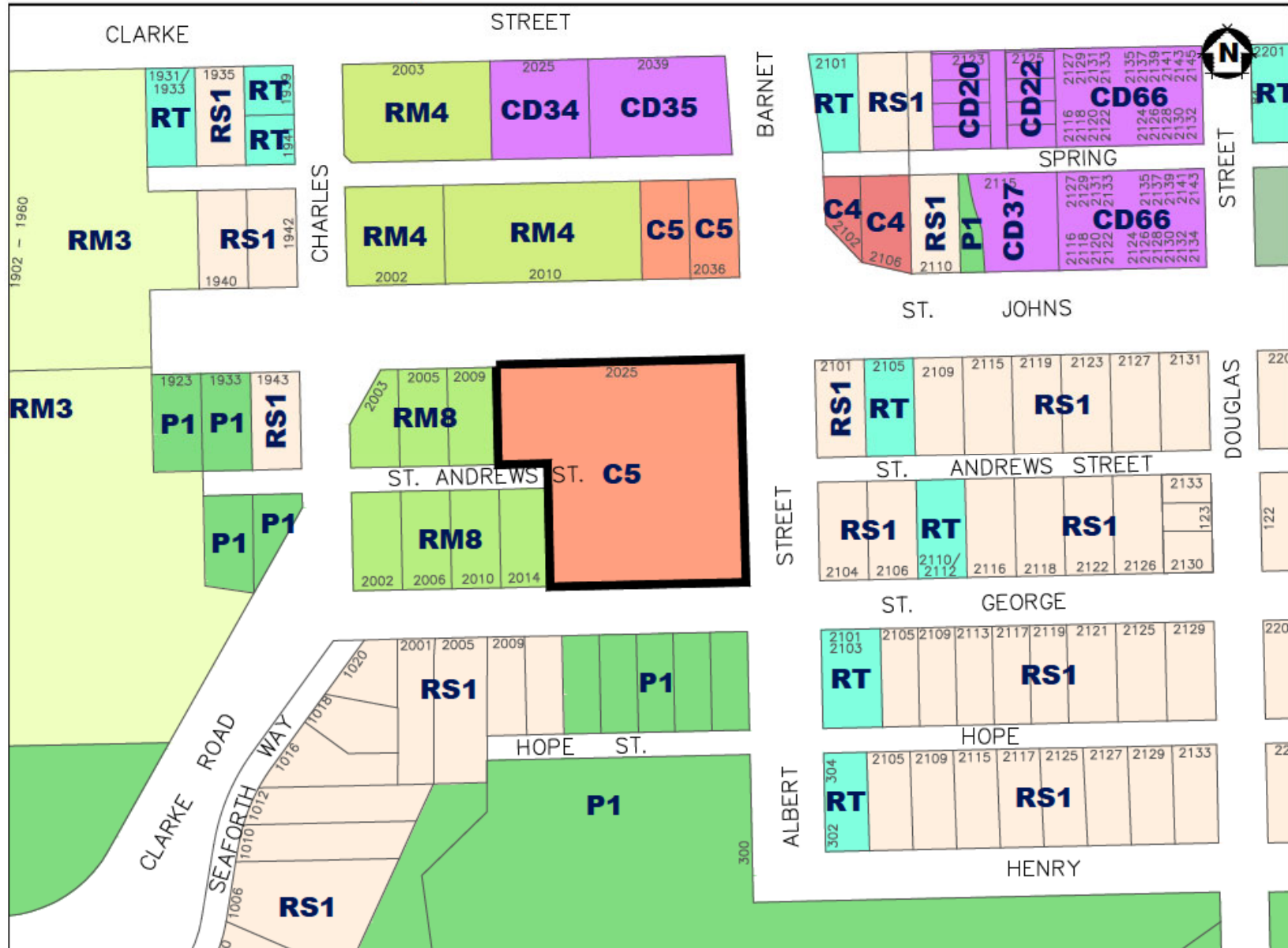
OCP Land Use Designations Map - 2025 St. Johns Street



Considered at the Special Council Meeting of June 15, 2021

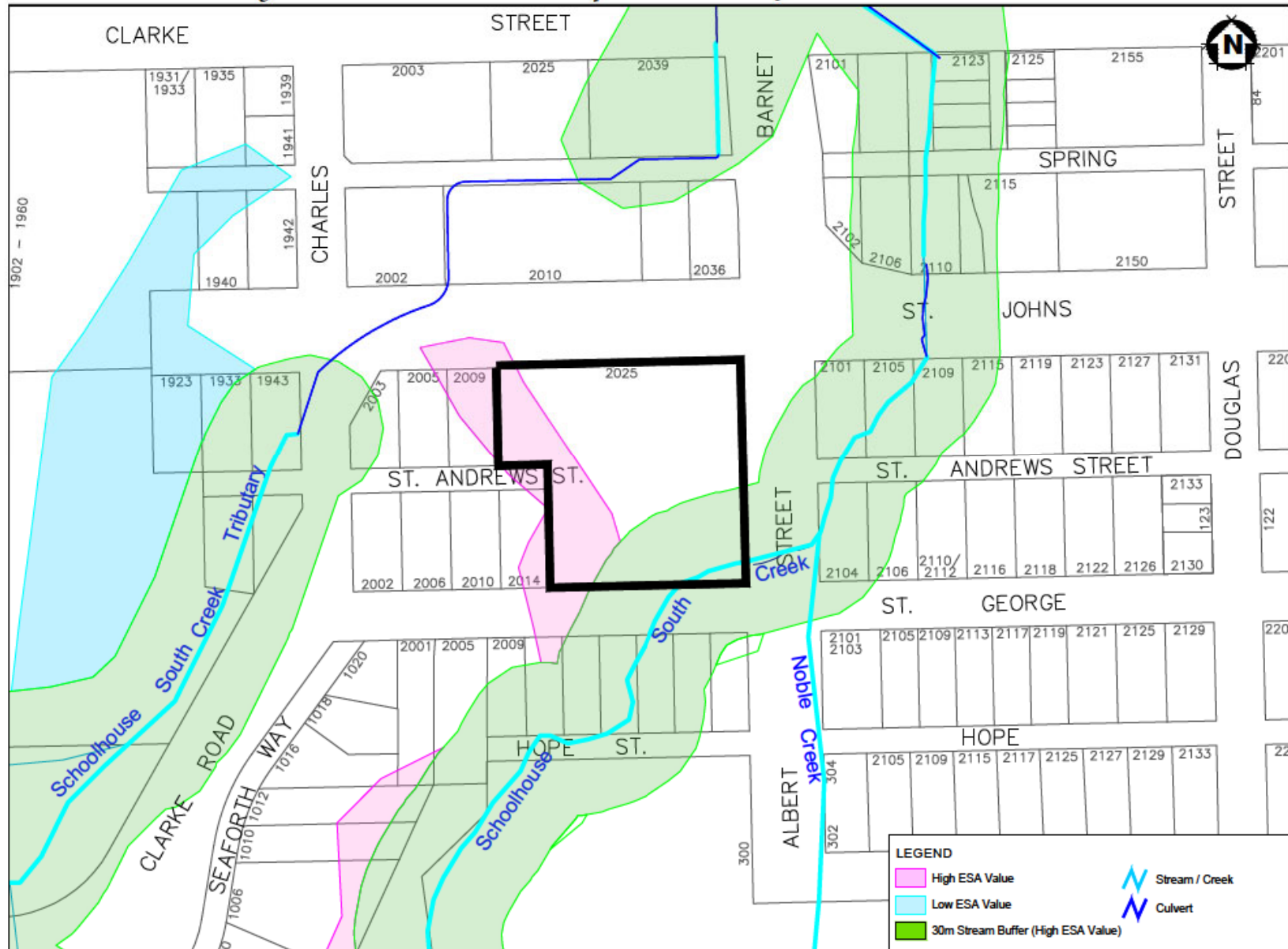
ZONING MAP - 2025 St. Johns Street

 **SUBJECT PROPERTY**



Considered at the Special Council Meeting of June 15, 2021

Environmentally Sensitive Areas Map - 2025 St. Johns Street



Considered at the Special Council Meeting of June 15, 2021

MARCON ALBERT (GP) LTD.

PROJECT DESCRIPTION

Site
The proposed development is located on a vacant site at the southeast corner of Port Moody's, Moody Centre neighbourhood, at the intersection of Port Moody Highway and St. John's Street. This site was the former location of the former hotel which has been previously demolished.

The site is bounded by St. John's Street to the north, by Albert Street and other frontage to the east, by the former site of the former hotel to the south, and by the former site of the former hotel to the west. The site is currently zoned as a residential medium density zone. The site is currently zoned as a residential medium density zone. The site is currently zoned as a residential medium density zone.

ARCHITECTURAL DESCRIPTION

Given the urban location of the site, the project seeks to create a building that is a landmark within the urban fabric. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design.

Upper residential levels of the development are located at the intersection of Albert and St. John's Streets. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design.

Residential levels of the buildings are located in a modern design. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design.

Public access to the project is being developed by the building. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design. The building is a multi-story residential building with a modern design.



SAINT JOHN STREET/ALBERT

PROPERTY INFORMATION



Legal Description:
PLAN OF LOT 10, DISTRICT LOT 10, GROUP 1, N.W. 1/4, PLAN 1000
R.C. 1000-1000

City Address:
1000 ST. JOHN STREET

PROJECT STATISTICS

Site Area	10,000 sq. ft.	10,000 sq. ft.
Lot Area	10,000 sq. ft.	10,000 sq. ft.
Net Area	10,000 sq. ft.	10,000 sq. ft.

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PROJECT TEAM

Client	Marcon Albert (GP) Ltd.
Architect	SH+T Architecture
Engineer	Marcon Albert (GP) Ltd.

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Engineer	Marcon Albert (GP) Ltd.

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Client	Marcon Albert (GP) Ltd.
Architect	SH+T Architecture
Engineer	Marcon Albert (GP) Ltd.

DRAWING LIST

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SH+T ARCHITECTURE

1000 Main Street, Suite 100
Vancouver, BC V6A 1A1
Tel: 604.681.1111
Fax: 604.681.1112
www.sh+t.ca

This drawing is an integral part of the project and is not to be used for any other purpose without the written consent of SH+T Architecture. The drawing is the property of SH+T Architecture and is not to be used for any other purpose without the written consent of SH+T Architecture.

Rev.	Date	Revision Notes
1	10/10/2020	Initial Design
2	11/10/2020	Revised Design
3	12/10/2020	Final Design
4	01/11/2020	Revised Design
5	02/11/2020	Final Design
6	03/11/2020	Revised Design
7	04/11/2020	Final Design
8	05/11/2020	Revised Design
9	06/11/2020	Final Design
10	07/11/2020	Revised Design
11	08/11/2020	Final Design
12	09/11/2020	Revised Design
13	10/11/2020	Final Design
14	11/11/2020	Revised Design
15	12/11/2020	Final Design
16	01/12/2020	Revised Design
17	02/12/2020	Final Design
18	03/12/2020	Revised Design
19	04/12/2020	Final Design
20	05/12/2020	Revised Design
21	06/12/2020	Final Design
22	07/12/2020	Revised Design
23	08/12/2020	Final Design
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25	10/12/2020	Final Design
26	11/12/2020	Revised Design
27	12/12/2020	Final Design
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99	12/06/2021	Final Design
100	01/07/2021	Revised Design

Rev. 10/10/2020

Rev. 11/10/2020

Rev. 12/10/2020

Rev. 01/11/2020

Rev. 02/11/2020

Rev. 03/11/2020

Rev. 04/11/2020

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Rev. 11/01/2021

Rev. 12/01/2021

Rev. 01/02/2021

Rev. 02/02/2021

Rev. 03/02/2021

Considered at the Special Council Meeting of June 15, 2021

ABBREVIATIONS

[illegible]

SYMBOL LEGEND

	SLOPE REFERENCE		DOOR TAG
	LEVEL ELEVATION REFERENCE		CEILING TAG
	SECTION DETAIL REFERENCE TAG		MATERIAL TAG
	BUILDING SECTION WALL SECTION TAG		SPOT ELEVATION TAG
	BUILDING ELEVATION TAG		INSULATED BUILDING DRIFT TAG
	PLAN REFERENCE GULLY TAG		VENTILATED BUILDING DRIFT TAG
	ROOF TAG		AREA DRIFT TAG
	FLOOR TAG		CATCH BASIN DRIFT TAG
	WALL TAG		DECKING TAG
	WINDOW/CURTAIN WALL TAG		FLOORING TAG
			PLASTER TAG
			ROOF DRAIN TAG
			FLOOR DRAIN TAG

<div>SH/FT ARCHITECTURE</div> <div>200 S.W. 10th Street, 3rd Floor Miami, Florida 33130 Tel: 305.375.1111 www.sh/ft.com</div> <p>The undersigned hereby certifies that the information provided on this form is true and correct to the best of their knowledge and belief. The undersigned hereby certifies that the information provided on this form is true and correct to the best of their knowledge and belief. The undersigned hereby certifies that the information provided on this form is true and correct to the best of their knowledge and belief.</p>		
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<div>Project Title</div> <div>ALBERT STREET</div> <div>2025 North Johnson Street Fort Lauderdale, FL 33304</div>		
<div>MARCON</div> <div>Client/Owner</div> <div>MARCON ALBERT (SP) LTD.</div> <div>5001 NE 1st Street Fort Lauderdale, FL 33304-1001</div>		
<div>Project Title</div> <div>ASSOCIATIONS</div>		
Contract No.	100 - 100	
Revision No.	101	
Project Number	1000	
Plot Area	10000 sq. ft.	10000 sq. ft.
Site Area	10000 sq. ft.	10000 sq. ft.
Scale	1" = 1' 0"	B
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<div>A0.01</div>		

Considered at the Special Council Meeting of June 15, 2021

NOTE:
AREAS NOTED IN UNIT DISTRIBUTION CHARTS ARE SUBJECT TO ROUNDING ERRORS AND INDICATE APPROXIMATE TOTAL AREAS ONLY.
AREAS NOTED WITHIN AREA SUMMARIES ARE NOT SUBJECT TO ROUNDING ERRORS AND OVERRIDE VALUES INDICATED WITH THE UNIT DISTRIBUTION CHARTS

AREA SUMMARY (Overall)										
Category	Sub-category	Sales Performance				Financial Metrics				Notes
		Revenue	Profit	Volume	Margin	Revenue	Profit	Volume	Margin	
Q1-2023	Product A	1,200,000	240,000	1,500	20%	1,200,000	240,000	1,500	20%	Stable growth
Q1-2023	Product B	800,000	160,000	1,000	20%	800,000	160,000	1,000	20%	Consistent
Q2-2023	Product A	1,300,000	260,000	1,600	20%	1,300,000	260,000	1,600	20%	Increased sales
Q2-2023	Product B	900,000	180,000	1,100	20%	900,000	180,000	1,100	20%	Steady
Q3-2023	Product A	1,400,000	280,000	1,700	20%	1,400,000	280,000	1,700	20%	Strong performance
Q3-2023	Product B	1,000,000	200,000	1,200	20%	1,000,000	200,000	1,200	20%	Good
Q4-2023	Product A	1,500,000	300,000	1,800	20%	1,500,000	300,000	1,800	20%	Peak season
Q4-2023	Product B	1,100,000	220,000	1,300	20%	1,100,000	220,000	1,300	20%	Excellent
Year	Total	5,200,000	1,040,000	6,500	20%	5,200,000	1,040,000	6,500	20%	Overall success

[illegible]

STRAIN SUMMARY					ANALYTE SUMMARY	
Identification of soils	28	200	25	Sample	10.000 g/s	
				Prepared	0.500 g/s	

[illegible][illegible]

NET TO BECOME EMPLOYMENT	
Employment (including the company)	1,000.0
Net new jobs	1,000.0
Loss	0.0

[illegible][illegible]

[illegible][illegible]

UNIT DISTRIBUTION - BUILDING 1										UNIT TOTALS SUBJECT TO REVENUE CAP		
UNIT COUNT AND AVERAGE FLOOR										Grade	Total Units	Total SqFt
UNIT TYPE	AREA	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4	FLOOR 5	FLOOR 6	UNITS SUMMARY				
1	2	3	4	5	6	7	8	9	10	11	12	

	Year	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000
3.5	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1	3.5	1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		

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01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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2016	2015	2014	2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000	1999	1998	1997	1996	1995	1994	1993	1992	1991	1990	1989	1988	1987	1986	1985	1984	1983	1982	1981	1980	1979	1978	1977	1976	1975	1974	1973	1972	1971	1970	1969	1968	1967	1966	1965	1964	1963	1962	1961	1960	1959	1958	1957	1956	1955	1954	1953	1952	1951	1950	1949	1948	1947	1946	1945	1944	1943	1942	1941	1940	1939	1938	1937	1936	1935	1934	1933	1932	1931	1930	1929	1928	1927	1926	1925	1924	1923	1922	1921	1920	1919	1918	1917	1916	1915	1914	1913	1912	1911	1910	1909	1908	1907	1906	1905	1904	1903	1902	1901	1900	1899	1898	1897	1896	1895	1894	1893	1892	1891	1890	1889	1888	1887	1886	1885	1884	1883	1882	1881	1880	1879	1878	1877	1876	1875	1874	1873	1872	1871	1870	1869	1868	1867	1866	1865	1864	1863	1862	1861	1860	1859	1858	1857	1856	1855	1854	1853	1852	1851	1850	1849	1848	1847	1846	1845	1844	1843	1842	1841	1840	1839	1838	1837	1836	1835	1834	1833	1832	1831	1830	1829	1828	1827	1826	1825	1824	1823	1822	1821	1820	1819	1818	1817	1816	1815	1814	1813	1812	1811	1810	1809	1808	1807	1806	1805	1804	1803	1802	1801	1800	1799	1798	1797	1796	1795	1794	1793	1792	1791	1790	1789	1788	1787	1786	1785	1784	1783	1782	1781	1780	1779	1778	1777	1776	1775	1774	1773	1772	1771	1770	1769	1768	1767	1766	1765	1764	1763	1762	1761	1760	1759	1758	1757	1756	1755	1754	1753	1752	1751	1750	1749	1748	1747	1746	1745	1744	1743	1742	1741	1740	1739	1738	1737	1736	1735	1734	1733	1732	1731	1730	1729	1728	1727	1726	1725	1724	1723	1722	1721	1720	1719	1718	1717	1716	1715	1714	1713	1712	1711	1710	1709	1708	1707	1706	1705	1704	1703	1702	1701	1700	1699	1698	1697	1696	1695	1694	1693	1692	1691	1690	1689	1688	1687	1686	1685	1684	1683	1682	1681	1680	1679	1678	1677	1676	1675	1674	1673	1672	1671	1670	1669	1668	1667	1666	1665	1664	1663	1662	1661	1660	1659	1658	1657	1656	1655	1654	1653	1652	1651	1650	1649	1648	1647	1646	1645	1644	1643	1642	1641	1640	1639	1638	1637	1636	1635	1634	1633	1632	1631	1630	1629	1628	1627	1626	1625	1624	1623	1622	1621	1620	1619	1618	1617	1616	1615	1614	1613	1612	1611	1610	1609	1608	1607	1606	1605	1604	1603	1602	1601	1600	1599	1598	1597	1596	1595	1594	1593	1592	1591	1590	1589	1588	1587	1586	1585	1584	1583	1582	1581	1580	1579	1578	1577	1576	1575	1574	1573	1572	1571	1570	1569	1568	1567	1566	1565	1564	1563	1562	1561	1560	1559	1558	1557	1556	1555	1554	1553	1552	1551	1550	1549	1548	1547	1546	1545	1544	1543	1542	1541	1540	1539	1538	1537	1536	1535	1534	1533	1532	1531	1530	1529	1528	1527	1526	1525	1524	1523	1522	1521	1520	1519	1518	1517	1516	1515	1514	1513	1512	1511	1510	1509	1508	1507	1506	1505	1504	1503	1502	1501	1500	1499	1498	1497	1496	1495	1494	1493	1492	1491	1490	1489	1488	1487	1486	1485	1484	1483	1482	1481	1480	1479	1478	1477	1476	1475	1474	1473	1472	1471	1470	1469	1468	1467	1466	1465	1464	1463	1462	1461	1460	1459	1458	1457	1456	1455	1454	1453	1452	1451	1450	1449	1448	1447	1446	1445	1444	1443	1442	1441	1440	1439	1438	1437	1436	1435	1434	1433	1432	1431	1430	1429	1428	1427	1426	1425	1424	1423	1422	1421	1420	1419	1418	1417	1416	1415	1414	1413	1412	1411	1410	1409	1408	1407	1406	1405	1404	1403	1402	1401	1400	1399	1398	1397	1396	1395	1394	1393	1392	1391	1390	1389	1388	1387	1386	1385	1384	1383	1382	1381	1380	1379	1378	1377	1376	1375	1374	1373	1372	1371	1370	1369	1368	1367	1366	1365	1364	1363	1362	1361	1360	1359	1358	1357	1356	1355	1354	1353	1352	1351	1350	1349	1348	1347	1346	1345	1344	1343	1342	1341	1340	1339	1338	1337	1336	1335	1334	1333	1332	1331	1330	1329	1328	1327	1326	1325	1324	1323	1322	1321	1320	1319	1318	1317	1316	1315	1314	1313	1312	1311	1310	1309	1308	1307	1306	1305	1304	1303	1302	1301	1300	1299	1298	1297	1296	1295	1294	1293	1292	1291	1290	1289	1288	1287	1286	1285	1284	1283	1282	1281	1280	1279	1278	1277	1276	1275	1274	1273	1272	1271	1270	1269	1268	1267	1266	1265	1264	1263	1262	1261	1260	1259	1258	1257	1256	1255	1254	1253	1252	1251	1250	1249	1248	1247	1246	1245	1244	1243	1242	1241	1240	1239	1238	1237	1236	1235	1234	1233	1232	1231	1230	1229	1228	1227	1226	1225	1224	1223	1222	1221	1220	1219	1218	1217	1216	1215	1214	1213	1212	1211	1210	1209	1208	1207	1206	1205	1204	1203	1202	1201	1200	1199	1198	1197	1196	1195	1194	1193	1192	1191	1190	1189	1188	1187	1186	1185	1184	1183	1182	1181	1180	1179	1178	1177	1176	1175	1174	1173	1172	1171	1170	1169	1168	1167	1166	1165	1164	1163	1162	1161	1160	1159	1158	1157	1156	1155	1154	1153	1152	1151	1150	1149	1148	1147	1146	1145	1144	1143	1142	1141	1140	1139	1138	1137	1136	1135	1134	1133	1132	1131	1130	1129	1128	1127	1126	1125	1124	1123	1122	1121	1120	1119	1118	1117	1116	1115	1114	1113	1112	1111	1110	1109	1108	1107	1106	1105	1104	1103	1102	1101	1100	1099	1098	1097	1096	1095	1094	1093	1092	1091	1090	1089	1088	1087	1086	1085	1084	1083	1082	1081	1080	1079	1078	1077	1076	1075	1074	1073	1072	1071	1070	1069	1068	1067	1066	1065	1064	1063	1062	1061	1060	1059	1058	1057	1056	1055	1054	1053	1052	1051	1050	1049	1048	1047	1046	1045	1044	1043	1042	1041	1040	1039	1038	1037	1036	1035	1034	1033	1032	1031	1030	1029	1028	1027	1026	1025	1024	1023	1022	1021	1020	1019	1018	1017	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26	000.0	1	000.0	2	000.0	3	000.0	4	000.0	5	000.0	6	000.0	7	000.0	8	000.0	9	000.0	10	000.0	11	000.0	12	000.0	13	000.0	14	000.0	15	000.0	16	000.0	17	000.0	18	000.0	19	000.0	20	000.0	21	000.0	22	000.0	23	000.0	24	000.0	25	000.0	26	000.0	27	000.0	28	000.0	29	000.0	30	000.0	31	000.0	32	000.0	33	000.0	34	000.0	35	000.0	36	000.0	37	000.0	38	000.0	39	000.0	40	000.0	41	000.0	42	000.0	43	000.0	44	000.0	45	000.0	46	000.0	47	000.0	48	000.0	49	000.0	50	000.0	51	000.0	52	000.0	53	000.0	54	000.0	55	000.0	56	000.0	57	000.0	58	000.0	59	000.0	60	000.0	61	000.0	62	000.0	63	000.0	64	000.0	65	000.0	66	000.0	67	000.0	68	000.0	69	000.0	70	000.0	71	000.0	72	000.0	73	000.0	74	000.0	75	000.0	76	000.0	77	000.0	78	000.0	79	000.0	80	000.0	81	000.0	82	000.0	83	000.0	84	000.0	85	000.0	86	000.0	87	000.0	88	000.0	89	000.0	90	000.0	91	000.0	92	000.0	93	000.0	94	000.0	95	000.0	96	000.0	97	000.0	98	000.0	99	000.0	100	000.0	101	000.0	102	000.0	103	000.0	104	000.0	105	000.0	106	000.0	107	000.0	108	000.0	109	000.0	110	000.0	111	000.0	112	000.0	113	000.0	114	000.0	115	000.0	116	000.0	117	000.0	118	000.0	119	000.0	120	000.0	121	000.0	122	000.0	123	000.0	124	000.0	125	000.0	126	000.0	127	000.0	128	000.0	129	000.0	130	000.0	131	000.0	132	000.0	133	000.0	134	000.0	135	000.0	136	000.0	137	000.0	138	000.0	139	000.0	140	000.0	141	000.0	142	000.0	143	000.0	144	000.0	145	000.0	146	000.0	147	000.0	148	000.0	149	000.0	150	000.0	151	000.0	152	000.0	153	000.0	154	000.0	155	000.0	156	000.0	157	000.0	158	000.0	159	000.0	160	000.0	161	000.0	162	000.0	163	000.0	164	000.0	165	000.0	166	000.0	167	000.0	168	000.0	169	000.0	170	000.0	171	000.0	172	000.0	173	000.0	174	000.0	175	000.0	176	000.0	177	000.0	178	000.0	179	000.0	180	000.0	181	000.0	182	000.0	183	000.0	184	000.0	185	000.0	186	000.0	187	000.0	188	000.0	189	000.0	190	000.0	191	000.0	192	000.0	193	000.0	194	000.0	195	000.0	196	000.0	197	000.0	198	000.0	199	000.0	200	000.0	201	000.0	202	000.0	203	000.0	204	000.0	205	000.0	206	000.0	207	000.0	208	000.0	209	000.0
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[illegible][illegible]

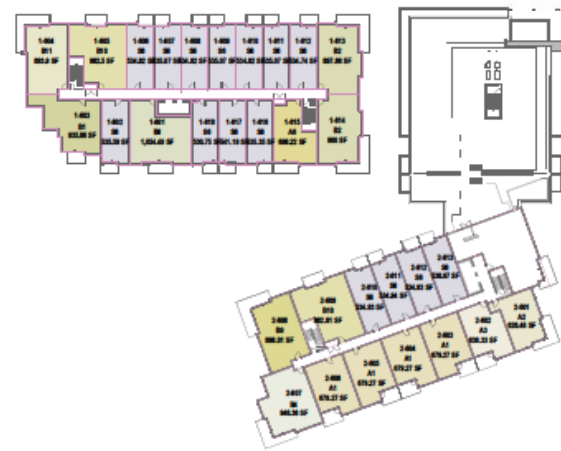
John Deere 60 Series	7	1,800.0	7	6,000.0	7	2,000.0	7	1,800.0	6	5,000.0	31	17,000.0	1	21	20.0%
John Deere 60 Series	6	1,800.0	7	6,000.0	7	2,000.0	7	1,800.0	6	5,000.0	30	16,000.0	2	26	21.0%
John Deere 60 Series			1	900.0	1	900.0	1	900.0			6	5,000.0	3	12	2.0%
	16	16,000.0	25	15,000.0	25	15,000.0	25	15,000.0	16	16,000.0	67	50,000.0	100	100.0%	

[illegible]

Considered at the Special Council Meeting of June 15, 2021



2 LEVEL 1
1:300



4 LEVEL 6
1:300



3 LEVEL 2-5 TYPICAL
1:100

AREA 00000000 (PART 0001)				AREA 00000000 (PART 0002)				AREA 00000000 (PART 0003)			
UNIT TYPE	Lead	Count	Area	UNIT TYPE	Lead	Count	Area	UNIT TYPE	Lead	Count	Area
01	AREA 1	0	0.000000	01	AREA 1	0	0.000000	01	AREA 1	0	0.000000
02	AREA 2	0	0.000000	02	AREA 2	0	0.000000	02	AREA 2	0	0.000000
03	AREA 3	0	0.000000	03	AREA 3	0	0.000000	03	AREA 3	0	0.000000
04	AREA 4	0	0.000000	04	AREA 4	0	0.000000	04	AREA 4	0	0.000000
05	AREA 5	0	0.000000	05	AREA 5	0	0.000000	05	AREA 5	0	0.000000
06	AREA 6	0	0.000000	06	AREA 6	0	0.000000	06	AREA 6	0	0.000000
07	AREA 7	0	0.000000	07	AREA 7	0	0.000000	07	AREA 7	0	0.000000
08	AREA 8	0	0.000000	08	AREA 8	0	0.000000	08	AREA 8	0	0.000000
09	AREA 9	0	0.000000	09	AREA 9	0	0.000000	09	AREA 9	0	0.000000
10	AREA 10	0	0.000000	10	AREA 10	0	0.000000	10	AREA 10	0	0.000000
11	AREA 11	0	0.000000	11	AREA 11	0	0.000000	11	AREA 11	0	0.000000
12	AREA 12	0	0.000000	12	AREA 12	0	0.000000	12	AREA 12	0	0.000000
13	AREA 13	0	0.000000	13	AREA 13	0	0.000000	13	AREA 13	0	0.000000
14	AREA 14	0	0.000000	14	AREA 14	0	0.000000	14	AREA 14	0	0.000000
15	AREA 15	0	0.000000	15	AREA 15	0	0.000000	15	AREA 15	0	0.000000
16	AREA 16	0	0.000000	16	AREA 16	0	0.000000	16	AREA 16	0	0.000000
17	AREA 17	0	0.000000	17	AREA 17	0	0.000000	17	AREA 17	0	0.000000
18	AREA 18	0	0.000000	18	AREA 18	0	0.000000	18	AREA 18	0	0.000000
19	AREA 19	0	0.000000	19	AREA 19	0	0.000000	19	AREA 19	0	0.000000
20	AREA 20	0	0.000000	20	AREA 20	0	0.000000	20	AREA 20	0	0.000000
21	AREA 21	0	0.000000	21	AREA 21	0	0.000000	21	AREA 21	0	0.000000
22	AREA 22	0	0.000000	22	AREA 22	0	0.000000	22	AREA 22	0	0.000000
23	AREA 23	0	0.000000	23	AREA 23	0	0.000000	23	AREA 23	0	0.000000
24	AREA 24	0	0.000000	24	AREA 24	0	0.000000	24	AREA 24	0	0.000000
25	AREA 25	0	0.000000	25	AREA 25	0	0.000000	25	AREA 25	0	0.000000
26	AREA 26	0	0.000000	26	AREA 26	0	0.000000	26	AREA 26	0	0.000000
27	AREA 27	0	0.000000	27	AREA 27	0	0.000000	27	AREA 27	0	0.000000
28	AREA 28	0	0.000000	28	AREA 28	0	0.000000	28	AREA 28	0	0.000000
29	AREA 29	0	0.000000	29	AREA 29	0	0.000000	29	AREA 29	0	0.000000
30	AREA 30	0	0.000000	30	AREA 30	0	0.000000	30	AREA 30	0	0.000000
31	AREA 31	0	0.000000	31	AREA 31	0	0.000000	31	AREA 31	0	0.000000
32	AREA 32	0	0.000000	32	AREA 32	0	0.000000	32	AREA 32	0	0.000000
33	AREA 33	0	0.000000	33	AREA 33	0	0.000000	33	AREA 33	0	0.000000
34	AREA 34	0	0.000000	34	AREA 34	0	0.000000	34	AREA 34	0	0.000000
35	AREA 35	0	0.000000	35	AREA 35	0	0.000000	35	AREA 35	0	0.000000
36	AREA 36	0	0.000000	36	AREA 36	0	0.000000	36	AREA 36	0	0.000000
37	AREA 37	0	0.000000	37	AREA 37	0	0.000000	37	AREA 37	0	0.000000
38	AREA 38	0	0.000000	38	AREA 38	0	0.000000	38	AREA 38	0	0.000000
39	AREA 39	0	0.000000	39	AREA 39	0	0.000000	39	AREA 39	0	0.000000
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80	AREA 80	0	0.000000	80	AREA 80	0	0.000000	80	AREA 80	0	0.000000
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95	AREA 95	0	0.000000	95	AREA 95	0	0.000000	95	AREA 95	0	0.000000
96	AREA 96	0	0.000000	96	AREA 96	0	0.000000	96	AREA 96	0	0.000000
97	AREA 97	0	0.000000	97	AREA 97	0	0.000000	97	AREA 97	0	0.000000
98	AREA 98	0	0.000000	98	AREA 98	0	0.000000	98	AREA 98	0	0.000000
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111	AREA 111	0	0.000000	111	AREA 111	0	0.000000	111	AREA 111	0	0.000000
112	AREA 112	0	0.000000	112	AREA 112	0	0.000000	11			



2001-2002 Year End Review
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 E-Mail: chill@hawaii.edu

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 Southwestern Bell.

[illegible]

PRE-ISSUED FOR RZ/DP 20-10-14

ALBERT STREET

228 Saint Johns Road
Fort Mundy, NC

MARCON

MARCON ALBERT (GP) LTD.

BM&B 100 Blvd
Langley, BC V2M 1H0

UNIT AREAS

100 / 100

Project number	1000
Plot class	large class

2017/2018	2020/2021
4.000	4.000

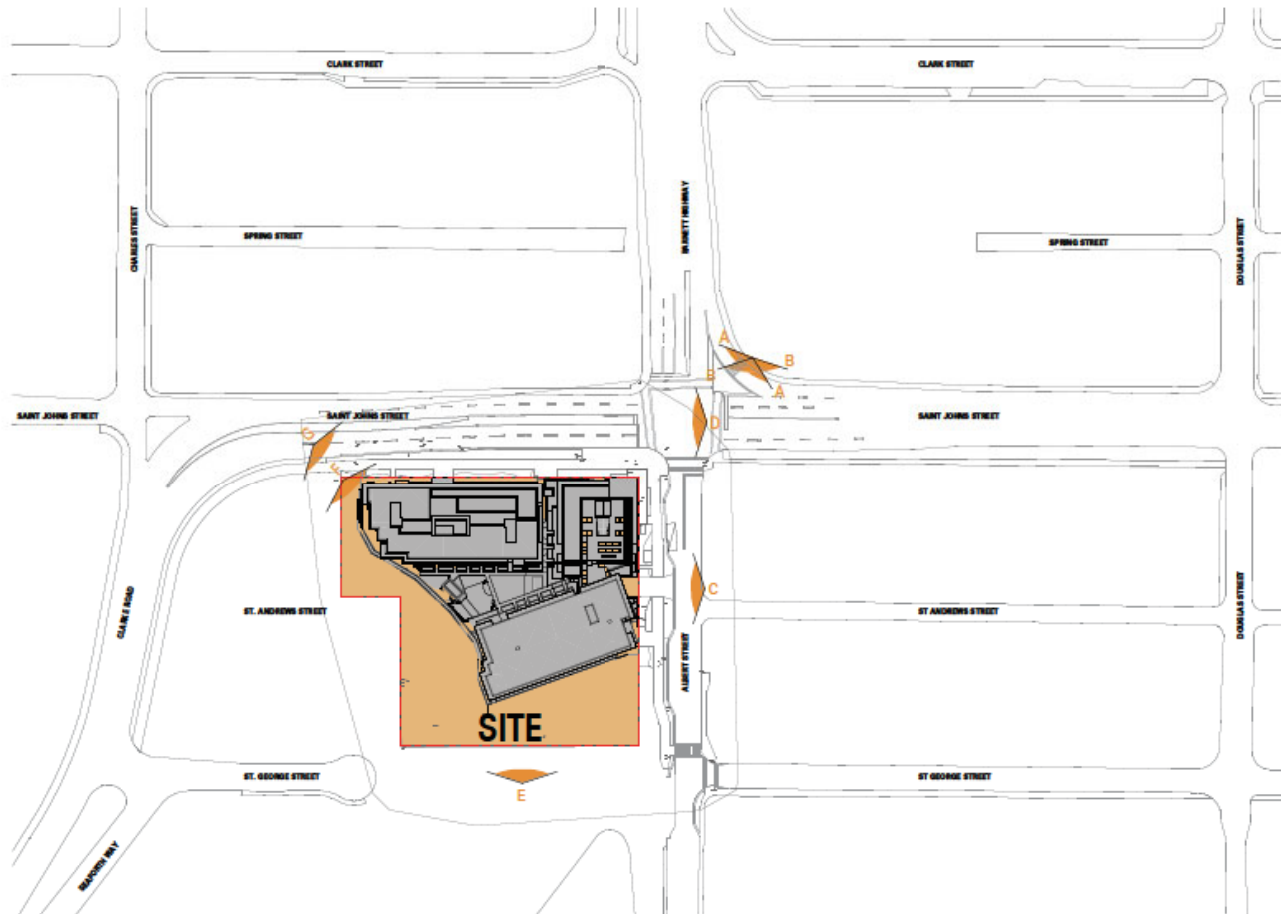
1:200 **B**

Sheet Number

40.00

A0.00

Considered at the Special Council Meeting of June 15, 2021



SHFT
ARCHITECTURE

300 West Main Street
Suite 1000
Portland, ME 04101
Tel: 603.581.1234
www.shftarchitecture.com

The drawings are prepared for the use of the client and are not to be used for any other purpose without the written consent of SHFT Architecture. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities.

Rev.	Date	Description
1	2021-10-14	Initial Issue
2	2021-10-14	Revised for client comments
3	2021-10-14	Revised for client comments
4	2021-10-14	Revised for client comments
5	2021-10-14	Revised for client comments
6	2021-10-14	Revised for client comments
7	2021-10-14	Revised for client comments
8	2021-10-14	Revised for client comments
9	2021-10-14	Revised for client comments
10	2021-10-14	Revised for client comments

RE-ASSIGNED FOR RZ/DP 20-10-14

Project Name
ALBERT STREET
2221 Saint Johns Street
Portland, ME

MARCON

Client Name
MARCON ALBERT (SP) LTD.
2221 Saint Johns Street
Portland, ME 04101
Project Name
CONTEXT PLAN

Drawn By	ME: JAC
Reviewed By	JA
Project Number	1000
Plot Date	2021-10-14
Plot Date	2021-10-14
Scale	1" = 80' 0"
Sheet Number	B

A0.010

SHFT Architecture Inc. 2021-10-14 10:14 AM

Considered at the Special Council Meeting of June 15, 2021



VIEW FROM ST JOHNS STREET LOOKING SOUTH / WEST
WITH VIEW INTO ALBERT STREET



VIEW FROM ST JOHNS STREET LOOKING SOUTH



VIEW FROM ALBERT STREET LOOKING WEST



VIEW FROM ALBERT STREET LOOKING WEST



VIEW FROM ALBERT STREET LOOKING WEST
WITH VIEW INTO ST. JOHNS STREET

VIEW INTO ALBERT AND ST. JOHNS STREET
LOOKING SOUTH / WEST



VIEW FROM PROPERTY LOOKING NORTH



VIEW FROM PROPERTY LOOKING SOUTH / EAST



VIEW FROM ST. JOHNS STREET LOOKING EAST

[illegible]

Considered at the Special Council Meeting of June 15, 2021

ARCHITECTURAL PRECEDENTS

SHIFT
ARCHITECTURE

300 West 4th Street
Vancouver, BC V6C 1A8
Tel: 604.681.1111 | info@shiftarchitecture.com

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No.	Name	Location
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1. Canvas, Vancouver, BC



2. MYRDV Apartment Building, Amsterdam, NL



3. Shoreline, Vancouver, BC



4. Apartment Building, Paris, F



5. R+R, Vancouver, BC



6. First Street West, North Vancouver, BC

Project Name
ALBERT STREET

2221 West 4th Street
Vancouver, BC

MARCON

Client Name
MARCON ALBERT (SP) LTD.

Project Location
Langley, BC V3A 1A5

Project Type
PRECEDENTS

Drawn By
Checked By

Project Number
100

Plot Date
2021-05-14

Plot Date
2021-05-14

Plot
B

Plot Number
A0.020

RE-ASSIGNED FOR B2/DP 20-10-14

Considered at the Special Council Meeting of June 15, 2021



VIEW FROM NE (SAINT JOHNS ST.)



VIEW FROM NW (SAINT JOHNS ST.)

SHIFT
ARCHITECTURE

200 West Main Street
Suite 1000
Portland, ME 04101

The drawings are prepared for the use of the client and are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by the client or for the results of the construction of the project.

Rev.	Date	Description
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PROJECT: ALBERT STREET
200 West Main Street
Portland, ME 04101

MARCON

MARCON ALBERT (SP) LTD.
200 West Main Street
Portland, ME 04101

Project Name: ALBERT STREET
Project Number: 1000

Drawn By: [Name]
Reviewed By: [Name]

Plot Date: 10/10/2020
Plot Date: 10/10/2020

Scale: 1/8" = 1'-0"
Sheet Number: B

A0.031

RE-ASSIGNED FOR B2/DP 20-10-14

Considered at the Special Council Meeting of June 15, 2021



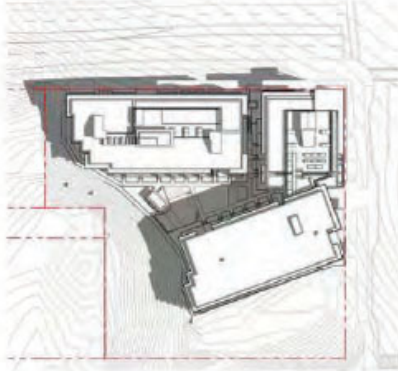
VIEW FROM SE (ALBERT ST)



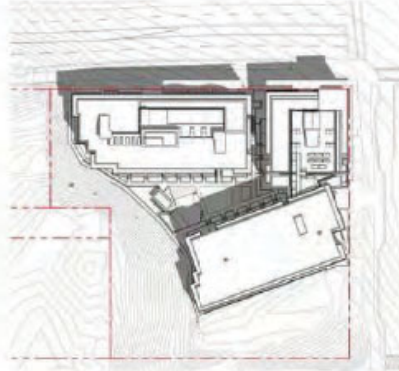
VIEW FROM NW (SAINT JOHNS ST.)

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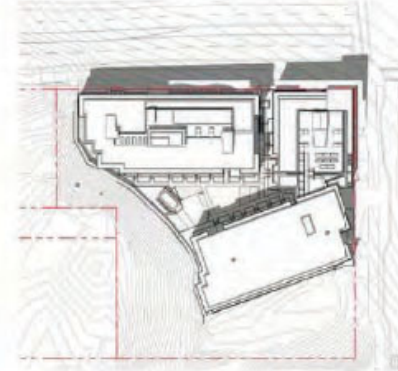
Considered at the Special Council Meeting of June 15, 2021



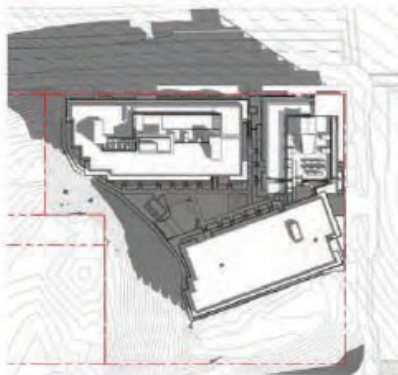
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T = 28°C



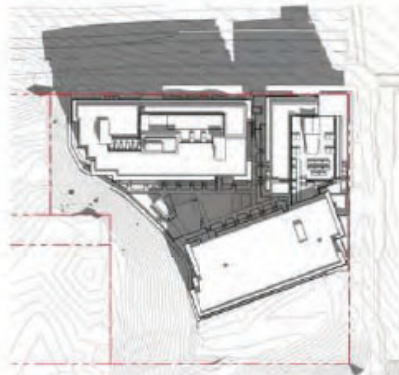
2 SHADOW STUDY - JUNE 21st (12pm)
1" = 50'0"



3 SHADOW STUDY - JUNE 21st (2pm)
1" = 50'-0"



4 SHADOW STUDY - SEPT / MARCH 21st (10am)
T = 30°C



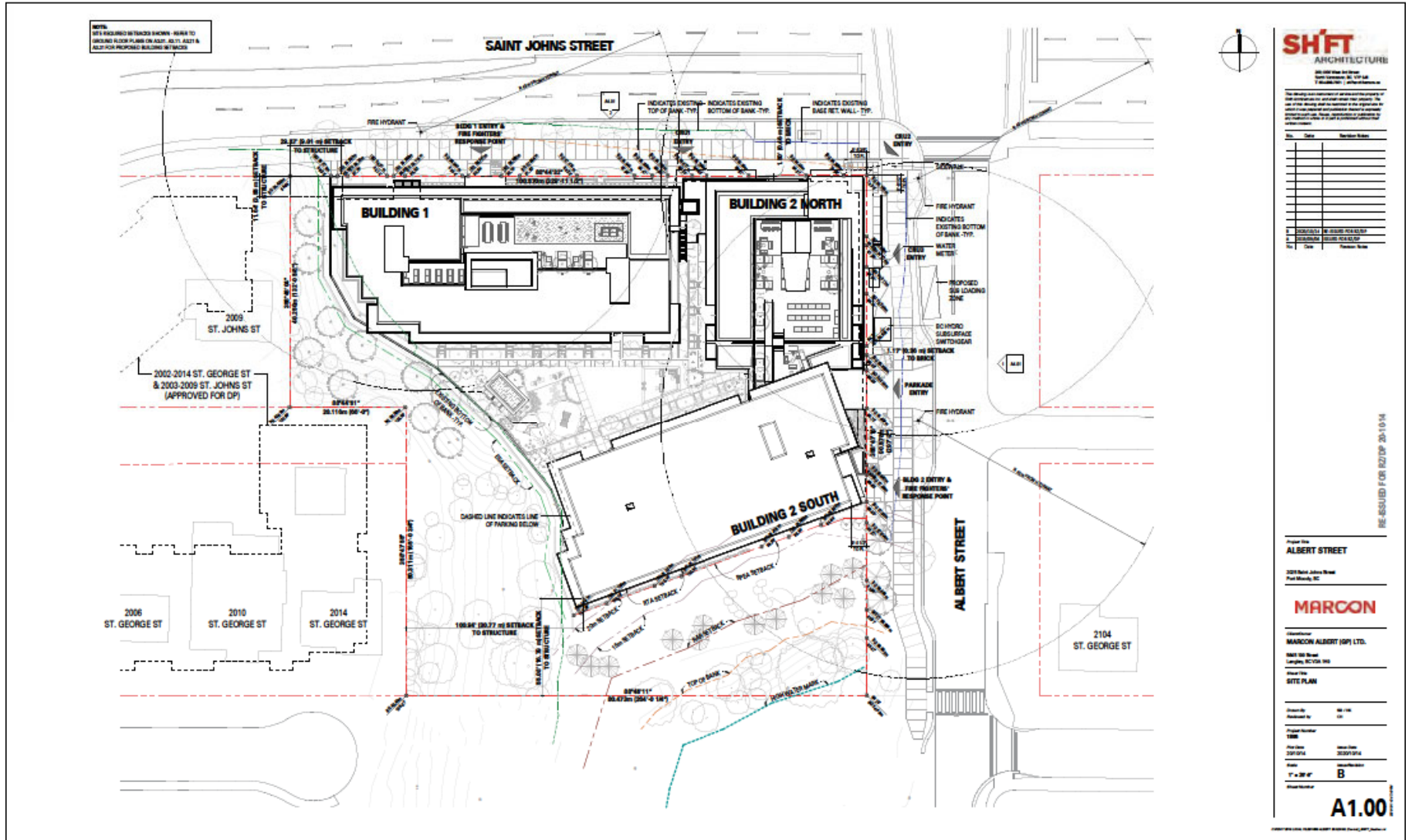
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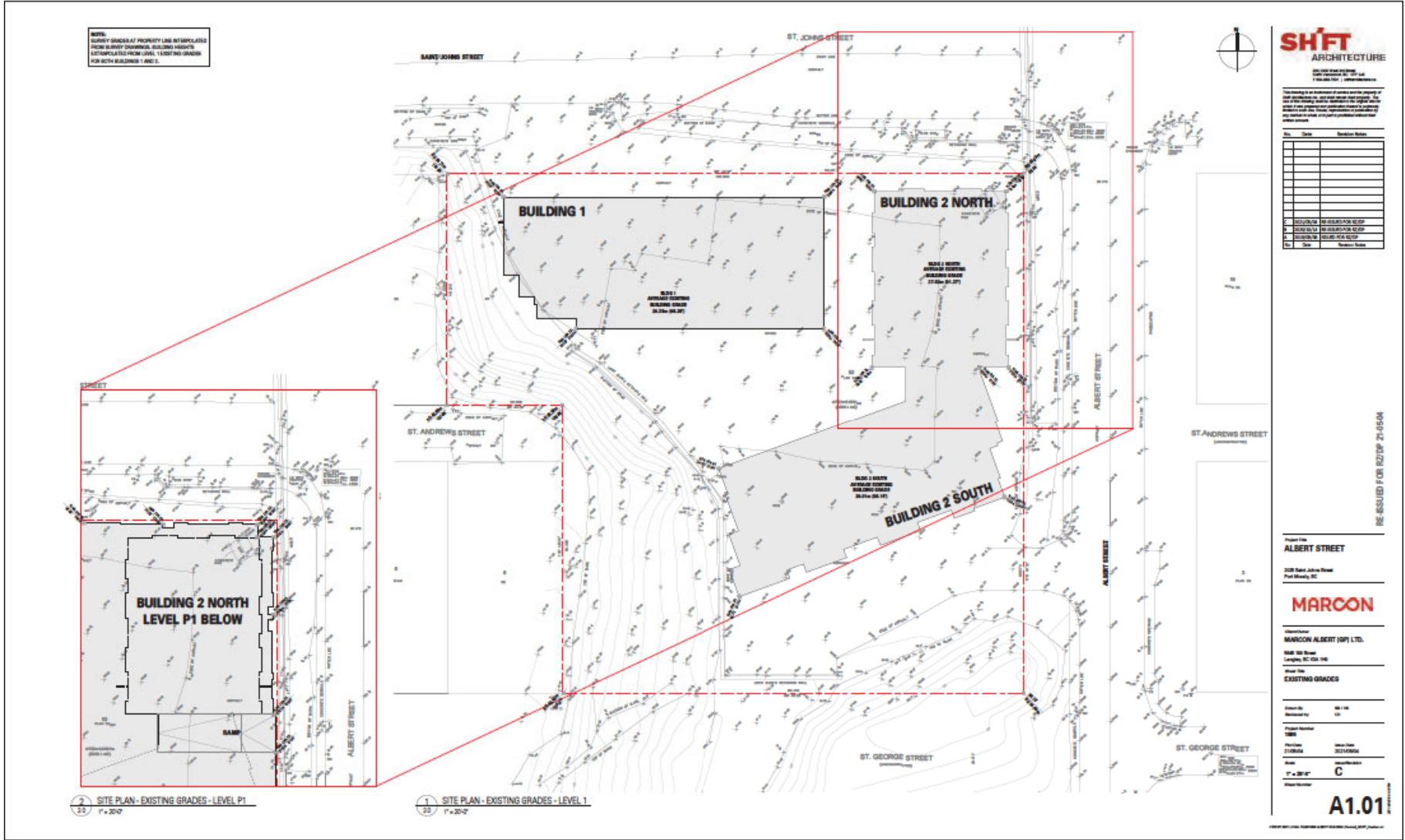
6 SHADOW STUDY - SEPT / MARCH 21st (2pm)
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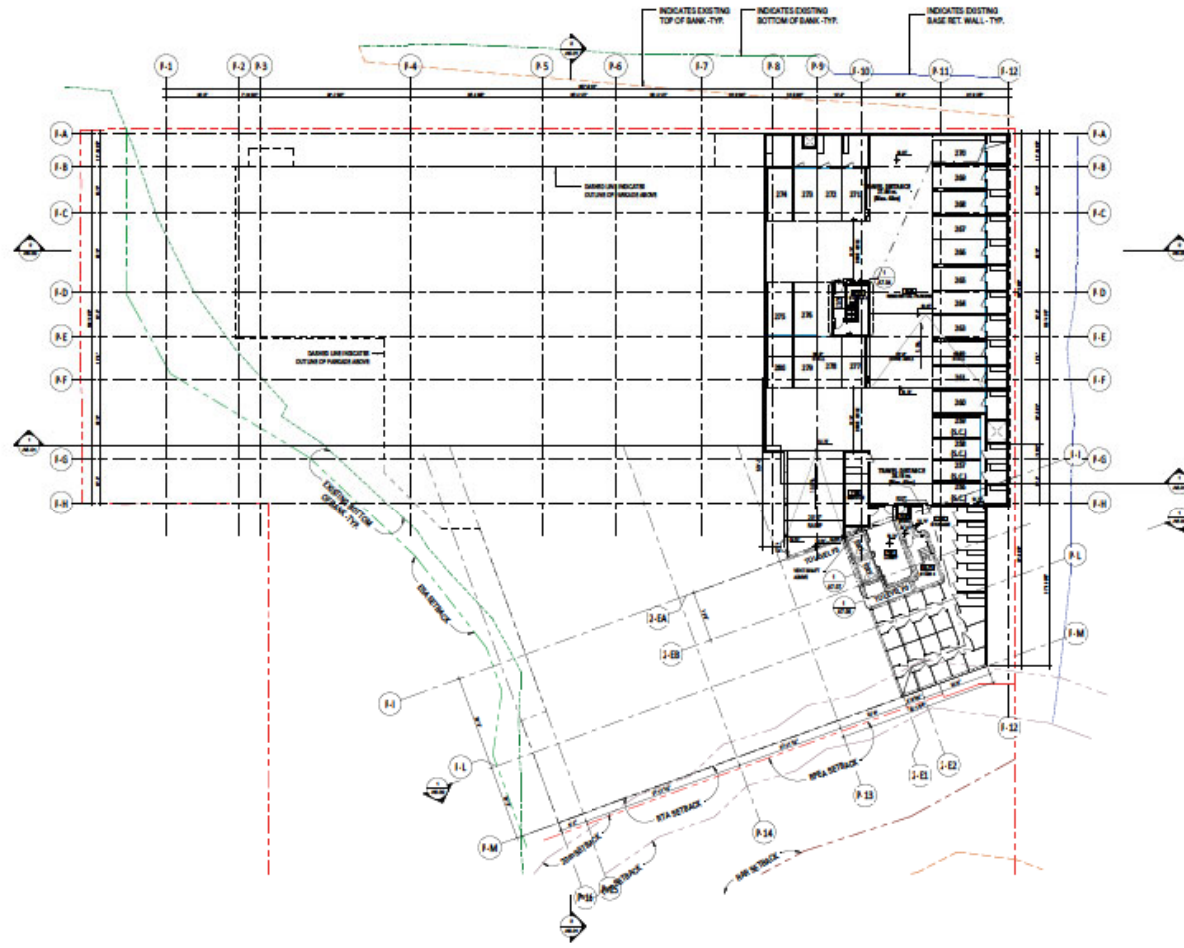
Considered at the Special Council Meeting of June 15, 2021



Considered at the Special Council Meeting of June 15, 2021



Considered at the Special Council Meeting of June 15, 2021



SH/FT
ARCHITECTURE

200 West Main Street
Suite 1000
Falls Church, VA 22044

The design and construction of any project is the responsibility of the client. The architect is not responsible for the design or construction of any project that is not the responsibility of the architect. The architect is not responsible for the design or construction of any project that is not the responsibility of the architect.

Rev.	Date	Description
1	10/1/2014	Initial Design
2	10/1/2014	Final Design
3	10/1/2014	Final Design
4	10/1/2014	Final Design
5	10/1/2014	Final Design
6	10/1/2014	Final Design
7	10/1/2014	Final Design
8	10/1/2014	Final Design
9	10/1/2014	Final Design
10	10/1/2014	Final Design

Project Name: ALBERT STREET

Project Address: 2221 North John Street

Project City: Falls Church, VA

Project State: VA

Project Zip: 22044

Project Owner: MARCON

Project Architect: SH/FT ARCHITECTURE

Project Date: 10/1/2014

Project Scale: 1/8" = 1'-0"

Project Sheet: A2.01

Project Title: LEVEL PH - OVERALL

Project Description: MARCON ALBERT (SP) LTD.

Project Location: 2221 North John Street

Project City: Falls Church, VA

Project State: VA

Project Zip: 22044

Project Owner: MARCON

Project Architect: SH/FT ARCHITECTURE

Project Date: 10/1/2014

Project Scale: 1/8" = 1'-0"

Project Sheet: A2.01

Project Title: LEVEL PH - OVERALL

Project Description: MARCON ALBERT (SP) LTD.

Project Location: 2221 North John Street

Project City: Falls Church, VA

Project State: VA

Project Zip: 22044

Project Owner: MARCON

Project Architect: SH/FT ARCHITECTURE

Project Date: 10/1/2014

Project Scale: 1/8" = 1'-0"

Project Sheet: A2.01

Project Title: LEVEL PH - OVERALL

Project Description: MARCON ALBERT (SP) LTD.

Project Location: 2221 North John Street

Project City: Falls Church, VA

Project State: VA

Project Zip: 22044

Project Owner: MARCON

Project Architect: SH/FT ARCHITECTURE

Project Date: 10/1/2014

Project Scale: 1/8" = 1'-0"

Project Sheet: A2.01

Project Title: LEVEL PH - OVERALL

Project Description: MARCON ALBERT (SP) LTD.

Project Location: 2221 North John Street

Project City: Falls Church, VA

Project State: VA

Project Zip: 22044

Project Owner: MARCON

Project Architect: SH/FT ARCHITECTURE

Project Date: 10/1/2014

Project Scale: 1/8" = 1'-0"

Project Sheet: A2.01

Project Title: LEVEL PH - OVERALL

Project Description: MARCON ALBERT (SP) LTD.

Project Location: 2221 North John Street

Project City: Falls Church, VA

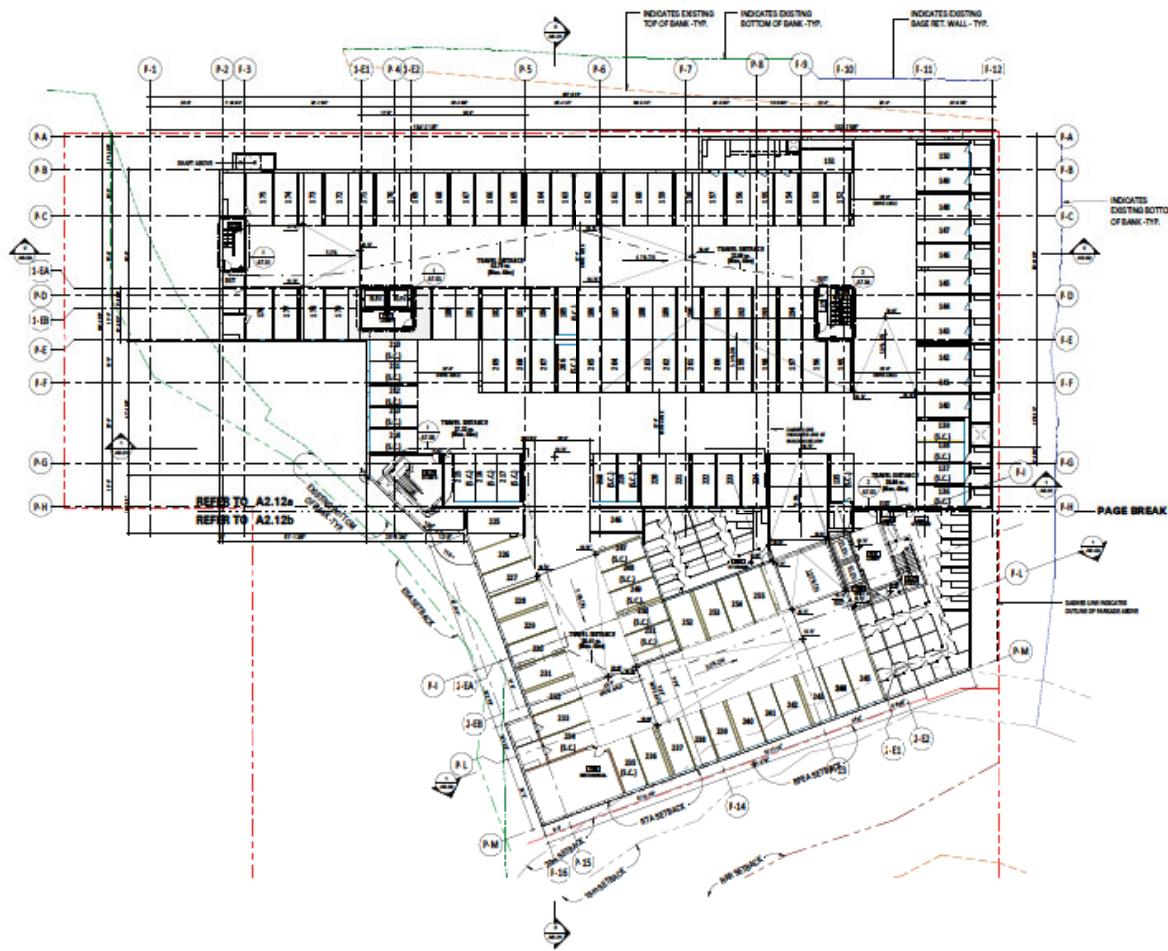
Project State: VA

Project Zip: 22044

Project Owner: MARCON

Project Architect: SH/FT ARCHITECTURE

Considered at the Special Council Meeting of June 15, 2021



SHFT
ARCHITECTURE

300 West Main Street
Suite 1000
Portland, ME 04101
Tel: 207.555.1234
www.shftarchitecture.com

Rev.	Date	Description
1	01/15/21	ISSUED FOR PERMIT
2	01/15/21	ISSUED FOR PERMIT
3	01/15/21	ISSUED FOR PERMIT
4	01/15/21	ISSUED FOR PERMIT
5	01/15/21	ISSUED FOR PERMIT
6	01/15/21	ISSUED FOR PERMIT
7	01/15/21	ISSUED FOR PERMIT
8	01/15/21	ISSUED FOR PERMIT
9	01/15/21	ISSUED FOR PERMIT
10	01/15/21	ISSUED FOR PERMIT
11	01/15/21	ISSUED FOR PERMIT
12	01/15/21	ISSUED FOR PERMIT

RE-ASSUED FOR RZDP 20-10-14

Project Name
ALBERT STREET
222 West Main Street
Portland, ME

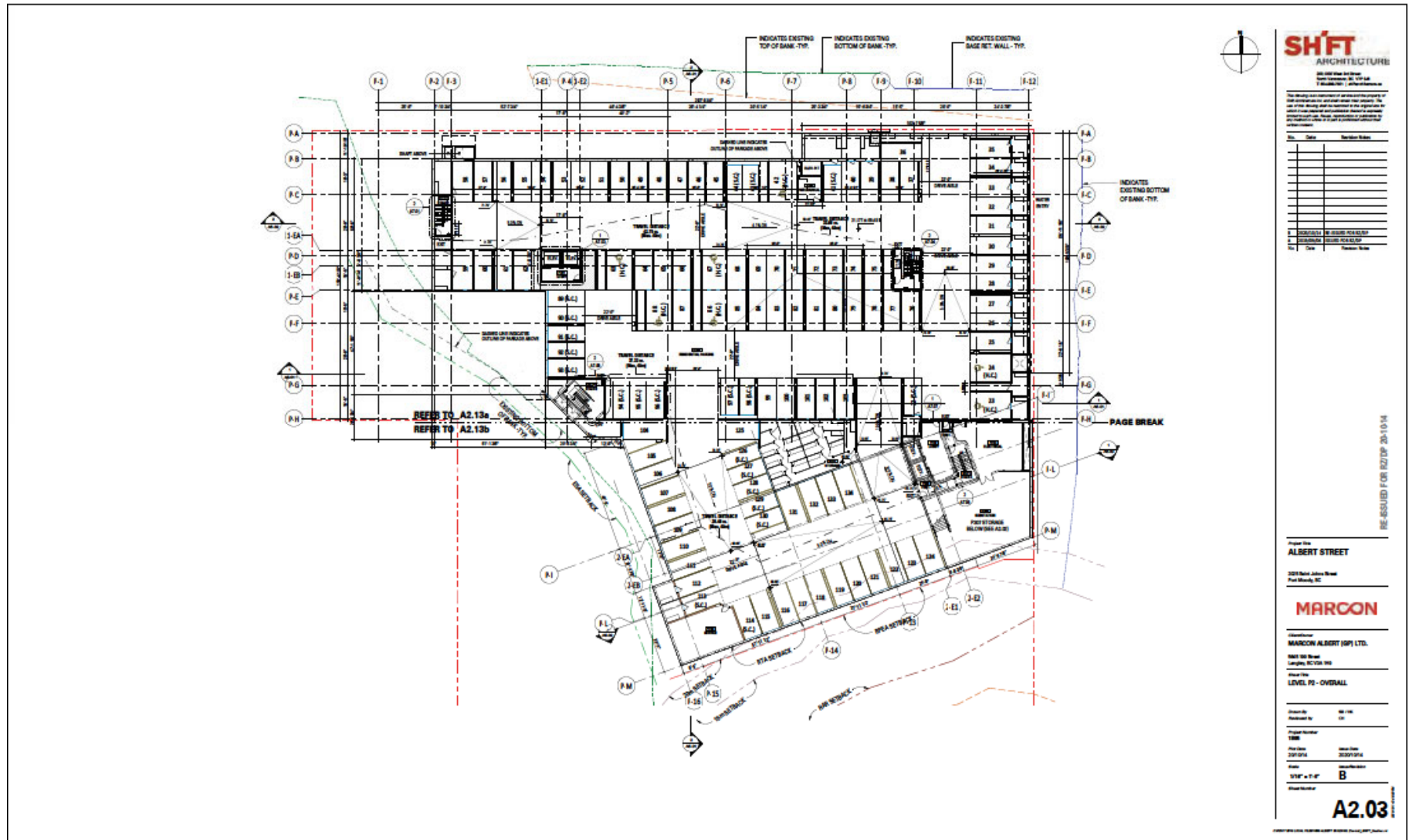
MARCON

Client Name
MARCON ALBERT (SP) LTD.
222 West Main Street
Portland, ME 04101
Project Name
LEVEL P1 - OVERALL

Drawn By
Reviewed By
Project Number
1000
Plot Date
10/15/21
Plot Scale
1/8" = 1'-0"
Sheet Number
B

A2.02

Considered at the Special Council Meeting of June 15, 2021





RECEIVED FOR EDITION 2010/4

Project Title
ALBERT STREET

3218 Saint Johns Street
Port Moody, BC

MARCON

MARCON ALBERT (GP) LTD.

DOI: 10.1002/for

LEVEL F1 - OVERALL & LEVEL
F0

Project Number
1000

File Date	Issue Date
2017-01-16	2017-01-16

Issue	Issue Description
1	1

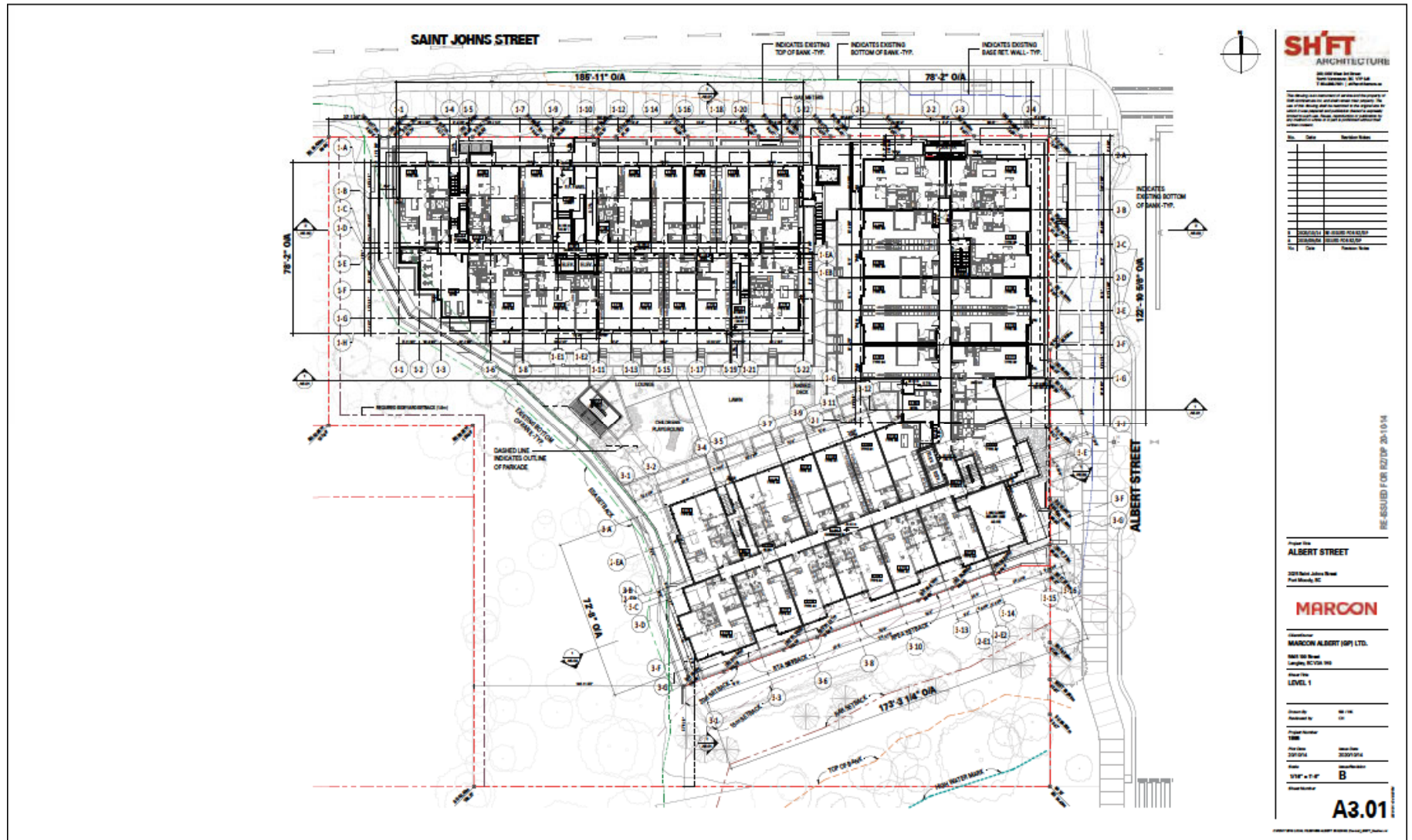
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Sheet Number

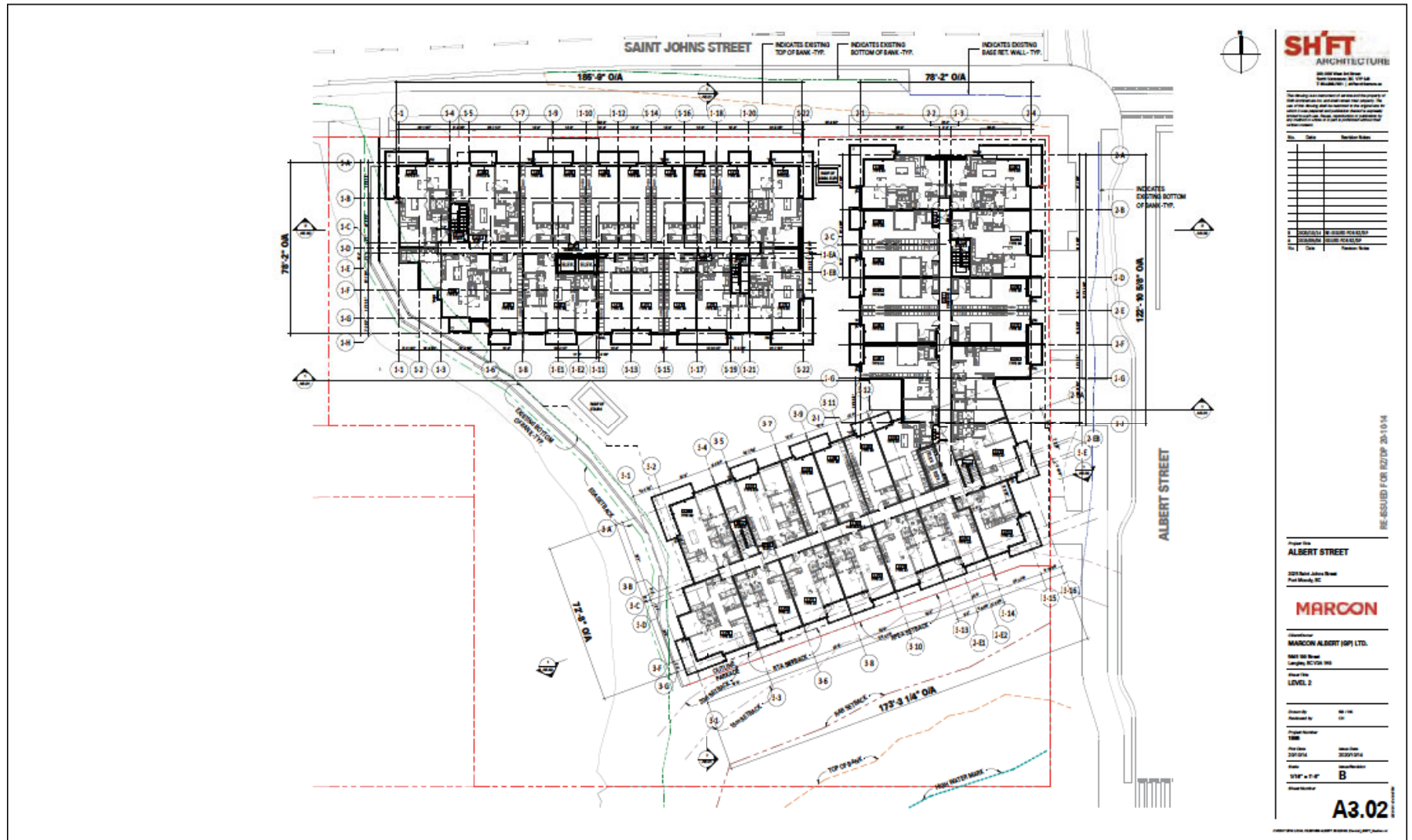
A994

A2.04

Considered at the Special Council Meeting of June 15, 2021



Considered at the Special Council Meeting of June 15, 2021



[illegible][illegible]

RE-ISSUED FOR R2/DP 20-10-14

Project Name
ALBERT STREET

3221 Street, Johns River
 Park, Minnesota, MN

MARCON

Client/Owner
MARCON ALBERT (S/P) LTD.

1800 NW Street
 Lakeland, FL 33509, USA

Issue Title
LEVEL 2

Drawn By
 M. I. CH.

Reviewed By
 C. CH.

Project Number
1800

Issue Date
 2/27/2014

Issue Date
 2/27/2014

Scale
 1/16" = 1'-0"

Sheet Number of
B

A3.03

2014-02-27 10:00 AM



200 North Main Street
Suite 1000, Boston, MA 02109
T 617.452.1000 | info@harsco.com

[illegible]

RE-ISSUED FOR RZ/DP 20-10-14

Project Site
ALBERT STREET

2018 Saint Johns Street
Port Maudslayi, NC

MARCON

MARCON ALBERT (GP) LTD.
5651 150 Street
Langley, BC V4M 1W0
LEVEL 4

Reviewed by
CIB

Project Number
100

File Name	Issue Date
20100914	20100914

State	Insulation
ME - 1.5"	R

Page 10

A3.04

CONVERTING LOCAL TIMEZONE TO GMT: `strtotime('now')`



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[illegible]

PRE-ISSUED FOR PZ/DP 20-10-14

ALBERT STREET

3219 Saint Johns Street
Port Moody, BC

MARCON

MARCONI ALBERT (GP) LTD.
 1001 100 Street
 Langley, BC V0A 1H0
 Phone 116
 LEVEL 5

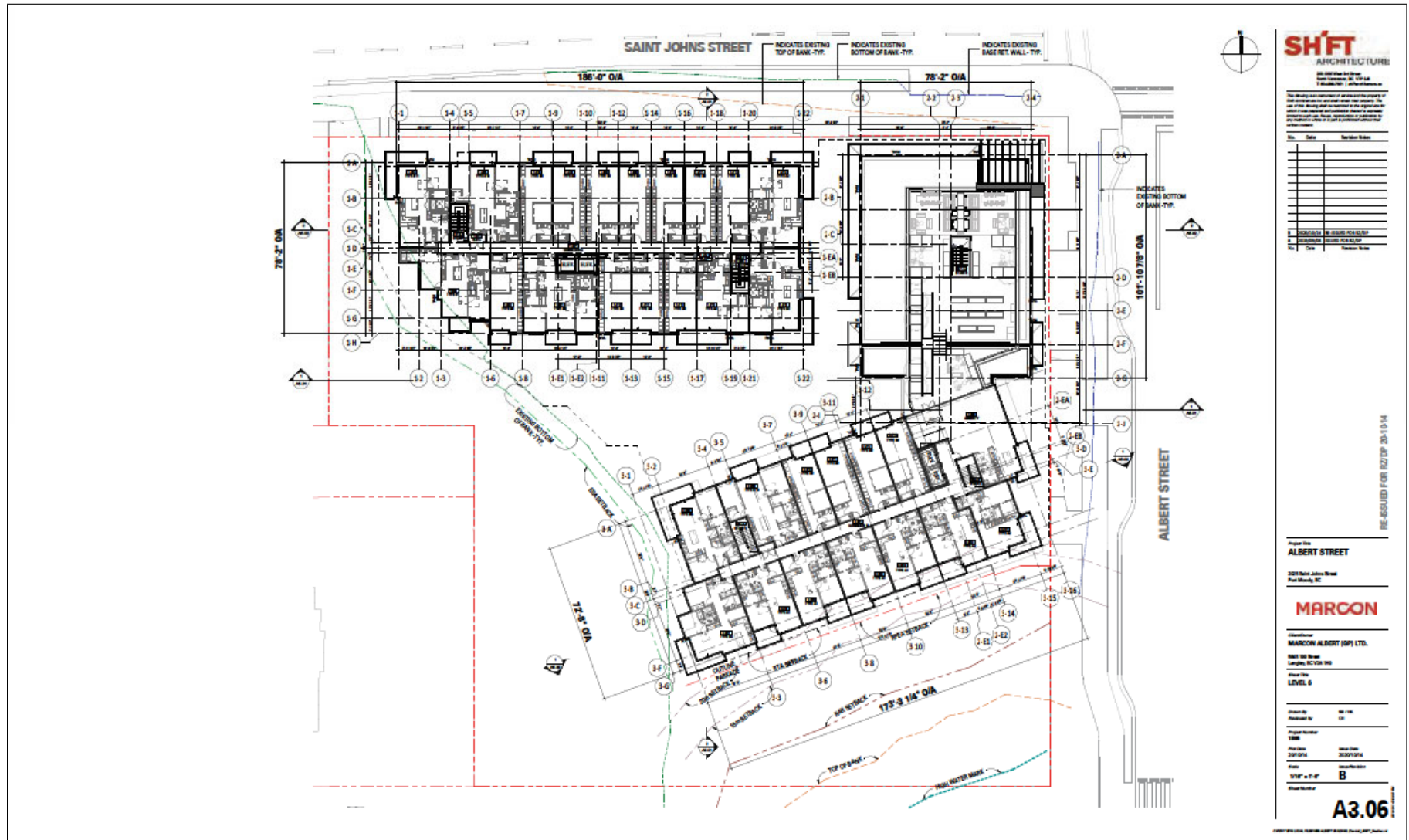
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 Reduced by: 0%

Project Number	1000
File Date	10/01/2004
Issue Date	10/01/2004

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Considered at the Special Council Meeting of June 15, 2021



[illegible][illegible]

PRE-ISSUED FOR RZ/DP 21-05-04

Project Title
ALBERT STREET

3228 Saint Johns Street
Port Moody, BC

MARCON

Client Name
MARCON ALBERT (GP) LTD.

5455 150 Street
Langley, BC V5A 1H6

Project Title
ROOF PLAN

Drawn by:	MS / MS
Reviewed by:	CM
Project Number:	
1000	
Parties:	Issue Date:
21/08/04	2021/08/04
Scale:	Issue Revision:
1/8" = 1'-0"	C

A3.07

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Considered at the Special Council Meeting of June 15, 2021



Considered at the Special Council Meeting of June 15, 2021



1 B1 - NORTH ELEVATION
10' x 10'

MATERIAL LEGEND

- | | |
|------|---|
| C-02 | CONCRETE/PAVEL, C/W/THIN AND FLAMING TO MATCH MR 20-22 "SMALL" WHITE |
| C-03 | CONCRETE/PAVEL, C/W/THIN AND FLAMING TO MATCH MR 20-22 "SMALL" WHITE |
| C-04 | PREFINISHED ALUMINUM GLAZING PANEL - AL-020500 SLATE |
| C-05 | PREFINISHED ALUMINUM GLAZING PANEL - AL-020500 TO MATCH MR 20-24 "TALL" WHITE |
| C-06 | PREFINISHED ALUMINUM GLAZING PANEL - AL-020500 SLATE |
| C-07 | PREFINISHED ALUMINUM GLAZING PANEL - AL-020500 SLATE |
| C-08 | PREFINISHED ALUMINUM GLAZING PANEL - AL-020500 TUMBLE ROLL "TALL" WHITE |
| C-09 | PREFINISHED ALUMINUM GLAZING PANEL - AL-020500 WHITE |
| C-10 | "1/2" CORRUGATED METAL GLAZING - BLK CARBIDE WHITE |
| C-11 | ARCHITECTURAL CONCRETE - C/W GLASS BLOCK TUBULAR OR BISHA ELASTIC/STAIN PANT |
| C-12 | CONCRETE GRAY/6-40 |
| D-01 | WINDOW SLIDING - CLEAR |
| D-02 | WIDE WINDOW C/W 2X-6 DOUBLE GLAZING - BLACK |
| D-03 | WIDE WINDOW C/W 2X-6 DOUBLE GLAZING - BLACK |
| D-04 | ALUMINUM CLUTTER WALL SYSTEM C/W 2X-6 DOUBLE GLAZING - BLACK |
| D-05 | PAINTED WOOD OR FRAMING INTERIOR C/W 2X-6 DOUBLE GLAZING - BLACK |
| D-06 | 2X-6 CLUTTER WALL SYSTEM PAINTED TO MATCH MR WINDOW/DOR |
| D-07 | SPACED TIE IN C/W 2X-6 DOUBLE GLAZING - BLACK |
| D-08 | PREFINISHED ALUMINUM GLAZING - MARCH METALS 316 BLK CARBIDE WHITE |
| D-09 | PREFINISHED ALUMINUM GLAZING - MARCH METALS 316 BLK CARBIDE WHITE |
| D-10 | FIXED GLAZING PANEL |
| D-11 | BLK - BROWN METAL - 1/2" BISHA - PAINTED - DARK BROWN/STAIN - GRAY/STAIN |
| D-12 | PAINTED METAL - TO MATCH MR 20-14 TALL WHITE |

NATURAL LEGEND

- [illegible]



2 B1 - EAST ELEVATION



SHIFT
ARCHITECTURE

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Sis.	Date	Description - Notes
B	08/06/2019	RECEIVED PG&E \$2,750
a	08/06/2019	RECEIVED PG&E \$2,750
No.	Date	Description - Notes

RE-ISSUED FOR PZ/DP 20-10-14

Project Site
ALBERT STREET

3218 Saint Johns Street
 Fort Monry, NC

MARCON

MARCON ALBERT (GP) LTD.

Langley, BC V0A 1H0

Reviewed by _____ (CIR)

Project Number _____

Address _____

File Name	Issue Date
20110714	20120710

8

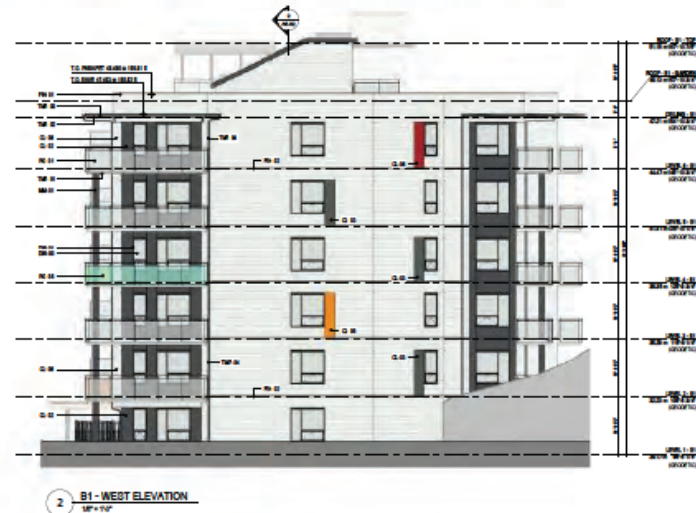
A4

DOI: 10.1002/for

Considered at the Special Council Meeting of June 15, 2021



- [illegible]



The study was conducted at various levels and the property of that information is not distributed over property. The use of the study data is limited to the approach to which it was applied and published. There is a separate section on the use of the data, and it is not a subject of the study.

No.	Date	Description-Notes
B	2006/7/18/19	RECEIVED P.O.# 62,767
a	2006/8/28/29	RECEIVED P.O.# 62,767
No.	Date	Description-Notes

RE-ISSUED FOR PZ/DP 20-10-14

ALBERT STREET

2018 Saint Johns Road
Fort Mundy, NC

MARCON

MARCON ALBERT (GP) LTD.

DOI: 10.1002/anie.201100000

B1 - ELEVATIONS

Reviewed by
 ()

Project number
1000

Plot class	Issue class
------------	-------------

2011/2012	2012/2013
100%	100%

18 • 1-4

A4.1

A4.1

Considered at the Special Council Meeting of June 15, 2021

- MATERIAL LEGEND**
- C-01 CONTINUOUS PANEL CENTER AND FLANGES TO MATCH BM 223.0-223.1 SUNK
 - C-02 CONTINUOUS PANEL CENTER AND FLANGES TO MATCH BM 223.0-223.1 SUNK
 - C-03 CONTINUOUS PANEL CENTER AND FLANGES TO MATCH BM 223.0-223.1 SUNK
 - C-04 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
 - C-05 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
 - C-06 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
 - C-07 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
 - C-08 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
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 - C-10 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
 - C-11 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
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 - C-48 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
 - C-49 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK
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 - C-100 PERFORATED ALUMINUM CLADDING PANEL - AL-33 SUNK

1 B2 - NORTH ELEVATION (NORTH)
1/8" = 1'-0"



SHIFT
ARCHITECTURE

Rev.	Date	Revision Notes
1	10/10/14	Initial Design
2	10/10/14	Revised Design
3	10/10/14	Revised Design
4	10/10/14	Revised Design
5	10/10/14	Revised Design
6	10/10/14	Revised Design
7	10/10/14	Revised Design
8	10/10/14	Revised Design
9	10/10/14	Revised Design
10	10/10/14	Revised Design

Project Name
ALBERT STREET

2221 River John Street
Pawling, NY

MARCON

Client Name
MARCON ALBERT (SP) LTD.

Client Address
2221 River John Street
Pawling, NY 10959

Project Name
B2 - NORTH & SOUTH - ELEVATIONS

Drawn By
10/10/14

Reviewed By
10/10/14

Project Number
100

Plot Date
10/10/14

Plot Scale
1/8" = 1'-0"

Plot Number
B

A4.21

[illegible]

100



10

MATERIAL LEGEND

- [illegible]

01-02-2017 10:43 AM

This architectural elevation drawing shows the facade of Building 2, a multi-story structure with a grid-like arrangement of windows and balconies. The drawing includes various annotations such as level markers (e.g., +0.00, +0.15, +0.30, +0.45, +0.60, +0.75, +0.90, +1.05, +1.20, +1.35, +1.50, +1.65, +1.80, +1.95, +2.10, +2.25, +2.40, +2.55, +2.70, +2.85, +3.00, +3.15, +3.30, +3.45, +3.60, +3.75, +3.90, +4.05, +4.20, +4.35, +4.50, +4.65, +4.80, +4.95, +5.10, +5.25, +5.40, +5.55, +5.70, +5.85, +6.00, +6.15, +6.30, +6.45, +6.60, +6.75, +6.90, +7.05, +7.20, +7.35, +7.50, +7.65, +7.80, +7.95, +8.10, +8.25, +8.40, +8.55, +8.70, +8.85, +9.00, +9.15, +9.30, +9.45, +9.60, +9.75, +9.90, +10.05, +10.20, +10.35, +10.50, +10.65, +10.80, +10.95, +11.10, +11.25, +11.40, +11.55, +11.70, +11.85, +12.00, +12.15, +12.30, +12.45, +12.60, +12.75, +12.90, +13.05, +13.20, +13.35, +13.50, +13.65, +13.80, +13.95, +14.10, +14.25, +14.40, +14.55, +14.70, +14.85, +15.00, +15.15, +15.30, +15.45, +15.60, +15.75, +15.90, +16.05, +16.20, +16.35, +16.50, +16.65, +16.80, +16.95, +17.10, +17.25, +17.40, +17.55, +17.70, +17.85, +18.00, +18.15, +18.30, +18.45, +18.60, +18.75, +18.90, +19.05, +19.20, +19.35, +19.50, +19.65, +19.80, +19.95, +20.10, +20.25, +20.40, +20.55, +20.70, +20.85, +21.00, +21.15, +21.30, +21.45, +21.60, +21.75, +21.90, +22.05, +22.20, +22.35, +22.50, +22.65, +22.80, +22.95, +23.10, +23.25, +23.40, +23.55, +23.70, +23.85, +24.00, +24.15, +24.30, +24.45, +24.60, +24.75, +24.90, +25.05, +25.20, +25.35, +25.50, +25.65, +25.80, +25.95, +26.10, +26.25, +26.40, +26.55, +26.70, +26.85, +27.00, +27.15, +27.30, +27.45, +27.60, +27.75, +27.90, +28.05, +28.20, +28.35, +28.50, +28.65, +28.80, +28.95, +29.10, +29.25, +29.40, +29.55, +29.70, +29.85, +30.00, +30.15, +30.30, +30.45, +30.60, +30.75, +30.90, +31.05, +31.20, +31.35, +31.50, +31.65, +31.80, +31.95, +32.10, +32.25, +32.40, +32.55, +32.70, +32.85, +33.00, +33.15, +33.30, +33.45, +33.60, +33.75, +33.90, +34.05, +34.20, +34.35, +34.50, +34.65, +34.80, +34.95, +35.10, +35.25, +35.40, +35.55, +35.70, +35.85, +36.00, +36.15, +36.30, +36.45, +36.60, +36.75, +36.90, +37.05, +37.20, +37.35, +37.50, +37.65, +37.80, +37.95, +38.10, +38.25, +38.40, +38.55, +38.70, +38.85, +39.00, +39.15, +39.30, +39.45, +39.60, +39.75, +39.90, +40.05, +40.20, +40.35, +40.50, +40.65, +40.80, +40.95, +41.10, +41.25, +41.40, +41.55, +41.70, +41.85, +42.00, +42.15, +42.30, +42.45, +42.60, +42.75, +42.90, +43.05, +43.20, +43.35, +43.50, +43.65, +43.80, +43.95, +44.10, +44.25, +44.40, +44.55, +44.70, +44.85, +45.00, +45.15, +45.30, +45.45, +45.60, +45.75, +45.90, +46.05, +46.20, +46.35, +46.50, +46.65, +46.80, +46.95, +47.10, +47.25, +47.40, +47.55, +47.70, +47.85, +48.00, +48.15, +48.30, +48.45, +48.60, +48.75, +48.90, +49.05, +49.20, +49.35, +49.50, +49.65, +49.80, +49.95, +50.10, +50.25, +50.40, +50.55, +50.70, +50.85, +51.00, +51.15, +51.30, +51.45, +51.60, +51.75, +51.90, +52.05, +52.20, +52.35, +52.50, +52.65, +52.80, +52.95, +53.10, +53.25, +53.40, +53.55, +53.70, +53.85, +54.00, +54.15, +54.30, +54.45, +54.60, +54.75, +54.90, +55.05, +55.20, +55.35, +55.50, +55.65, +55.80, +55.95, +56.10, +56.25, +56.40, +56.55, +56.70, +56.85, +57.00, +57.15, +57.30, +57.45, +57.60, +57.75, +57.90, +58.05, +58.20, +58.35, +58.50, +58.65, +58.80, +58.95, +59.10, +59.25, +59.40, +59.55, +59.70, +59.85, +60.00, +60.15, +60.30, +60.45, +60.60, +60.75, +60.90, +61.05, +61.20, +61.35, +61.50, +61.65, +61.80, +61.95, +62.10, +62.25, +62.40, +62.55, +62.70, +62.85, +63.00, +63.15, +63.30, +63.45, +63.60, +63.75, +63.90, +64.05, +64.20, +64.35, +64.50, +64.65, +64.80, +64.95, +65.10, +65.25, +65.40, +65.55, +65.70, +65.85, +66.00, +66.15, +66.30, +66.45, +66.60, +66.75, +66.90, +67.05, +67.20, +67.35, +67.50, +67.65, +67.80, +67.95, +68.10, +68.25, +68.40, +68.55, +68.70, +68.85, +69.00, +69.15, +69.30, +69.45, +69.60, +69.75, +69.90, +70.05, +70.20, +70.35, +70.50, +70.65, +70.80, +70.95, +71.10, +71.25, +71.40, +71.55, +71.70, +71.85, +72.00, +72.15, +72.30, +72.45, +72.60, +72.75, +72.90, +73.05, +73.20, +73.35, +73.50, +73.65, +73.80, +73.95, +74.10, +74.25, +74.40, +74.55, +74.70, +74.85, +75.00, +75.15, +75.30, +75.45, +75.60, +75.75, +75.90, +76.05, +76.20, +76.35, +76.50, +76.65, +76.80, +76.95, +77.10, +77.25, +77.40, +77.55, +77.70, +77.85, +78.00, +78.15, +78.30, +78.45, +78.60, +78.75, +78.90, +79.05, +79.20, +79.35, +79.50, +79.65, +79.80, +79.95, +80.10, +80.25, +80.40, +80.55, +80.70, +80.85, +81.00, +81.15, +81.30, +81.45, +81.60, +81.75, +81.90, +82.05, +82.20, +82.35, +82.50, +82.65, +82.80, +82.95, +83.10, +83.25, +83.40, +83.55, +83.70, +83.85, +84.00, +84.15, +84.30, +84.45, +84.60, +84.75, +84.90, +85.05, +85.20, +85.35, +85.50, +85.65, +85.80, +85.95, +86.10, +86.25, +86.40, +86.55, +86.70, +86.85, +87.00, +87.15, +87.30, +87.

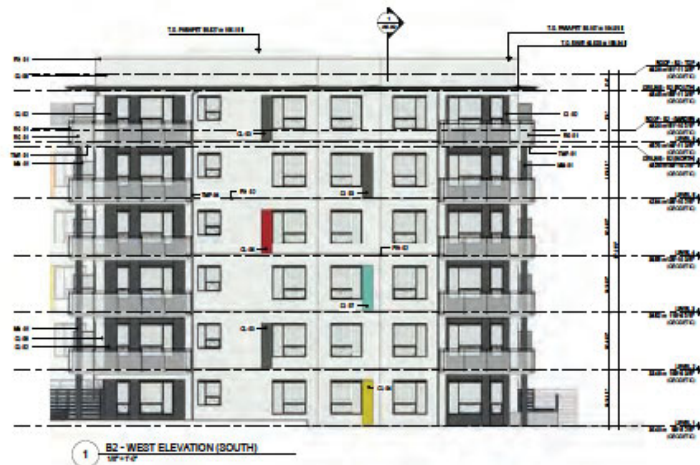
This architectural elevation drawing shows a multi-story building facade. The drawing includes various annotations and labels:

- Top Annotations:**
 - TO ROOF (CLUTTER) (CLUTTER)
 - TO ROOF (CLUTTER) (CLUTTER)
- Left Side Annotations:**
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Considered at the Special Council Meeting of June 15, 2021



- [illegible]



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No.	Date	Description-Notes
B	2020/07/06	B-BUSINESS PCL BZLSP
S	2020/08/09	S-SUBSIDIARY PCL BZLSP
No.	Date	Description-Notes

RE-ISSUED FOR RZTP 20-10-14

ALBERT STREET

3215 Saint Johns Street
Port Moody, BC

MARCON

MARCON ALBERT (GP) LTD.

NAME: _____
Langley, BC V2M 1H9

B2 - SOUTH - ELEVATIONS

Project Number	1100
File Name	Issue Date

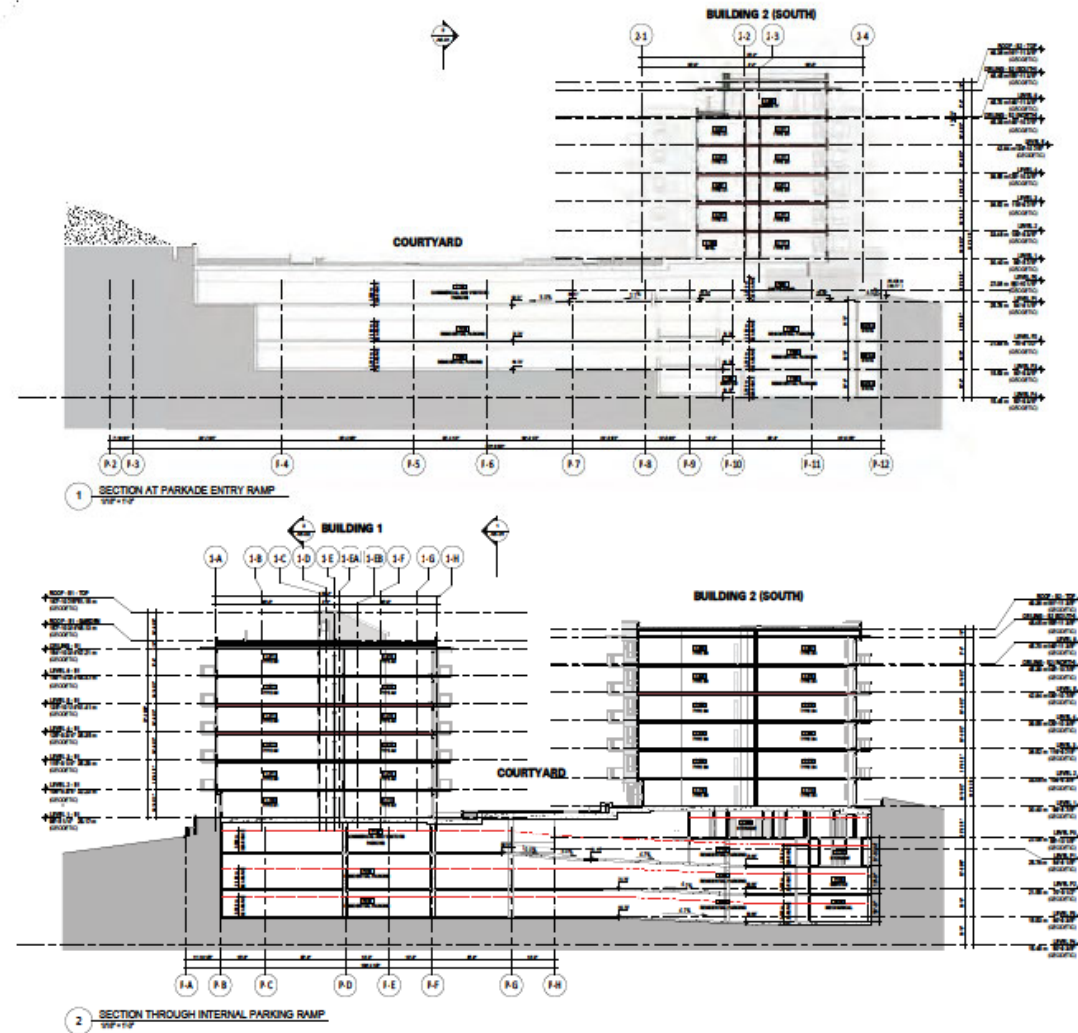
2010-2011	2011-2012
100	100

18" x 14" **B**
 Sheet Number

A4 24

A4.241

Considered at the Special Council Meeting of June 15, 2021



SHFT
ARCHITECTURE

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Rev.	Date	Description
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2	10/15/20	ISSUED FOR PERMIT
3	10/15/20	ISSUED FOR PERMIT
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89	10/15/20	ISSUED FOR PERMIT
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96	10/15/20	ISSUED FOR PERMIT
97	10/15/20	ISSUED FOR PERMIT
98	10/15/20	ISSUED FOR PERMIT
99	10/15/20	ISSUED FOR PERMIT
100	10/15/20	ISSUED FOR PERMIT

Project Name
ALBERT STREET

2221 North John Street
Pawtucket, RI 02860

MARCON

Client Name
MARCON ALBERT (SP) LTD.

Client Address
2221 North John Street
Pawtucket, RI 02860

Project Name
BUILDING SECTIONS

Drawn By
Reviewed By

Project Number
100

Plot Date
10/15/20

Issue Date
10/15/20

Scale
1/8" = 1'-0"

Sheet Number
B

A5.01

RE-ASSUED FOR RZTP 20-10-14

SECTION 1 - EAST / WEST - BUILDING 2 (SOUTH WING)
 1-12 1-13 1-14 1-15 1-16 1-17 1-18 1-19 1-20 1-21 1-22 1-23 1-24 1-25 1-26 1-27 1-28 1-29 1-30 1-31 1-32 1-33 1-34 1-35 1-36 1-37 1-38 1-39 1-40 1-41 1-42 1-43 1-44 1-45 1-46 1-47 1-48 1-49 1-50 1-51 1-52 1-53 1-54 1-55 1-56 1-57 1-58 1-59 1-60 1-61 1-62 1-63 1-64 1-65 1-66 1-67 1-68 1-69 1-70 1-71 1-72 1-73 1-74 1-75 1-76 1-77 1-78 1-79 1-80 1-81 1-82 1-83 1-84 1-85 1-86 1-87 1-88 1-89 1-90 1-91 1-92 1-93 1-94 1-95 1-96 1-97 1-98 1-99 1-100 1-101 1-102 1-103 1-104 1-105 1-106 1-107 1-108 1-109 1-110 1-111 1-112 1-113 1-114 1-115 1-116 1-117 1-118 1-119 1-120 1-121 1-122 1-123 1-124 1-125 1-126 1-127 1-128 1-129 1-130 1-131 1-132 1-133 1-134 1-135 1-136 1-137 1-138 1-139 1-140 1-141 1-142 1-143 1-144 1-145 1-146 1-147 1-148 1-149 1-150 1-151 1-152 1-153 1-154 1-155 1-156 1-157 1-158 1-159 1-160 1-161 1-162 1-163 1-164 1-165 1-166 1-167 1-168 1-169 1-170 1-171 1-172 1-173 1-174 1-175 1-176 1-177 1-178 1-179 1-180 1-181 1-182 1-183 1-184 1-185 1-186 1-187 1-188 1-189 1-190 1-191 1-192 1-193 1-194 1-195 1-196 1-197 1-198 1-199 1-200 1-201 1-202 1-203 1-204 1-205 1-206 1-207 1-208 1-209 1-210 1-211 1-212 1-213 1-214 1-215 1-216 1-217 1-218 1-219 1-220 1-221 1-222 1-223 1-224 1-225 1-226 1-227 1-228 1-229 1-230 1-231 1-232 1-233 1-234 1-235 1-236 1-237 1-238 1-239 1-240 1-241 1-242 1-243 1-244 1-245 1-246 1-247 1-248 1-249 1-250 1-251 1-252 1-253 1-254 1-255 1-256 1-257 1-258 1-259 1-260 1-261 1-262 1-263 1-264 1-265 1-266 1-267 1-268 1-269 1-270 1-271 1-272 1-273 1-274 1-275 1-276 1-277 1-278 1-279 1-280 1-281 1-282 1-283 1-284 1-285 1-286 1-287 1-288 1-289 1-290 1-291 1-292 1-293 1-294 1-295 1-296 1-297 1-298 1-299 1-300 1-301 1-302 1-303 1-304 1-305 1-306 1-307 1-308 1-309 1-310 1-311 1-312 1-313 1-314 1-315 1-316 1-317 1-318 1-319 1-320 1-321 1-322 1-323 1-324 1-325 1-326 1-327 1-328 1-329 1-330 1-331 1-332 1-333 1-334 1-335 1-336 1-337 1-338 1-339 1-340 1-341 1-342 1-343 1-344 1-345 1-346 1-347 1-348 1-349 1-350 1-351 1-352 1-353 1-354 1-355 1-356 1-357 1-358 1-359 1-360 1-361 1-362 1-363 1-364 1-365 1-366 1-367 1-368 1-369 1-370 1-371 1-372 1-373 1-374 1-375 1-376 1-377 1-378 1-379 1-380 1-381 1-382 1-383 1-384 1-385 1-386 1-387 1-388 1-389 1-390 1-391 1-392 1-393 1-394 1-395 1-396 1-397 1-398 1-399 1-400 1-401 1-402 1-403 1-404 1-405 1-406 1-407 1-408 1-409 1-410 1-411 1-412 1-413 1-414 1-415 1-416 1-417 1-418 1-419 1-420 1-421 1-422 1-423 1-424 1-425 1-426 1-427 1-428 1-429 1-430 1-431 1-432 1-433 1-434 1-435 1-436 1-437 1-438 1-439 1-440 1-441 1-442 1-443 1-444 1-445 1-446 1-447 1-448 1-449 1-450 1-451 1-452 1-453 1-454 1-455 1-456 1-457 1-458 1-459 1-460 1-461 1-462 1-463 1-464 1-465 1-466 1-467 1-468 1-469 1-470 1-471 1-472 1-473 1-474 1-475 1-476 1-477 1-478 1-479 1-480 1-481 1-482 1-483 1-484 1-485 1-486 1-487 1-488 1-489 1-490 1-491 1-492 1-493 1-494 1-495 1-496 1-497 1-498 1-499 1-500 1-501 1-502 1-503 1-504 1-505 1-506 1-507 1-508 1-509 1-510 1-511 1-512 1-513 1-514 1-515 1-516 1-517 1-518 1-519 1-520 1-521 1-522 1-523 1-524 1-525 1-526 1-527 1-528 1-529 1-530 1-531 1-532 1-533 1-534 1-535 1-536 1-537 1-538 1-539 1-540 1-541 1-542 1-543 1-544 1-545 1-546 1-547 1-548 1-549 1-550 1-551 1-552 1-553 1-554 1-555 1-556 1-557 1-558 1-559 1-560 1-561 1-562 1-563 1-564 1-565 1-566 1-567 1-568 1-569 1-570 1-571 1-572 1-573 1-574 1-575 1-576 1-577 1-578 1-579 1-580 1-581 1-582 1-583 1-584 1-585 1-586 1-587 1-588 1-589 1-590 1-591 1-592 1-593 1-594 1-595 1-596 1-597 1-598 1-599 1-600 1-601 1-602 1-603 1-604 1-605 1-606 1-607 1-608 1-609 1-610 1-611 1-612 1-613 1-614 1-615 1-616 1-617 1-618 1-619 1-620 1-621 1-622 1-623 1-624 1-625 1-626 1-627 1-628 1-629 1-630 1-631 1-632 1-633 1-634 1-635 1-636 1-637 1-638 1-639 1-640 1-641 1-642 1-643 1-644 1-645 1-646 1-647 1-648 1-649 1-650 1-651 1-652 1-653 1-654 1-655 1-656 1-657 1-658 1-659 1-660 1-661 1-662 1-663 1-664 1-665 1-666 1-667 1-668 1-669 1-670 1-671 1-672 1-673 1-674 1-675 1-676 1-677 1-678 1-679 1-680 1-681 1-682 1-683 1-684 1-685 1-686 1-687 1-688 1-689 1-690 1-691 1-692 1-693

[illegible]

RE-ISSUED FOR R2/DP 20-10-14

Project Site
ALBERT STREET

328 Saint Johns Road
Port Moody BC

MARCON

MARCON ALBERT (GP) LTD.

Langley, BC V8M 1H5

BUILDING SECTIONS

Reviewed by
CIB

Project Number

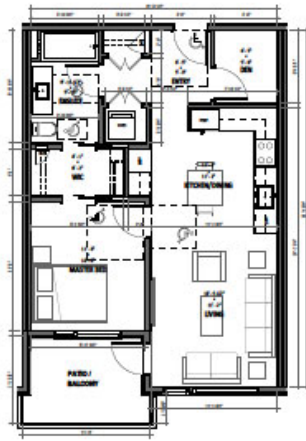
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Date	Inspection
2021/01/14	2021/01/14

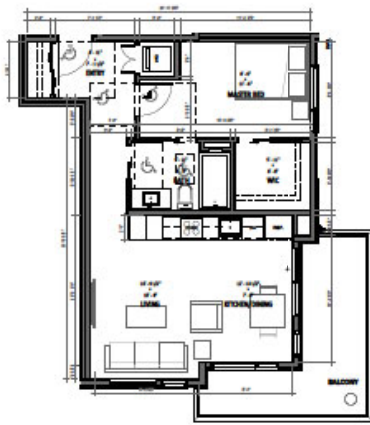
Page 8 of 8

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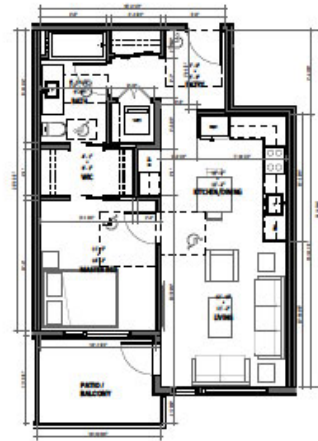
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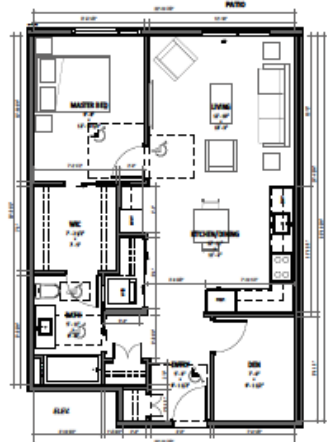
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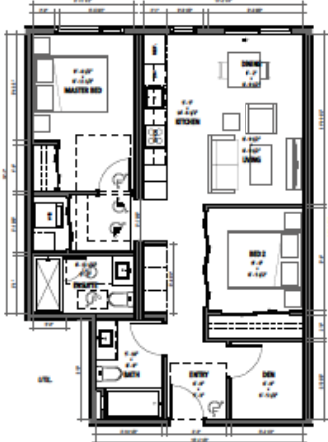
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50' x 10'



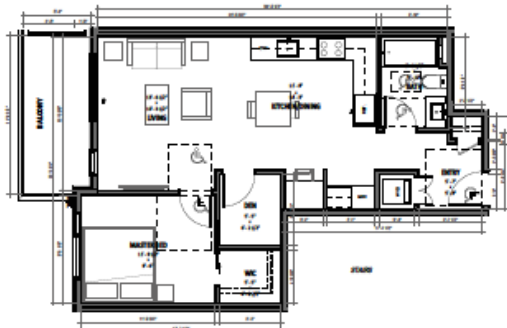
3 UNIT TYPE A3
50' x 10'



4 UNIT TYPE A4
50' x 10'



5 UNIT TYPE A5
50' x 10'



6 UNIT TYPE A6
50' x 10'

- NOTES:**
1. UNITS WHICH ARE NOT INDICATED SHALL BE CONSIDERED AS NOT BEING PART OF THE PROJECT. ALL OTHERS SHALL BE CONSIDERED AS PART OF THE PROJECT.
 2. UNITS WHICH ARE NOT INDICATED SHALL BE CONSIDERED AS NOT BEING PART OF THE PROJECT. ALL OTHERS SHALL BE CONSIDERED AS PART OF THE PROJECT.
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Rev.	Date	Revised By
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Project Name
ALBERT STREET

2221 North John Street
Pawling, NY 12565

MARCON

Client Name
MARCON ALBERT (SP) LTD.

Unit Name
UNIT A1, A2, A3, A4, A5, A6

Unit Size
50' x 10'

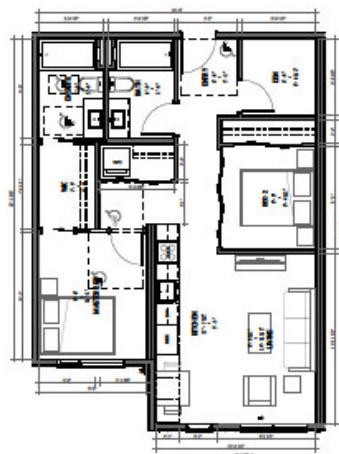
Unit Count
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Unit Type
B

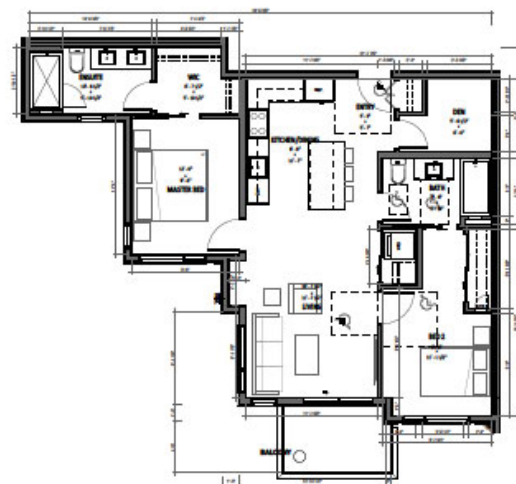
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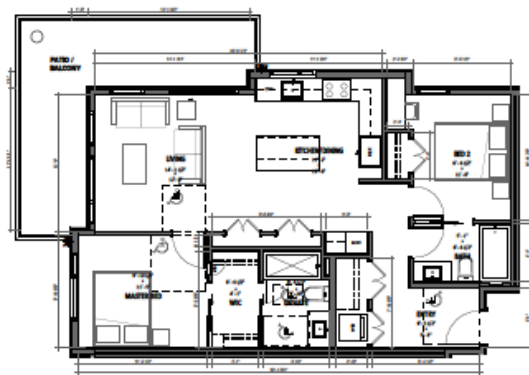
1 UNIT TYPE A7
SF=712



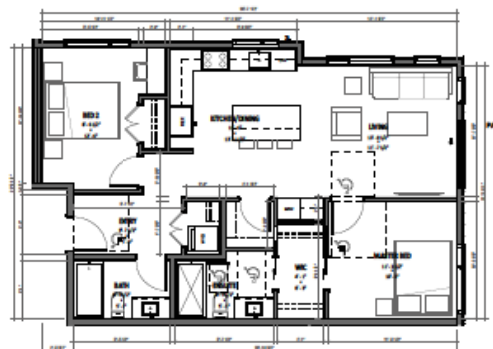
2 UNIT TYPE A5
SF=712



3 UNIT TYPE B1
SF=712



4 UNIT TYPE B2
SF=712



5 UNIT TYPE B3
SF=712

NOTES:

1. DIMENSIONS AND NOT DIMENSIONS SHALL BE CONSIDERED AS THE BASIS FOR CONSTRUCTION. DIMENSIONS SHALL BE CONSIDERED AS THE BASIS FOR CONSTRUCTION. DIMENSIONS SHALL BE CONSIDERED AS THE BASIS FOR CONSTRUCTION.
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6	10/10/20	10/10/20
7	10/10/20	10/10/20
8	10/10/20	10/10/20
9	10/10/20	10/10/20
10	10/10/20	10/10/20

Project Name

ALBERT STREET

2221 Park Avenue West

Park Heights, MD

Project Number

MARCON

Client Name

MARCON ALBERT (SP) LTD.

Project Location

2221 Park Avenue West

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

UNIT A7, A8, B1, B2, B3

Project Number

10/10/20

Project Name

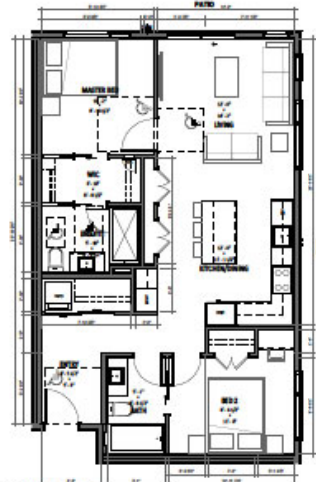
UNIT A7, A8, B1, B2, B3

A8.02

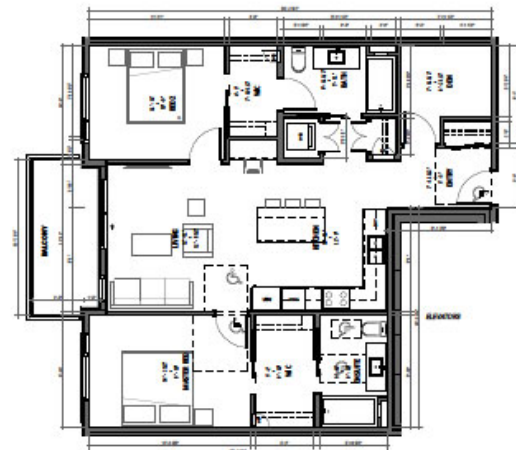
Considered at the Special Council Meeting of June 15, 2021



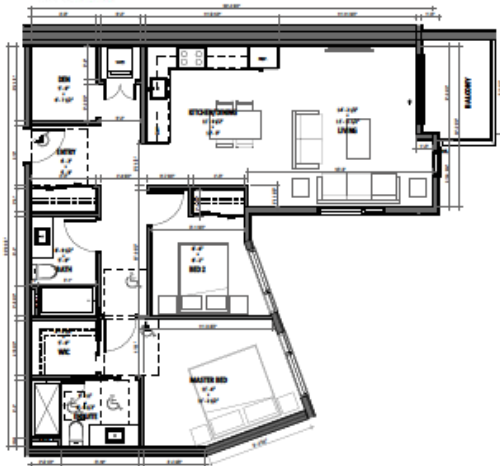
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SF = 110'



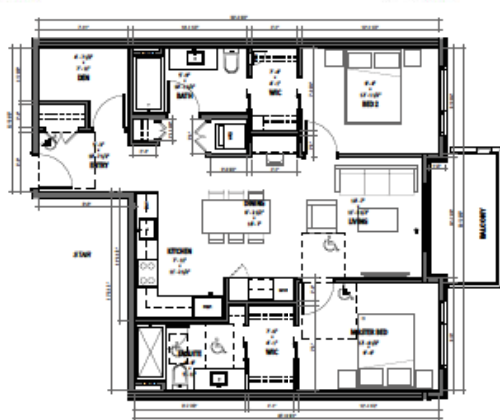
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SF = 110'



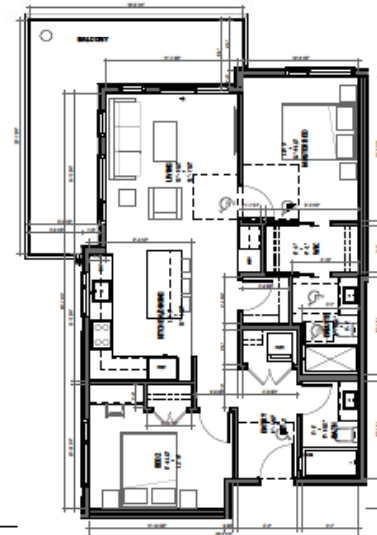
3 UNIT TYPE B6
SF = 110'



4 UNIT TYPE B7
SF = 110'



5 UNIT TYPE B8
SF = 110'



6 UNIT TYPE B9
SF = 110'

- NOTES:**
1. ROOMS WHICH ARE NOT DIMENSIONED SHALL BE CENTERED BETWEEN THE WALLS. OCCUPANCY LOADS SHALL BE AS SHOWN ON THE PLANS.
 2. ROOMS TO WALLS SHALL BE AS SHOWN ON THE PLANS. ALL DIMENSIONS SHALL BE TO THE FACE OF THE WALLS UNLESS NOTED OTHERWISE.
 3. ROOMS ARE TO BE AS PER THE SPECIFICATIONS PROVIDED BY THE CONTRACTOR TO COMPLY WITH ANY APPLICABLE REQUIREMENTS.
 4. CONTRACTOR TO PROVIDE ONE (1) BATHROOM AND ONE (1) KITCHEN. ALL OTHERS SHALL BE AS NOTED OTHERWISE.
 5. ALL OTHER WALLS AT UNITS TO BE WALL TYPE WALL UNLESS NOTED OTHERWISE.
 6. UNITS TO BE WALL TYPE WALL UNLESS NOTED OTHERWISE.
 7. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE TO THE ARCHITECT FOR REVIEW. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE TO THE ARCHITECT FOR REVIEW.
 8. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE TO THE ARCHITECT FOR REVIEW. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE TO THE ARCHITECT FOR REVIEW.
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ARCHITECTURE

Rev.	Date	Revision Notes
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Project Name
ALBERT STREET

2221 North John Street
Pawtucket, RI 02861

MARCON

Architect
MARCON ALBERT (SP) LTD.

2221 North John Street
Pawtucket, RI 02861

Project Name
UNITS B4, B5, B6, B7, B8, B9

Project Number
100

Project Date
10/1/2020

Project Size
110' x 110'

Project Number
B

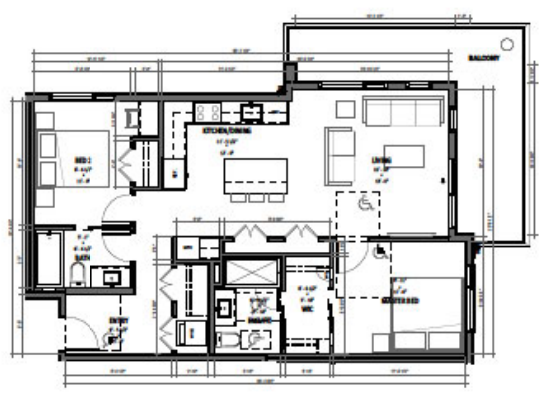
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RE-DESIGNED FOR B2/BP 20-10-14

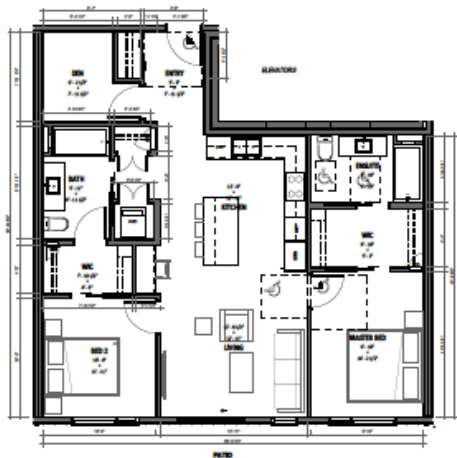
Considered at the Special Council Meeting of June 15, 2021



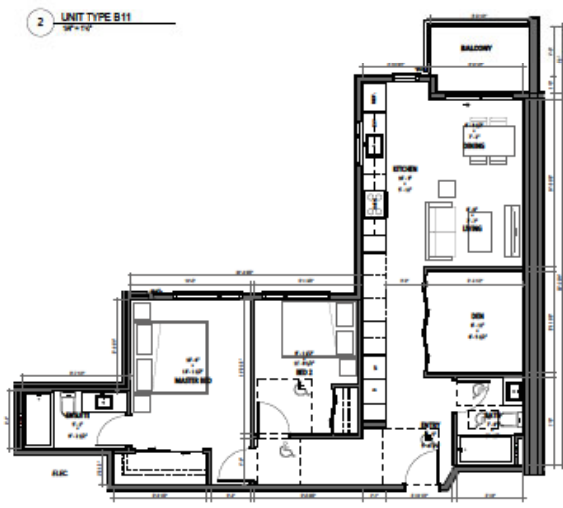
1 UNIT TYPE B10
9'0" x 11'0"



2 UNIT TYPE B11
9'0" x 11'0"



3 UNIT TYPE B12
9'0" x 11'0"



4 UNIT TYPE C1
9'0" x 11'0"

NOTES

1. UNITS WHICH ARE NOT DIMENSIONED SHALL BE CONSIDERED TO HAVE THE WALLS THIN, OCCUPYING THE SPACE BETWEEN THE WALLS, AND SHALL BE CONSIDERED TO HAVE THE WALLS THIN.
2. UNITS WHICH ARE NOT DIMENSIONED SHALL BE CONSIDERED TO HAVE THE WALLS THIN, OCCUPYING THE SPACE BETWEEN THE WALLS, AND SHALL BE CONSIDERED TO HAVE THE WALLS THIN.
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SHFT
ARCHITECTURE

300 West 1st Street
Suite 1000
Portland, ME 04101
Tel: 207.555.1234
Email: info@shftarch.com

The drawings are prepared by SHFT Architecture for the purpose of providing information to the client. They are not to be used for construction without the approval of SHFT Architecture. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities.

Rev.	Date	Description
1	10/10/20	Initial Issue
2	10/10/20	Revised
3	10/10/20	Revised
4	10/10/20	Revised
5	10/10/20	Revised
6	10/10/20	Revised
7	10/10/20	Revised
8	10/10/20	Revised
9	10/10/20	Revised
10	10/10/20	Revised

SHFT ARCHITECTURE
300 West 1st Street
Suite 1000
Portland, ME 04101
Tel: 207.555.1234
Email: info@shftarch.com

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RE-ASSIGNED FOR B2/BP 20-10-14

Project Name
ALBERT STREET

2221 West 1st Street
Portland, ME 04101

MARCON

Marcon
MARCON ALBERT (BP) LTD.

2221 West 1st Street
Portland, ME 04101

Project Name
UNITS B10, B11, B12, C1

Drawn By
Me: 100

Reviewed By
100

Project Number
100

Plot Date
10/10/20

Issue Date
10/10/20

Scale
1/4" = 1'-0"

Sheet Number
B

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Sheet Number
A8.04

Considered at the Special Council Meeting of June 15, 2021



NOTES

1. UNITS WHICH ARE NOT DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.
2. UNITS TO BE DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.
3. UNITS TO BE DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.
4. UNITS TO BE DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.
5. UNITS TO BE DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.
6. UNITS TO BE DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.
7. UNITS TO BE DIMENSIONED SHALL BE CONSIDERED TO BE THE SAME AS THE DIMENSIONS SHOWN ON THE OTHER UNITS.

SH/FT
ARCHITECTURE

Rev.	Date	Revision Notes
1	06/15/21	Initial Design
2	06/15/21	Revised Design
3	06/15/21	Final Design
4	06/15/21	Final Design
5	06/15/21	Final Design
6	06/15/21	Final Design
7	06/15/21	Final Design

Project Name
ALBERT STREET

2221 North John Street
Pawling, NY

MARCON

Marcon
MARCON ALBERT (SP) LTD.

2221 North John Street
Pawling, NY 12565

Units: S1, S2, S3, S4, S5, S6, S7

Drawn By: M. H. H.
Reviewed By: M. H. H.

Project Number: 1000
Plot Date: 06/15/21
Scale: 1/4" = 1'-0"

A8.05

Albert Street Residential Development

Landscape Set: RE-ISSUED FOR RZ/DP
MARCH 18, 2021

LANDSCAPE DRAWING LIST

- L0.0 COVER SHEET
- L0.1 TREE MANAGEMENT PLAN
- L1.0 LAYOUT & MATERIALS - LEVEL 1
- L1.01 LAYOUT & MATERIALS - LEVEL P1
- L1.1 LAYOUT & MATERIALS - ROOF
- L1.2 ENLARGEMENT - COURTYARD LAYOUT
- L1.3 ENLARGEMENTS - COMMERCIAL & P1
- L1.4 ENLARGEMENT - BUILDING 1 ROOF
- L1.5 ENLARGEMENT - BUILDING 2 ROOF
- L2.0 GRADING PLAN - LEVEL 1
- L3.0 PLANT MATERIALS
- L5.0 DETAILS - SOFTSCAPE
- L5.1 DETAILS - HARDSCAPE
- L5.2 DETAILS - FENCES & WALLS
- L5.3 DETAILS - PLAY AREA
- L5.4 DETAILS - FURNISHINGS
- L5.5 DETAILS - PLANTERS

- OFFSITE
- OSL1.0 LANDSCAPE OFFSITE - SAINT JOHN'S STREET
- OSL1.1 LANDSCAPE OFFSITE - ALBERT STREET

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SELECTION AND LAYOUT OF ALL SITE WORKS (INCLUDING, BUT NOT LIMITED TO: HARDSCAPES, SITE FURNITURE, GROWING MEDIA, TREES, AND PLANTING) IS TO BE APPROVED BY THE CITY OF VANCOUVER PRIOR TO MATERIAL ACQUISITION AND STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

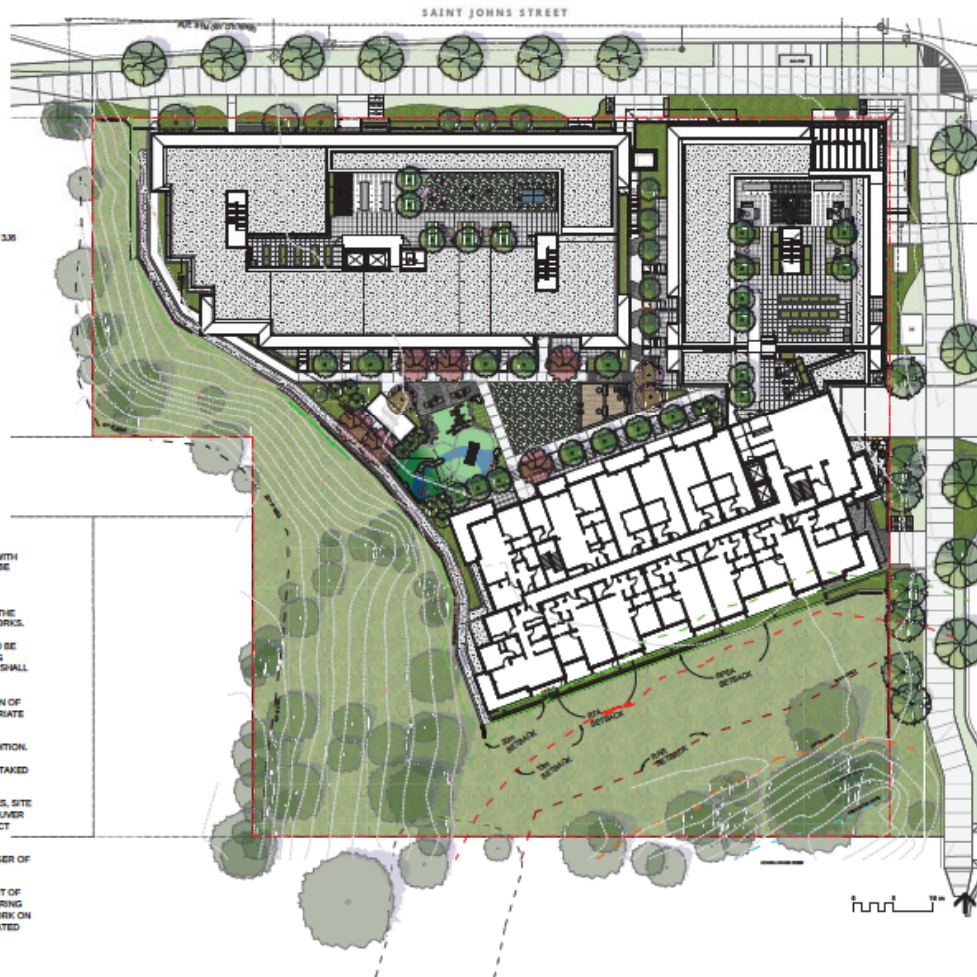
FINAL SIDEWALK LOCATION AND BOULEVARD DESIGN TO BE DETERMINED BY THE GENERAL MANAGER OF ENGINEERING SERVICES PRIOR TO BUILDING OCCUPANCY.

THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND BE ISSUED AS "FOR CONSTRUCTION". EIGHT WEEKS NOTICE IS REQUESTED. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT KEVIN CAVELL AT 604-673-7773 FOR DETAILS.

PROJECT TEAM

OWNER/DEVELOPER
MARCON ALBERT (GP) LTD.
2545-159th Street, Langley, BC V2A 1H9
604.530.5646

ARCHITECT
SHEFT ARCHITECTURE INC.
200-100 W 3 Street, North Vancouver, BC V7P 3J6
604.988.7505



connect
LANDSCAPE ARCHITECTURE

2305 PARKWAY BL, VANCOUVER BC, V6N 2Y1
TEL: 604.681.1000 FAX: 604.681.1001
WWW.CONNECT-CA.COM

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
LOCATION, AND ELEVATION OF UTILITIES AND/OR
CONCEALED STRUCTURES AND IS
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OPERATIONS.

1	RE-ISSUED FOR RZ/DP	21-03-21
2	RE-ISSUED FOR RZ/DP	21-03-21
3	RE-ISSUED FOR RZ/DP	21-03-21

REVISIONS

ALBERT STREET

2025 Saint John's Street
Port Moody, BC

Scale: 1:250

Drawn: DS

Reviewed: DS

Project No. 06-053

COVER SHEET
& DRAWING LIST

L0.0

L0.1





1	REVISED FOR R.O.P.	21-09-18
2	REVISED FOR R.O.P.	20-10-18
3	REVISED FOR R.O.P.	18-09-18

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200

Drawn: DS

Reviewed: DS

Project No. 05-053

LAYOUT & MATERIALS
LEVEL P1



1	PHASE 1 FOR R.O.P.	21-09-18
2	PHASE 2 FOR R.O.P.	20-10-18
3	PHASE 3 FOR R.O.P.	18-08-18

REVISIONS

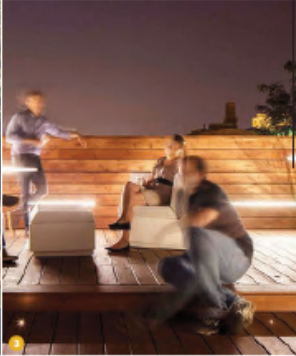
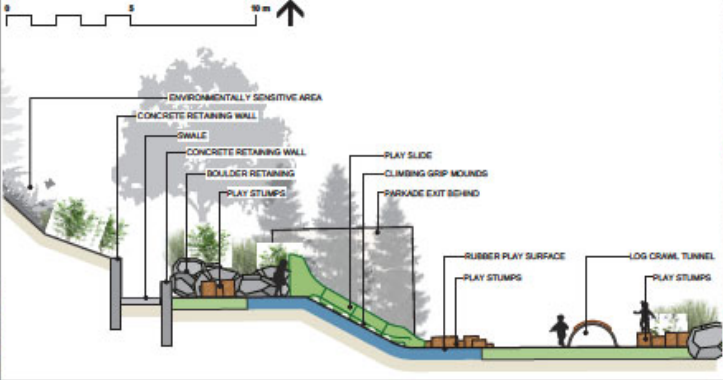
ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

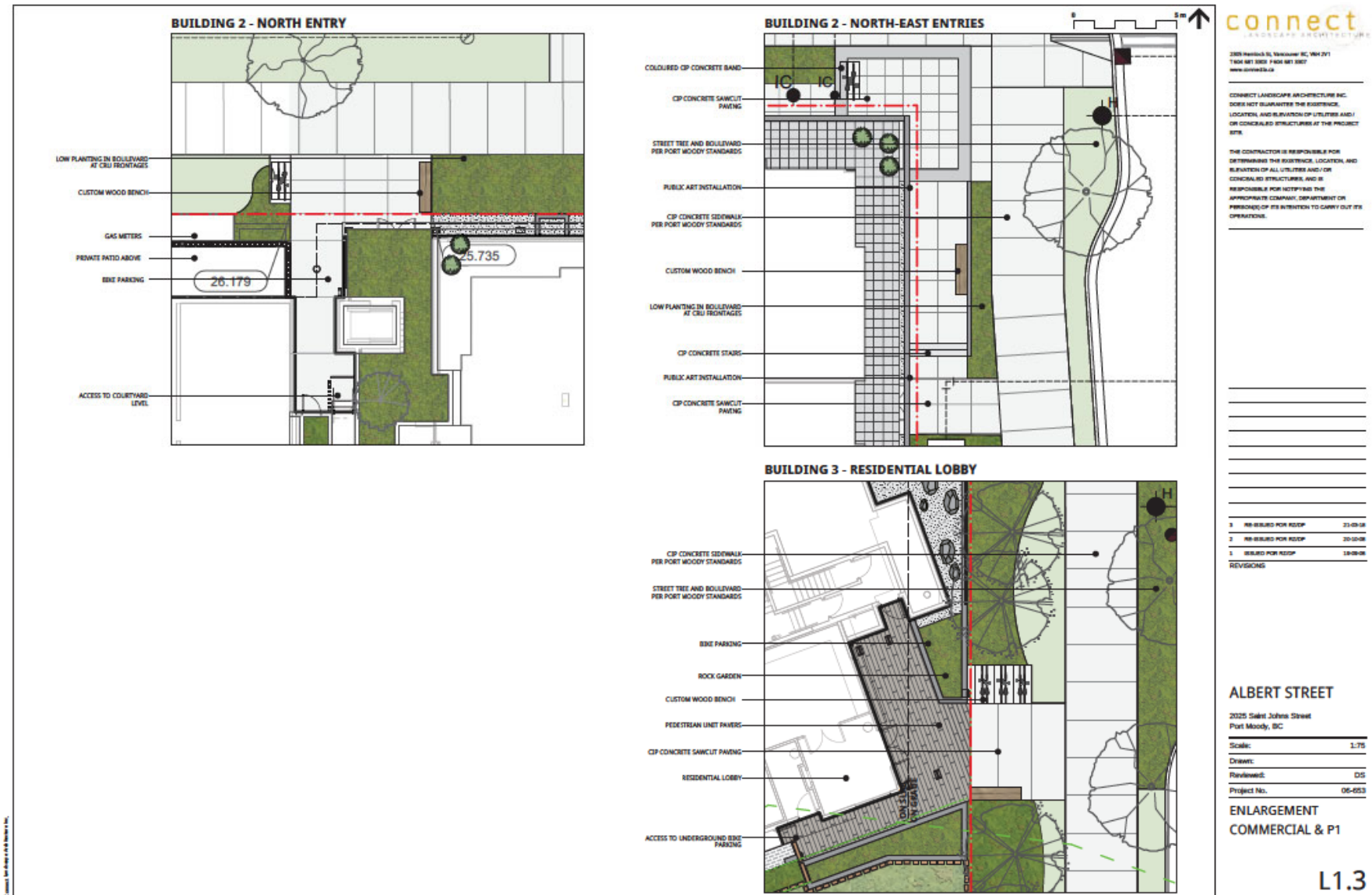
Scale: 1:75
Drawn: DS
Reviewed: DS
Project No. 06-653

ENLARGEMENT
COURTYARD LAYOUT

L1.2



Considered at the Special Council Meeting of June 15, 2021



1	AS-BUILT FOR ROOF	21-09-18
2	AS-BUILT FOR ROOF	20-10-18
3	AS-BUILT FOR ROOF	18-09-18

REVISIONS

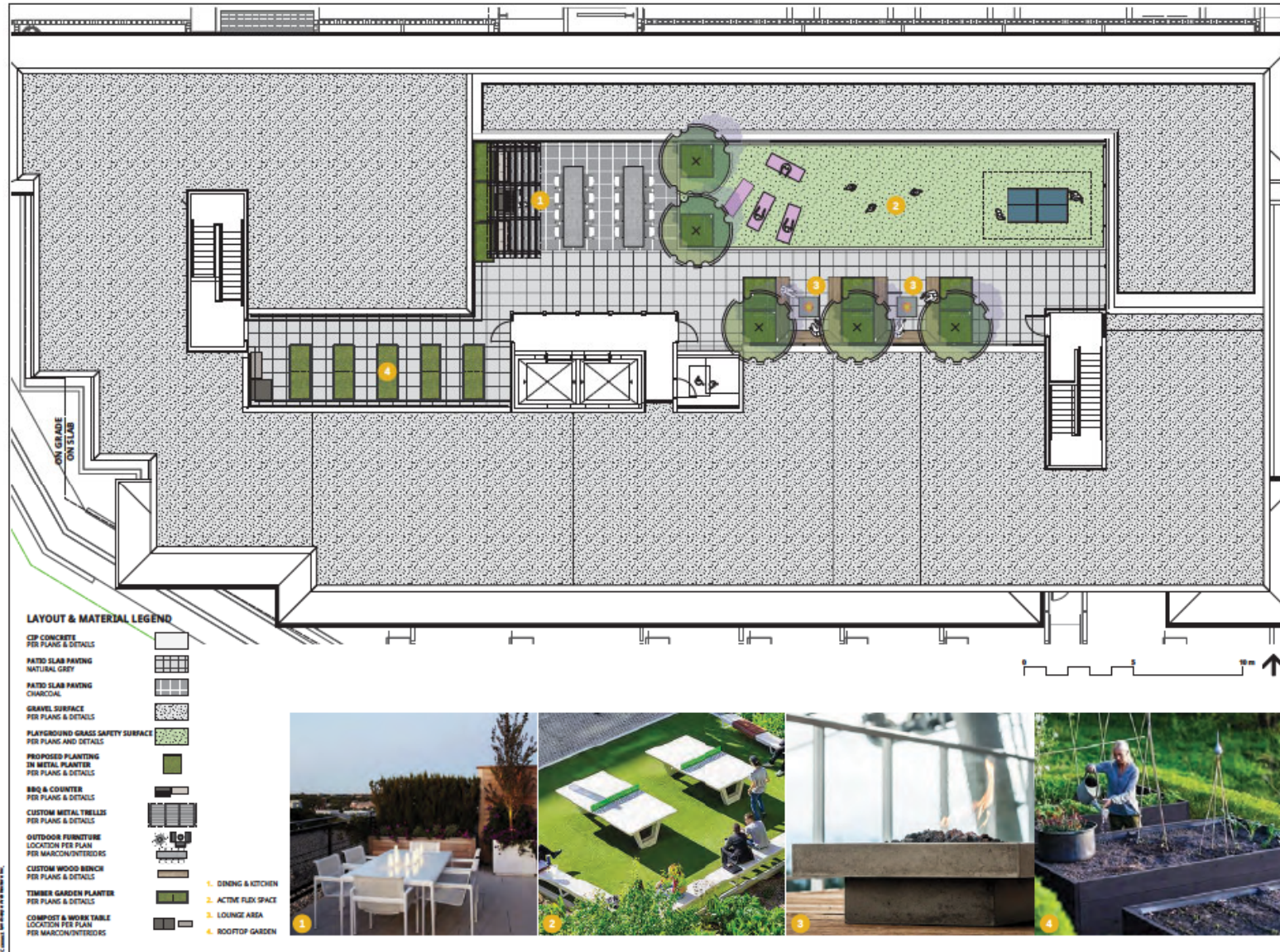
ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:75
Drawn: DS
Reviewed: DS
Project No: 06-053

ENLARGEMENT
ROOF BUILDING 1

L1.4



1	REVISED FOR R.O.P.	21-09-18
2	REVISED FOR R.O.P.	20-10-18
3	REVISED FOR R.O.P.	18-08-18

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:75

Drawn: DS

Reviewed: DS

Project No. 06-653

ENLARGEMENT
ROOF BUILDING 2

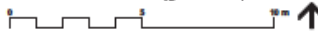
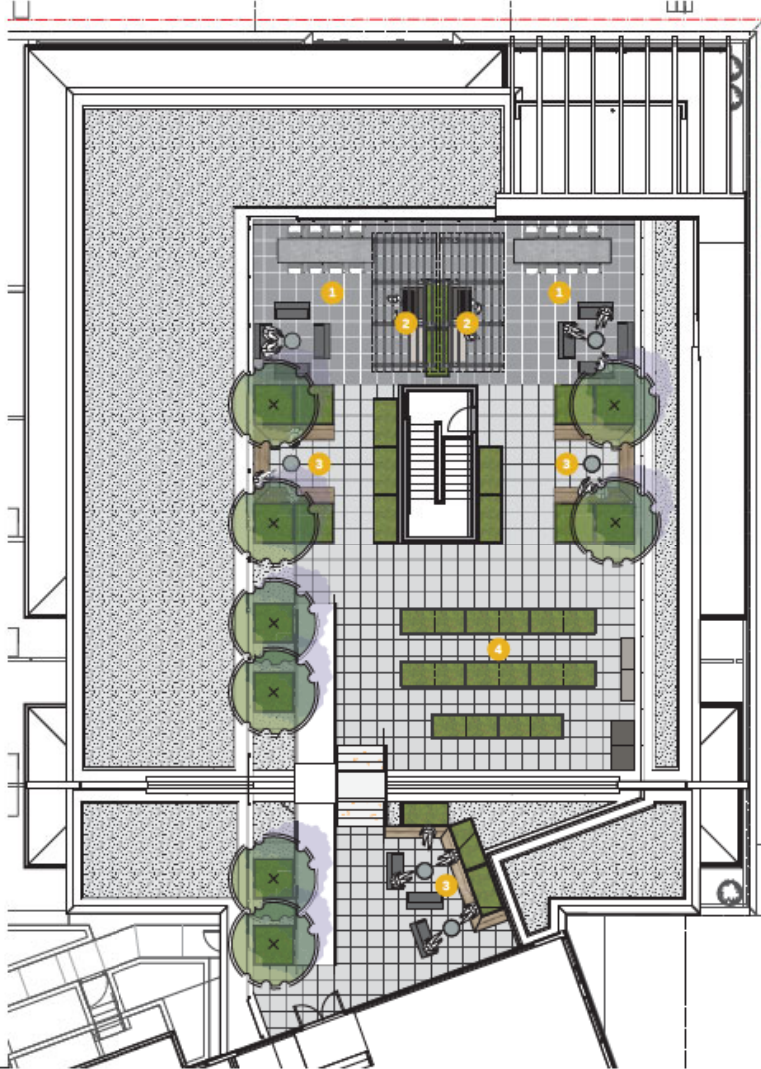
L1.5

LAYOUT & MATERIAL LEGEND

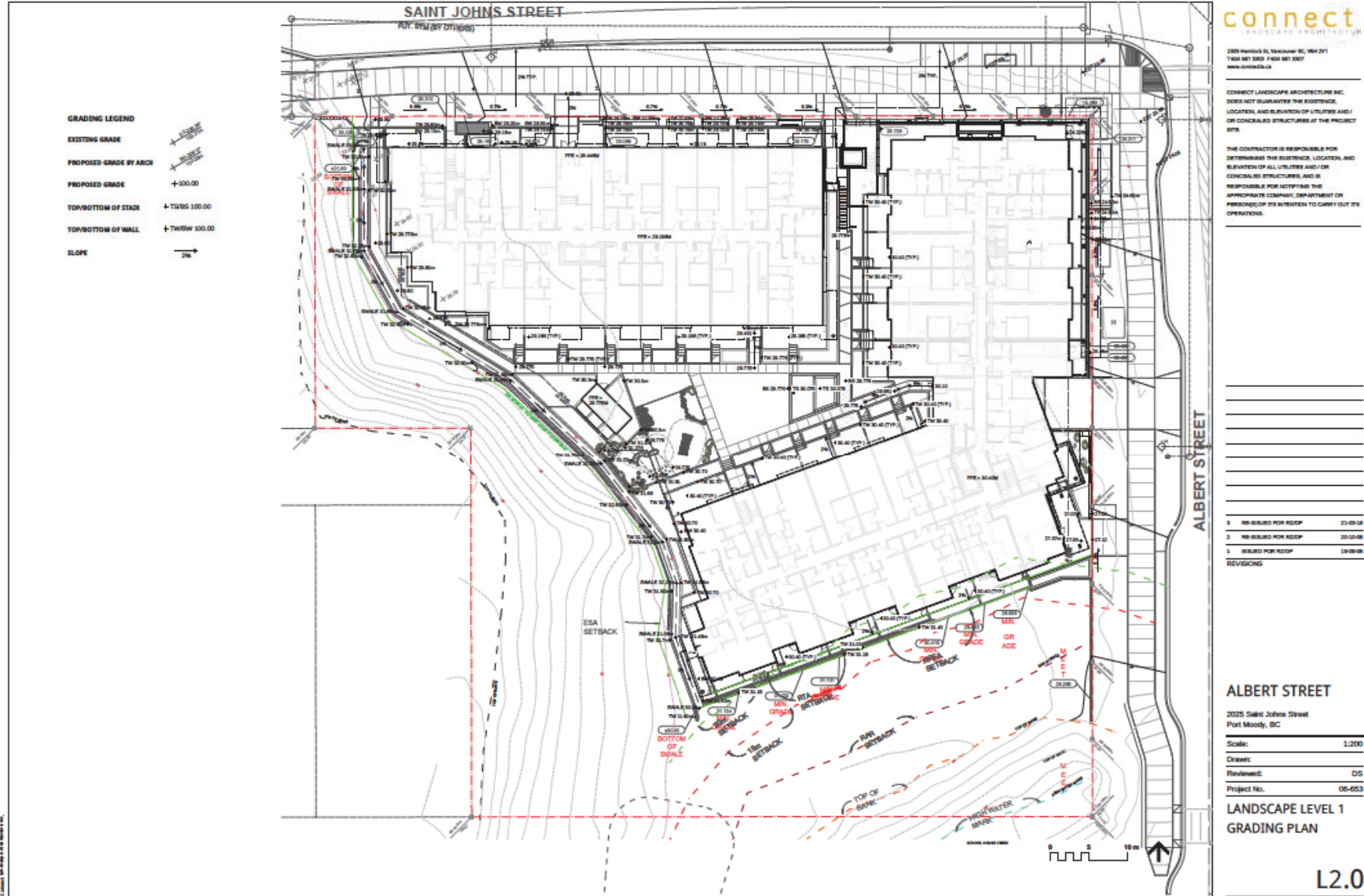
- OP CONCRETE
PER PLANS & DETAILS
- PATIO SLAB PAVING
NATURAL GREY
- PATIO SLAB PAVING
CHARCOAL
- GRAVEL SURFACE
PER PLANS & DETAILS
- PLAYGROUND GRASS SAFETY SURFACE
PER PLANS & DETAILS
- PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
- BBIQ & COUNTER
PER PLANS & DETAILS
- CUSTOM METAL TRELLIS
PER PLANS & DETAILS
- OUTDOOR FURNITURE
LOCATION PER PLAN
PER MANCON/INTERIORS
- CUSTOM WOOD BENCH
PER PLANS & DETAILS
- TIMBER GARDEN PLANTER
PER PLANS & DETAILS
- COMPOST & WORK TABLE
LOCATION PER PLAN
PER MANCON/INTERIORS



- 1. DINING AREA
- 2. OUTDOOR KITCHEN
- 3. LOUNGE AREA
- 4. ROOFTOP GARDEN



Considered at the Special Council Meeting of June 15, 2021



Considered at the Special Council Meeting of June 15, 2021



NATIVE & EVERGREEN LAYERS



Acer circinatum
Vine Maple



Iris tenuis
Oregon Iris



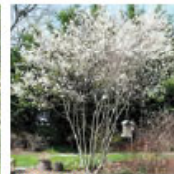
Rosa gymnocarpa
Baldhip Rose



Taxus x media 'Hickii'
Hick's Yew



ENVIRONMENTALLY SENSITIVE AREA NATIVE PLANTINGS



Arctostaphylos uva-ursi
Kinnikinnick



Arctostaphylos uva-ursi
Kinnikinnick



Malus fusca
Pacific Crabapple



Polystichum munitum
Western Sword Fern

PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES				
25	*Acer circinatum	Vine Maple	6cm cal., DBB	as shown
6	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7cm cal., DBB	as shown
3	Fraxinus pennsylvanica 'Prairie Spike'	Prairie Spike Ash	6cm cal., DBB	as shown
2	Liquidambar styraciflua 'Slender Silhouette'	Fastigiate Sweetgum	6cm cal., DBB	as shown
3	*Malus fusca	Pacific Crabapple	6cm cal., DBB	as shown
12	Picea omorika	Serbian Spruce	3M height, DBB	as shown
8	Stewartia pseudocornellia	Japanese Stewartia	6cm cal., DBB	as shown
	Street Tree Per City of Port Moody	See offsite drawings	8cm cal., DBB	as shown
SHRUBS				
4	*Amelanchier alnifolia	Saskatoon Berry	#2 pot	40" o.c.
4	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#5 pot	30" o.c.
4	*Cornus stolonifera	Red Osier Dogwood	#5 pot	30" o.c.
4	Coloneaster dumosus	Little-Leaf Cotoneaster	#2 pot	30" o.c.
4	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot	30" o.c.
4	*Physocarpus opulifolius	Pacific Ninebark	#2 pot	30" o.c.
4	*Polystichum munitum	Western Sword Fern	#2 pot	30" o.c.
4	*Rhododendron macrophyllum	Pacific Rhododendron	#5 pot	30" o.c.
4	*Rosa gymnocarpa	Baldhip Rose	#2 pot	30" o.c.
4	Sarcococca hookeriana humilis	Himalayan Sweet Box	#2 pot	30" o.c.
4	Skimmia japonica	Japanese Skimmia	#3 pot	30" o.c.
4	Stipa tenuissima	Mexican Feather Grass	#2 pot	30" o.c.
4	*Spergularia villosa	Spreading Sea Purslane	#2 pot	30" o.c.
4	*Taxus x media 'Hickii'	Hick's Yew - 1.5M height	#3 pot	30" o.c.
GROUND COVERS AND VINES				
50/50mix	*Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	30" o.c.
50/50mix	Ceanothus griseus horizontalis	Creeping California Lilac	4"(10cm) pot	30" o.c.
50/50mix	Rubus calycinoides	Emerald Carpet	4"(10cm) pot	30" o.c.
50/50mix	*Oxalis reginae	Redwood Spurge	4"(10cm) pot	30" o.c.
50/50mix	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	30" o.c.
GRASSES, PERENNIALS, BULBS, AND ANNUALS				
4	*Achillea millefolium	Yarrow	#1 pot	30" o.c.
4	*Dianthus barbatus	Bleeding Heart	#1 pot	30" o.c.
4	*Iris tenuis	Oregon Iris	#1 pot	30" o.c.

ENVIRONMENTAL SENSITIVE AREA

SEE ENVIRONMENTAL PLANTING PLAN BY KEYSTONE ENVIRONMENTAL

OFFSITE RAIN GARDENS

0	Cornus sericea 'Kalmeyer'	Dwarf Red Twig Dogwood	#1 pot	30" o.c.
0	Carex pendula	Pendulous Sedge	4" (10cm) pot	30" o.c.
0	Liatris spicata	Bleeding Star	#1 pot	30" o.c.
0	Malva repens	Creeping Oregon Grape	#1 pot	30" o.c.

* Indicates native species

PLANTING NOTE

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL TREE LOCATIONS TO BE STAKED OUT / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
5. STREETSCAPE DESIGN TO MEET CITY OF PORT MOODY STANDARDS. CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

NOTE: ALL PLANTING AREAS TO HAVE MINIMUM 300MM SOIL DEPTH TO MEET STORMWATER MANAGEMENT PLAN RECOMMENDATIONS FOR ABSORBANT LANDSCAPE

connect
LANDSCAPE ARCHITECTURE

2305 PARKWAY BL, VANCOUVER BC, V6N 2Y1
TEL: 604 681 7888 FAX: 604 681 7887
www.connectla.ca

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
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CONCEALED STRUCTURES AT THE PROJECT
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PERSONNEL OF ITS INTENTION TO CARRY OUT ITS
OPERATIONS.

1	REVISED FOR R.O.P.	21-09-18
2	REVISED FOR R.O.P.	20-10-18
3	REVISED FOR R.O.P.	18-08-18

REVISIONS

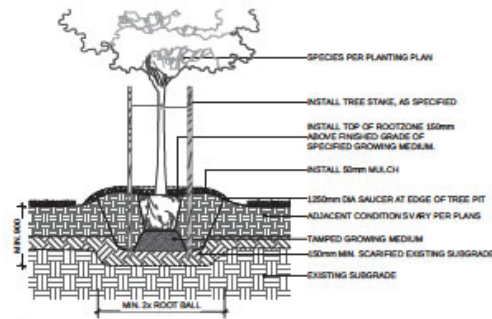
ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

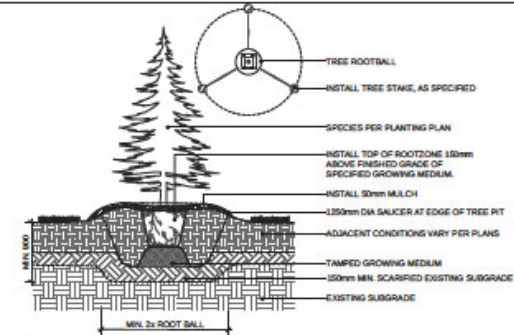
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Drawn:	
Reviewed:	DS
Project No.	06-053

LANDSCAPE MATERIALS

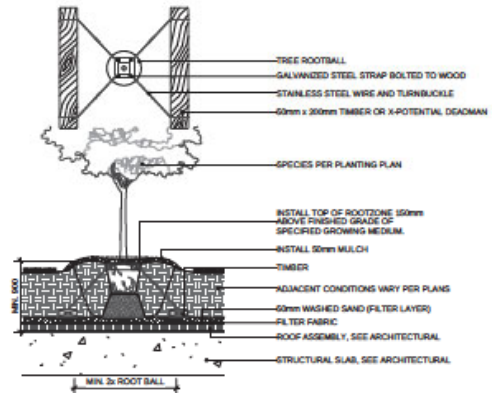
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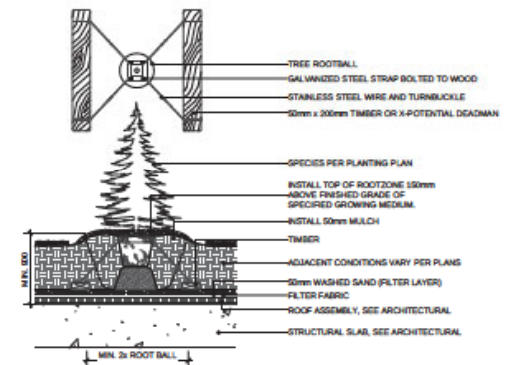
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



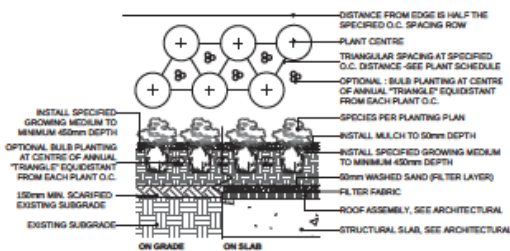
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Scale: 1:20



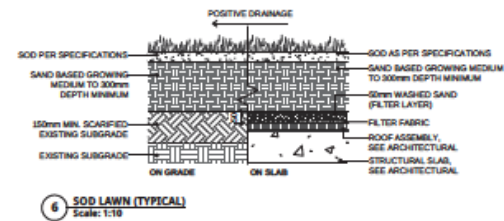
3 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



4 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



5 SHRUB AND GROUND-COVER PLANTING (TYPICAL)
Scale: 1:25



6 SOD LAWN (TYPICAL)
Scale: 1:10

NOTE: ALL PLANTING AREAS TO HAVE MINIMUM 300MM SOIL DEPTH
TO MEET STORMWATER MANAGEMENT PLAN RECOMMENDATIONS
FOR ABSORBANT LANDSCAPE

ALBERT STREET

2325 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN

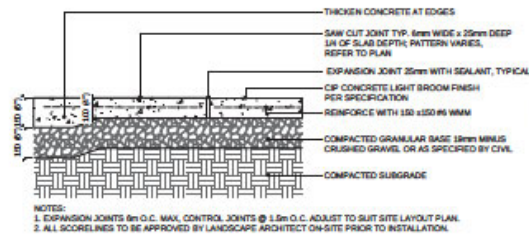
Drawn: DS

Reviewed: DS

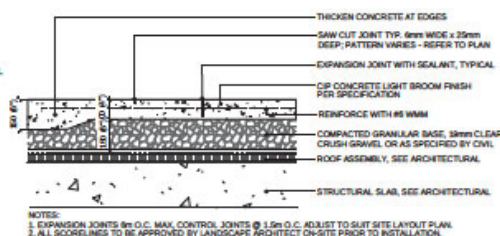
Project No. 05-053

LANDSCAPE DETAILS
SOFTSCAPE

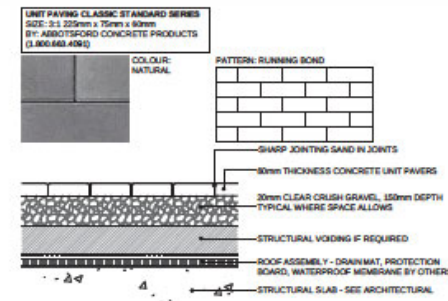
L5.0



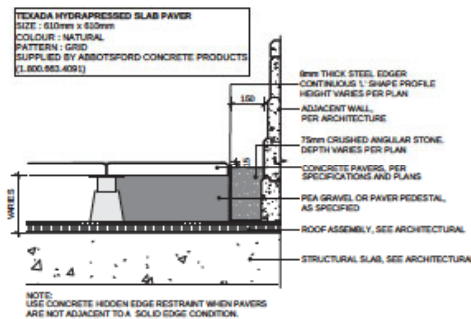
1 CIP CONCRETE ON GRADE
Scale: 1:10



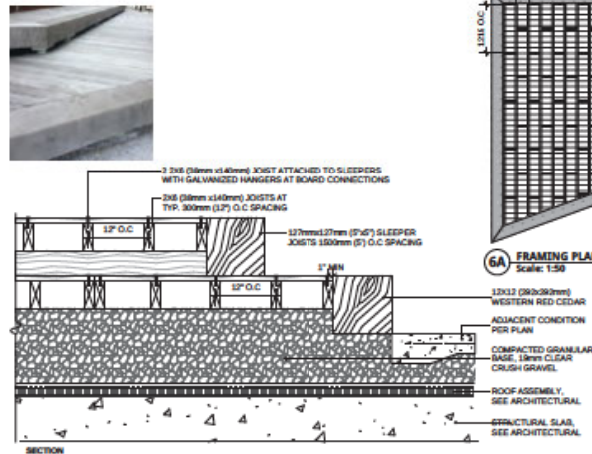
2 CIP CONCRETE ON SLAB (TYPICAL)
Scale: 1:10



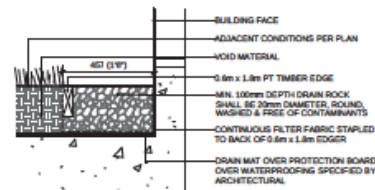
3 PEDESTRIAN UNIT PAVING ON SLAB
Scale: 1:10



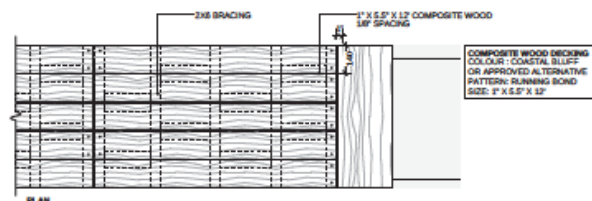
4 HYDRAPRESSED CONCRETE PAVERS ON SLAB (TYPICAL)
Scale: 1:10



5A FRAMING PLAN
Scale: 1:50



5 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1:10



6 BASED WOOD DECK
Scale: 1:10

1. AS-BUILT FOR R.O.P.	21-09-20
2. AS-BUILT FOR R.O.P.	20-10-20
3. AS-BUILT FOR R.O.P.	19-07-20

REVISIONS

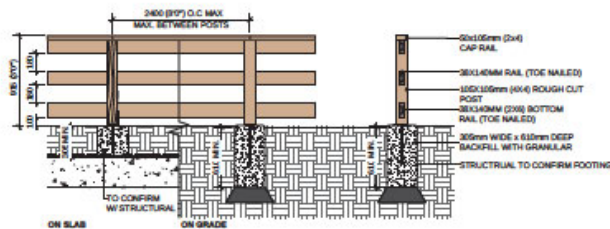
ALBERT STREET

2325 Saint Johns Street
Port Moody, BC

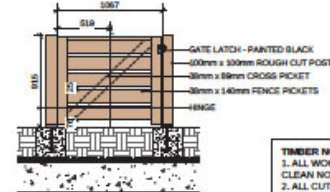
Scale: AS SHOWN
Drawn: DS
Reviewed: DS
Project No: 05-053

LANDSCAPE DETAILS
HARDSCAPE

L5.1

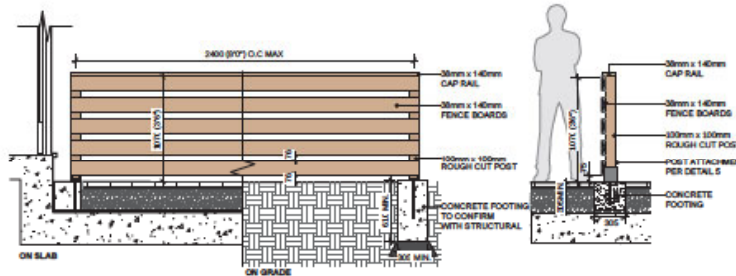


1 INTERNAL YARD FENCE
Scale: 1:20

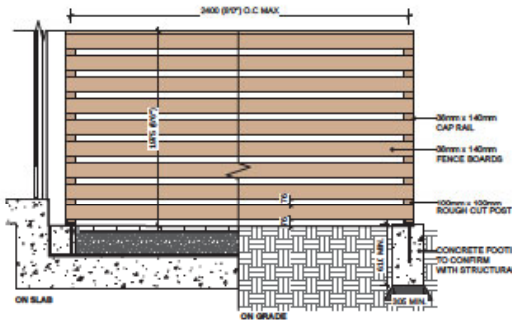


2 WOOD YARD GATE
Scale: 1:20

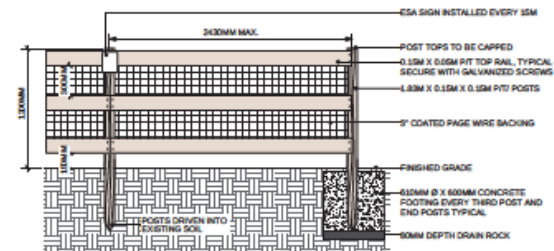
TIMBER NOTES:
1. ALL WOOD POSTS AND BOARDS TO BE PRESSURE-TREATED CEDAR, CLEAN NO KNOTS.
2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
4. ALL CUTS TO BE SQUARE AND CLEAN.
5. ALL EXPOSED WOOD TO BE STAINED (SOLID). COLOUR PER MARCON (TO MATCH ARCHITECTURE).
6. WOOD DIMENSIONS ARE NOMINAL UNLESS NOTED ON DRAWINGS.
7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.



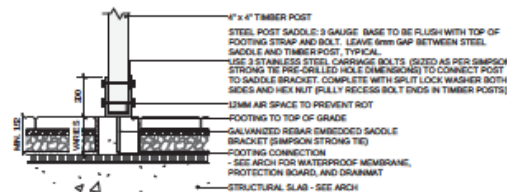
3 42" WOOD GUARDRAIL
Scale: 1:20



4 WOOD PRIVACY SCREEN
Scale: 1:20



5 ESA AND RPEA PROTECTION FENCE
Scale: 1:20



4A TIMBER POST ATTACHMENT, ON SLAB
Scale: 1:10

1	REVISED FOR R20P	21-09-18
2	REVISED FOR R20P	20-10-18
3	REVISED FOR REVIEW	13-07-18

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN

Drawn: DS

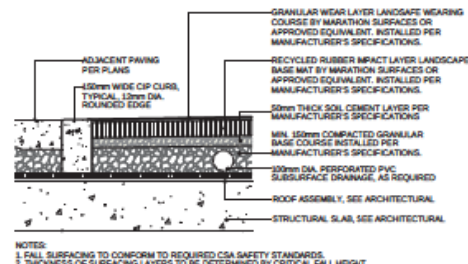
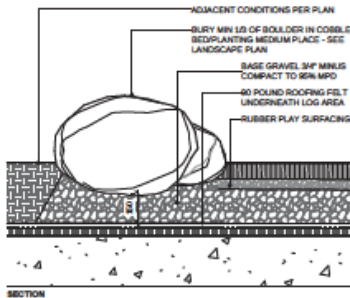
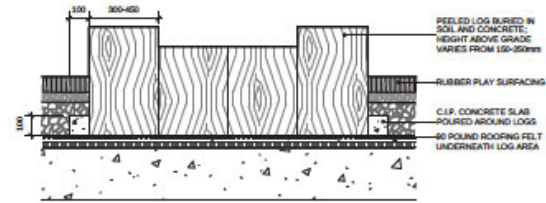
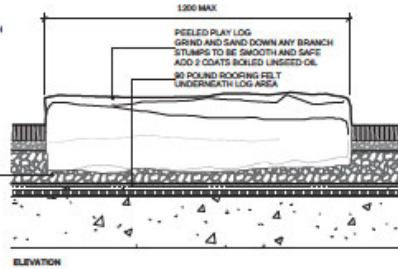
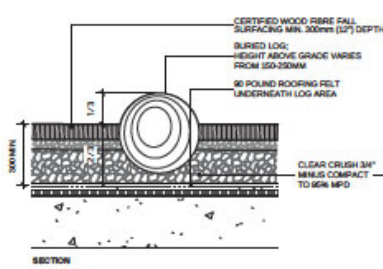
Reviewed: DS

Project No. 05-653

LANDSCAPE DETAILS
FENCES

WOOD ELEMENTS NOTES:

1. REMOVE BARK, SAND ALL CORNERS, EDGES, AND TIMBER SMOOTH, NO ROUGH SURFACES, SMOOTH AND FREE OF SPLINTERS.
2. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF LOG; NO DEPRESSIONS PERMITTED
3. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



- NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
 2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.



5 PLAY STRUCTURES
Scale: 1:10

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2305 PARKWAY BL, VANCOUVER BC, V6M 2Y1
TEL: 604 681 7887
WWW.CONNECT-CA.COM

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LOCATION, AND ELEVATION OF UTILITIES AND/OR
CONCEALED STRUCTURES, AND IS
NOT RESPONSIBLE FOR NOTIFYING THE
APPROPRIATE COMPANY, DEPARTMENT OR
PERSONNEL OF ITS INTENTION TO CARRY OUT ITS
OPERATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE EXISTENCE, LOCATION, AND
ELEVATION OF ALL UTILITIES AND/OR
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OPERATIONS.

1	REVISED FOR REDUP	21-09-18
2	REVISED FOR REDUP	20-10-18
3	REVISED FOR REVIEW	18-07-18

REVISIONS

ALBERT STREET

2325 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN
Drawn: DS
Reviewed: DS
Project No. 05-653

LANDSCAPE DETAILS
PLAY AREA

L5.3

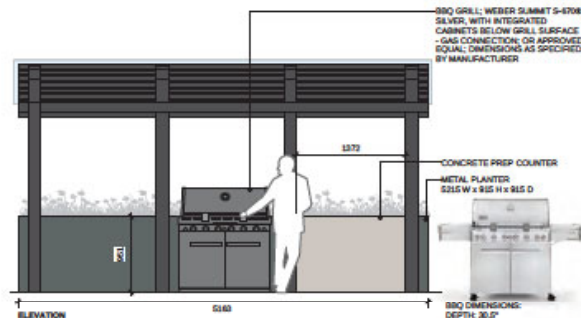
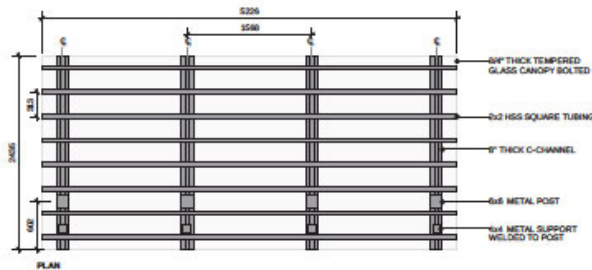
Considered at the Special Council Meeting of June 15, 2021

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CONCEALED STRUCTURES AT THE PROJECT
SITE.

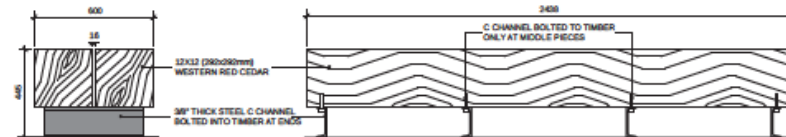
THE CONTRACTOR IS RESPONSIBLE FOR
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ELEVATION OF ALL UTILITIES AND/OR
CONCEALED STRUCTURES, AND IS
RESPONSIBLE FOR NOTIFYING THE
APPROPRIATE COMPANY, DEPARTMENT OR
PERSONNEL OF ITS INTENTION TO CARRY OUT ITS
OPERATIONS.



- NOTES:
1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS OF THE METAL TRELLIS FOR REVIEW AND APPROVAL.
 2. ALL FASTENERS ARE TO BE HOT-DIPPED GALVANIZED.
 3. ALL WELDS TO BE GRIND SMOOTH.
 4. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBECUE CONNECTION.
 5. BARBECUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
 6. REFER TO SPECIFICATION FOR FINISH AND COLOUR OF TRELLIS STRUCTURE.

1 COVERED BBQ AND COUNTER

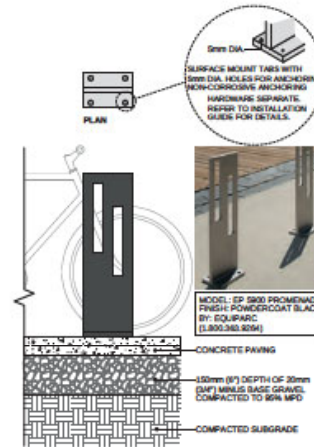
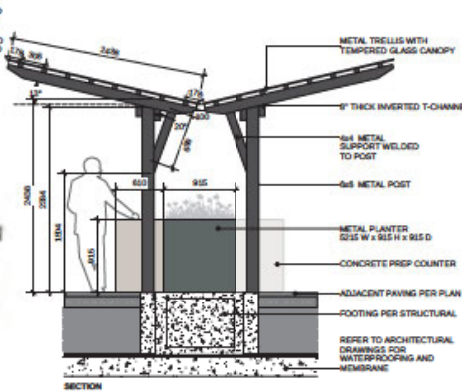
Scale: 1:25



2 CUSTOM TIMBER BENCH

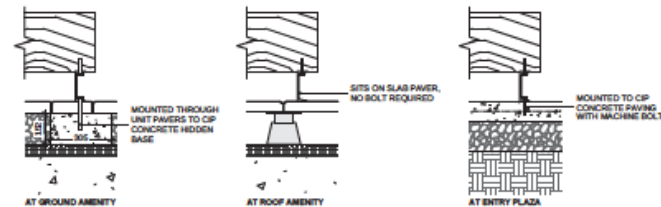
Scale: 1:10

- TIMBER NOTES:
1. LUMBER TO BE PRESSURE-TREATED CEDAR, CLEAN NO KNOTS.
 2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
 3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 4. ALL CUTS TO BE SQUARE AND CLEAN.
 5. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF BENCH; NO DEPRESSIONS PERMITTED.
 6. WOOD DIMENSIONS ARE NOMINAL UNLESS NOTED ON DRAWINGS.
 7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G305 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.
 8. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



3 BIKE RACK

Scale: 1:10



2A C CHANNEL ATTACHMENT

Scale: 1:10

ALBERT STREET

2025 Saint John Street
Port Moody, BC

Scale: AS SHOWN

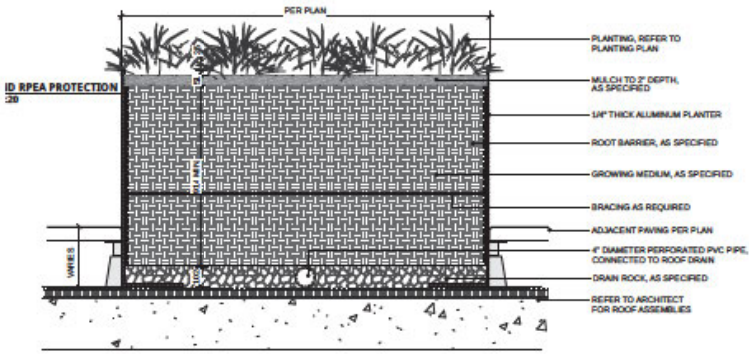
Drawn: DS

Reviewed: DS

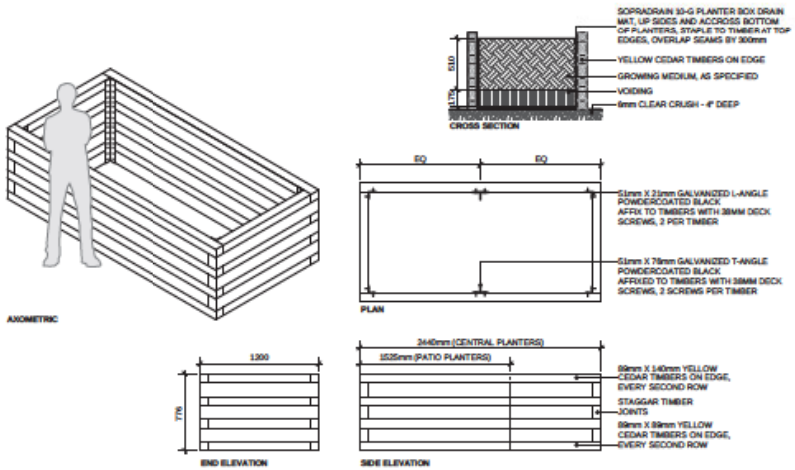
Project No. 05-653

LANDSCAPE DETAILS
FURNISHINGS

L5.4



1 METAL PLANTER (TYPICAL)
Scale: 1:30



2 TIMBER AGRICULTURAL PLANTER
Scale: 1:30

1	REVISED FOR RFP	21-09-18
2	REVISED FOR RFP	20-10-18
3	REVISED FOR REVIEW	18-07-18

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN
Drawn:
Reviewed: DS
Project No. 05-653

LANDSCAPE DETAILS
ROOF PLANTERS

Considered at the Special Council Meeting of June 15, 2021

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REPAIR/REPLACE OF ALL UTILITIES AND/OR
CONCEALED STRUCTURES, AND IS
RESPONSIBLE FOR NOTIFYING THE
APPROPRIATE COMPANY, DEPARTMENT OR
PERSONNEL OF ITS INTENTION TO CARRY OUT ITS
OPERATIONS.

1	REVISED FOR REDUP	21-09-08
2	REVISED FOR REDUP	20-10-08
3	REVISED FOR REDUP	18-08-08

REVISIONS

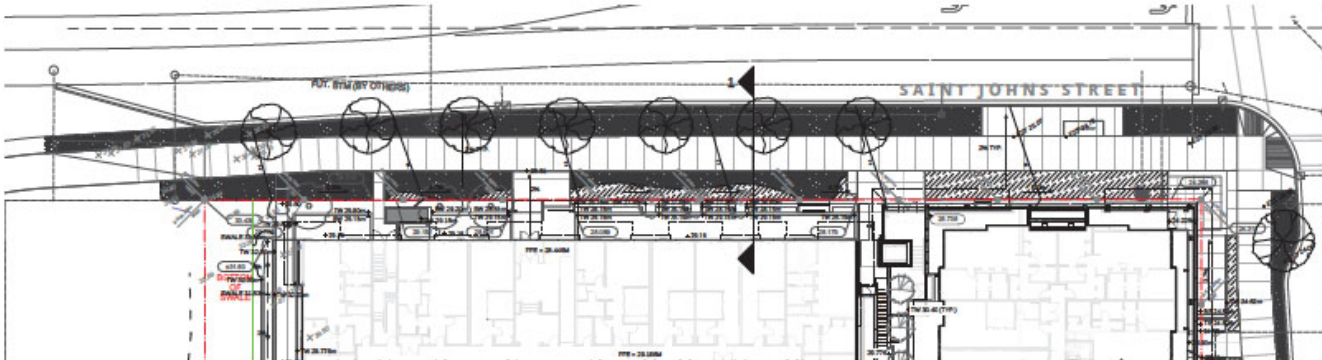
ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200
Drawn: DS
Reviewed: DS
Project No. 05-053

LANDSCAPE OFFSITE
SAINT JOHNS ST.

OSL1.0



SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	7	Zelkova serrata	Japanese Zelkova	7cm CAL., DAB	

PLANTING NOTE

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL TREE LOCATIONS TO BE STAKED OUT / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
5. OFFSITE LANDSCAPE TO MEET CITY OF PORT MOODY DRAFT INTERM SPECIFICATIONS AND STANDARDS (OCTOBER 2020), CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

TREES SHALL HAVE A MINIMUM CLEARANCE AS SHOWN FROM THE FOLLOWING:

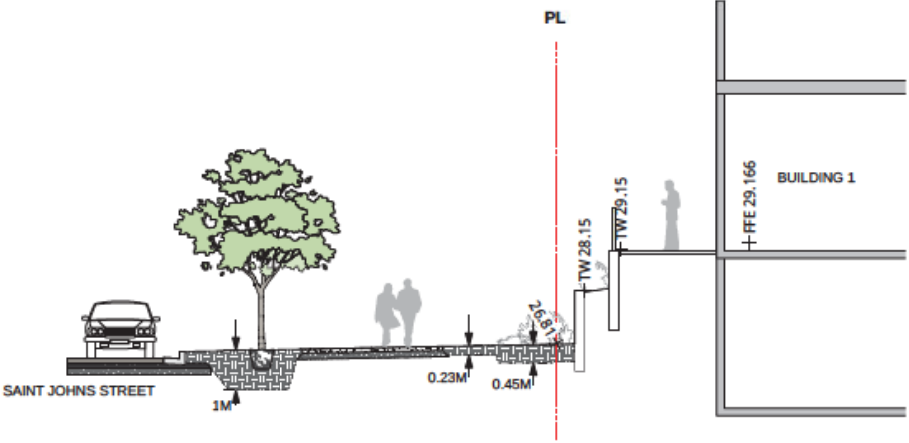
STREET LIGHTS - 6M	DRIVEWAYS - MIN. 2.0M
STOP SIGNS AND TRAFFIC SIGNALS - 6M	ELECTRICAL JUNCTION BOXES & HOSES - PER UTILITY OWNER
CORNERS / INTERSECTIONS - MIN. 6M SIGHT TRIANGLE	HYDRANTS - 3M
OVERHEAD POWER LINES - PER UTILITY OWNER	SERVICE CONNECTIONS - VARIES, SEE SUPPLEMENTAL STANDARDS
MANHOLES, VALVE BOXES - 1.2M	

LAYOUT AND MATERIAL LEGEND

KEY	DESCRIPTION
	C/P CONCRETE SIDEWALK, REFER TO CIVIL
	FRONT BOULEVARD LAWN, REFER TO DETAIL
	GROUNDCOVER PLANTING, PER ONSITE LANDSCAPE DRAWINGS

LAYOUT AND MATERIAL NOTE

1. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, AND WALLS FOR DURATION OF CONSTRUCTION.
7. THE LOCATION OF ALL PROPOSED HARDSCAPE ARE TO BE FLAGGED OUT ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



1 TYPICAL SAINT JOHNS STREET SECTION
Scale: 1:50

Considered at the Special Council Meeting of June 15, 2021

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1. AS-BUILT FOR RECORD 21-09-28
2. AS-BUILT FOR RECORD 20-10-08
3. AS-BUILT FOR RECORD 18-08-08

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200

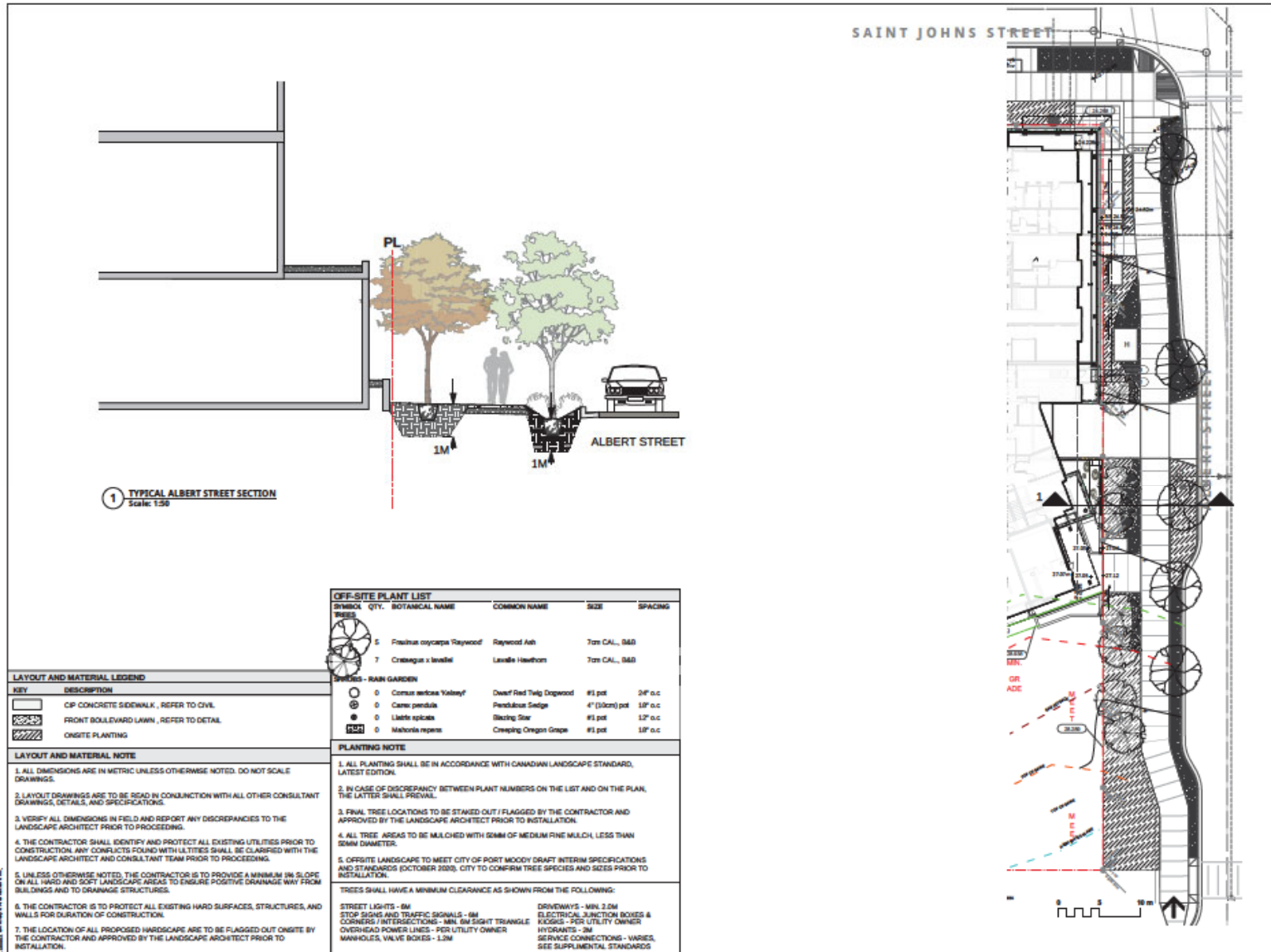
Drawn: DS

Reviewed: DS

Project No. 05-053

LANDSCAPE OFFSITE
ALBERT ST.

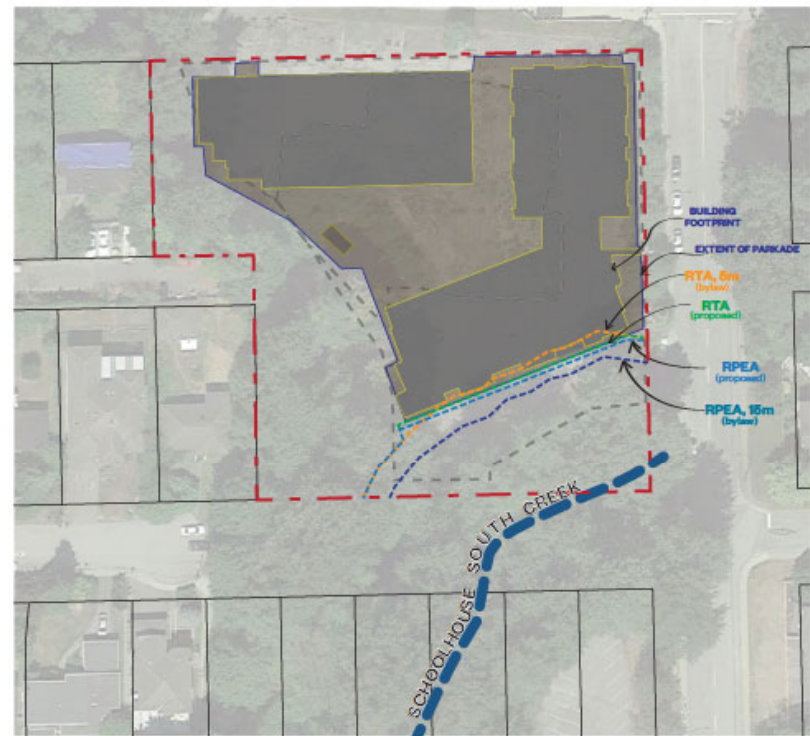
OSL1.1



Considered at the Special Council Meeting of June 15, 2021



EXISTING SITE CONDITIONS



PROPOSED SITE CONDITIONS

ALBERT - 2025 ST. JOHNS ST.
ENVIRONMENTAL CONDITIONS (CURRENT & PROPOSED)
APRIL 19, 2021

Mixed-Use Sustainability Report Card

Purpose

The Sustainability Report Card recognizes that developers, builders, designers, and others proposing changes to the built environment have an important role in creating a sustainable community. Sustainability involves stewardship of land and environmental resources, as well as green building and a focus on design elements that bring people together and help communities flourish economically, socially, and culturally. Port Moody encourages innovative thinking in community design to achieve a more sustainable community.

To this end, the Report Card is a requirement for rezoning, development permit, and heritage alteration permit applications. The Report Card identifies performance measures based on community sustainability values; these measures are used to evaluate development proposals. The Report Card is intended to be a summary of overall project sustainability. It is a tool to be integrated with all other development approval requirements.

Process

There are six steps to follow in completing the Sustainability Report Card process:

1. Make a development inquiry to Development Services regarding your proposed rezoning, development permit, or heritage alteration permit. Staff will provide you with a hard copy of the Sustainability Report Card and provide a weblink to portmoody.ca/SRC where you can find a fillable PDF version of the Report Card.
2. Attend a pre-application meeting with City staff to discuss your proposal. The Planner will determine if the Sustainability Report Card is a document that must be submitted with your application.
3. If required, complete a Report Card by filling in the appropriate information that applies to your particular application and submit the completed Report Card (saved version of online fillable PDF or hard copy) to the appropriate City staff (sustainabilityreportcard@portmoody.ca) or deliver to City Hall Planning Department at 100 Newport Drive), along with a completed land use application.
4. The Planner will review the Report Card for completeness and accuracy and forward to staff in various departments for feedback. The Planner will determine your preliminary score and discuss the results of the staff review with you. You will then have an opportunity to improve your score with respect to the sustainability of your proposal and resubmit an updated Report Card.
5. The Planner will make comments, determine your final score, and prepare the Project Report Card Summary. The Summary will be included in the land use reports that are distributed to the Advisory Design Panel, Community Planning Advisory Committee, and Council.
6. If your application is approved by Council, your final Report Card is maintained in the development file and a copy is provided to the City's Building Division.

Instructions

- Your Report Card must contain sufficient detail to ensure each measure can be evaluated. To do this, make reference to the appropriate plans, drawings, and reports that demonstrate how the performance measure is met.
- The relevance of the questions will depend on the nature and scope of your project, so not all questions will be applicable to all projects.
- Some measures are marked 'EARLY STAGE'. This indicates that these measures must be considered in the design phase as it is unlikely they can be added to a proposal later on.

Italicized words are in the [Glossary](#) at the back of this document.

Considered at the Special Council Meeting of June 15, 2021

- Similarly, some measures are marked 'BASELINE'. Although the Report Card is not a pass or fail test of development applications, it does set a minimum score to indicate the City's minimum expectations. Items labelled 'BASELINE' count toward a minimum score as they are considered to be low cost and readily achievable.
- Italicized terms are defined in the Glossary at the end of the Report Card document.
- Refer to the Resources section for links to Internet resources relevant to measures in the Report Card.

Scoring

- Performance measures are assigned weighted scores from 1 to 10 to indicate their significance based on: (1) level of difficulty to integrate into project design; (2) order-of-magnitude cost added to the project; (3) degree of effectiveness for increasing the overall project sustainability; (4) identified community priority in the Official Community Plan; and (5) level of urgency for Port Moody in terms of achieving community sustainability goals.
- City staff score the completed Report Card based on the principle of best achievable on each site for each performance measure. Where possible, points for achieving various means are indicated. In other cases, the number of means to achieve a performance measure may exceed the total points possible for an item. In this case, the Planner will make a fair assessment of the project's performance for this measure with respect to the conditions of the site as a percentage and translate this to the possible score.
- Only whole number scores will be assigned. This will be achieved by rounding to the nearest whole number. For example, if overall performance for a measure is deemed to be about 80 per cent and the possible score is out of 4, then a score of 3 points out of 4 will be assigned.
- The Report Card is an iterative process with the applicant. The applicant has an opportunity to comment and make changes to their proposal before the scores are considered final and shared with public advisory bodies and Council.
- Additional space is provided for the applicant to address innovations and constraints not captured elsewhere in the Report Card. These items are not scored, but are given specific mention on the Project Report Card Summary.
- Staff will review your completed Report Card and provide feedback before your project is scored to give you the opportunity to achieve the highest score possible.

Monitoring

In general, the information required from the applicant for the Sustainability Report Card is similar to the kind of information required for a typical development application. However, to ensure accountability, you can expect the City to request additional information, such as: photos of installed systems or products, design drawings, professional reports, copies of receipts, or other records that can be used to verify the implementation of the selected sustainability measures. We encourage you to provide as much information as possible to assist City staff in their review of your development proposal.

Public Information

The public may request a review of any completed Report Card related to a development application. Copies of the Report Card are maintained by the Planning Division. The Development Services Department makes Report Cards available following completion of the project.

Property and Applicant Information

Applicant Marcon Albert (GP) Ltd.	Telephone 604.530.5646	Email tschmitt@marcon.ca
Registered Owner Marcon Albert Properties Ltd.	Project Address 2025 St. Johns Street	
Proposed Use Mixed-use, Residential Multi-family and Commercial		

Total Floorspace **18,588.5** m²

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Arts

Performance Measure Description and Scoring

C1

Project includes public art in publicly accessible or publicly owned space (3 points, +1 bonus point if a Public Art Consultant is used).

OR Project provides an in lieu financial contribution to the City's Public Art Reserve Fund (3 points).

See links in Resources under "Examples of Good Public Art."

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE + EARLY STAGE

<p>If yes, describe:</p> <p>designed as an integrated part of the building. Elements of the building's facade, namely the coloured balcony glass, have been designed in respond to the artwork. The piece is located on the north face of the building and will be highly visible from the intersection and to traffic as it enters Port Moody from Barnet Highway.</p>	<p>Staff Comments</p>
<p>Public Art Consultant:</p> <p>Ballard Fine Art.</p>	
<p>Plan reference:</p> <p>Public Art Brief</p>	

Bonus Score /1 Score /3

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Arts

Performance Measure Description and Scoring

C2

Project supports Port Moody's desire to be a "City of the Arts" by integrating artistic design into the site or building form or functionality (2 points).

Examples:

- Creative stormwater management features.
- Creative interaction of the project with the public.
- Artistic panels in entry foyer.

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE

<p>Describe:</p> <p>As noted above, the building's design incorporates a significant public art piece in the north facade. The building further responds to this public art component by punctuating the facade with coloured balcony glass.</p>	<p>Staff Comments</p>
<p>Plan reference:</p> <p>Alex Morrison proposal and Arch A0.00</p>	

Score /2

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C3

Project includes reusing an existing heritage structure with heritage value through *heritage restoration* or *heritage rehabilitation* (4 points).

Where the preservation of a heritage structure in its original location cannot be accommodated, this may include re-location.

See *Standards and Guidelines for the Conservation of Historic Places in Canada*: historicplaces.ca

Applicant Explanation and Reference to Plans, Drawings, and Reports

Describe: Does not apply, no heritage building or structures remain on the site.	Staff Comments
Plan reference:	

Score /4

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C4

Project includes a *statement of significance* prepared by a heritage conservation specialist where potential heritage value is observed (2 points). Where warranted, project includes a heritage conservation plan prepared by a heritage conservation professional (+2 bonus points, where applicable).

See *Standards and Guidelines for the Conservation of Historic Places in Canada*: historicplaces.ca

Applicant Explanation and Reference to Plans, Drawings, and Reports

Report title: Does not apply.	Staff Comments
Heritage Consultant:	

Bonus Score /2 Score /2

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C5

Project salvages materials or artefacts from a historic place, or reuses materials or artefacts from architectural/landscape salvage in a manner which supports the authenticity of the site's *character-defining elements*.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

Details:	Staff Comments
Plan reference:	

Score /3

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Arts

Performance Measure Description and Scoring

C6

Project designates space for the arts or creative enterprise to be retained for the lifetime of the project.
Ex. artist studio, gallery space, dance studio, indoor/outdoor theatre, live-work units, plaza, etc.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

<input type="text"/> meters ² / <input type="text"/> feet ²	Staff Comments
Description of space:	

Score /4

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Complete Community Elements

Performance Measure Description and Scoring

C7 Project improves the *streetscape* beyond minimum City requirements by integrating lasting creative elements and demonstrating effort to optimize the project's *beautification* impact.

Examples:

- Restores the frontage of an existing building in Historic Moody Centre.
- Proposes artistic paving treatments in the public realm.
- Adds creativity to functional elements of the *streetscape*.
- Benches, bike rack, planter, lighting, etc. upgrades.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Details:</p> <p>The vibrant colours and unique design of the building which incorporates public art in the facade will greatly improve the quality of the streetscape. The building design was driven by the site's location at a prominent 'gateway' intersection.</p> <p>The pedestrian realm will be improved with the introduction of commercial and ground-oriented residential fronting the street. In addition, the new sidewalk, street trees, wider boulevard, and multi-use pathway improvements will provide a more pedestrian oriented street frontage.</p>	<p>Staff Comments</p>
<p>Plan reference:</p> <p>L1.0, A0.00, A0.031</p>	

Score 1 /2

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Heritage

Performance Measure Description and Scoring

C8 Project will apply to be added to the City's Heritage Register.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<input type="radio"/> Yes <input type="radio"/> No <input checked="" type="radio"/> N/A	<p>Staff Comments</p>
<p>Details:</p>	

Score N/A /3

CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Innovation

Performance Measure Description and Scoring

C9 Cultural sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<ul style="list-style-type: none"> - Internal plaza space has been designed to work with the adjacent hillside. - The childrens' play area utilises the slope as an interactive play feature. - Making use of the rooftop amenity space's good sun exposure, community garden beds have been provided for growing food. - Restoration, preservation and protection of the Schoolhouse Creek riparian area and the Environmentally Sensitive Area bank on the west. 	Staff Comments
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CULTURAL SUSTAINABILITY SECTION *How will the project contribute to Port Moody's status as 'City of the Arts'?*

Constraints

Performance Measure Description and Scoring

C10 Unique site aspects that limit cultural sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>The site is constrained on the south by the setback and riparian area and on the west by the ESA. These two environmental preservation areas, while important for ecology, limit the space available on-site for more cultural, arts and performance space.</p>	Staff Comments
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Cultural Sustainability Score Summary

	Score
Total Cultural Pillar Points (Total Points Available – Not Including Bonus Points)	23 Total
Total Cultural Points Not Applicable (Total Points for Items Not Relevant to this Application)	12 n/a
Maximum Achievable Score (Total Cultural Pillar Points Minus Total Cultural Points Not Applicable)	11 Maximum
Cultural Pillar Minimum Score (Sum of Applicable Baseline Items)	4.5 Cultural Baseline
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	6.5 Total Cultural Points
Cultural Pillar Score (Total Points Achieved/Maximum Achievable Score)	6.5 / 11 = 60 % Total Cultural Points Max Percent

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Land Use/Employment

Performance Measure Description and Scoring

EC1 Project increases long-term employment on land designated as Industrial, Mixed Employment, or Mixed Use in the City's Official Community Plan.

See Map 1: Overall Land Use in the City's Official Community Plan: [Map 1: Overall Land Use Plan](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE	Existing:	
	Use(s):	Staff Comments
	Vacant	
	Number of jobs on-site relating to this use in operation:	
	0	
	Proposed:	
	Use(s):	
	Commercial and office space	
	Number of jobs estimate:	
	43	
	Assumptions:	
	Based on industry averages for mixed commercial space, the 7,328.7sf CRU is estimated to accommodate between 30 and 43 direct jobs, not accounting for indirect or induced jobs.	

Score **2** /3

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Land Use

Performance Measure Description and Scoring

EC2 Project supports walking to shops and services by broadening the current retail/service mix within an 800m radius of the lot.

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASELINE + EARLY STAGE	Describe the diversification and how it is appropriate to this particular location:	Staff Comments
	The project provides 7,329 sf of commercial space which will accommodate services and employment space that can serve the local area. This provides a live-work opportunity for people that reside in the general neighbourhood or within the development. There are a number of existing restaurants and shops and other planned developments within 800m that future residents can to walk to, particularly the Queen St. and Clarke St. retail clusters.	

Score **1** /1

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Land Use/Employment

Performance Measure Description and Scoring

- EC3 Project provides more intensive use of land designated as Mixed Use, *Transit Oriented Development*, Mixed Employment, or Industrial in the City's Official Community Plan that will support neighbourhood businesses (where permitted/appropriate).

See Map 1: Overall Land Use in the City's Official Community Plan: [Map 1: Overall Land Use Plan](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Existing:	Staff Comments
Building type: NA (vacant)	
FSR: NA	
Proposed:	
Building type: Mixed-use, 6-storey	
FSR: 2.24	

Score 3 /3

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Tourism

Performance Measure Description and Scoring

- EC4 Project provides regional destination commercial or institutional uses such as specialized training/education, specialty retail, dining, arts, cultural, or recreational opportunities.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<input checked="" type="radio"/> Yes <input type="radio"/> No	Staff Comments
If Yes, explain: Given the site's location at a 'gateway' intersection, considerable attention has be paid to creating an exciting facade. The public art will make this intersection unique and highly identifiable. The project provides and opportunity to revitalize the site and improve on its current and historic uses.	

Score 0.5 /2

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

How will the project contribute to a stronger local economy?

EARLY STAGE

EC5 Project participates in or develops an alliance between multiple, co-located uses/businesses, i.e. eco-industrial networking.

Relationship results in (check all that apply):		Staff Comments
<input type="checkbox"/> Reduced energy consumption <input type="checkbox"/> Reduced water consumption <input type="checkbox"/> Reduced materials use <input type="checkbox"/> Waste reduction		
Other efficiency:		
Description: This is not applicable. There are no realistic opportunities for district energy, or other cooperative waste, water, energy usage reduction at this site or that provide a concrete program which applicants can commit to.		

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

How will the project contribute to a stronger local economy?

EARLY STAGE

EC6 Project redevelops and rehabilitates a *brownfield* site.

Describe:	Staff Comments
<p>Although this is a redevelopment of a commercial site, it is not a brownfield property in that it is not contaminated with hazardous substances. The proposed site design provides considerable improvement on the existing/historical use which was predominately paved, non-permeable surface. Considerable increase in landscaped areas and stormwater detention will reduce storm flows to 50% of the pre-development condition.</p>	

Sustainability Report Card – Mixed Use

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Innovation

Performance Measure Description and Scoring

EC7 Economic sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
Provides much needed rental housing	

ECONOMIC SUSTAINABILITY SECTION *How will the project contribute to a stronger local economy?*

Constraints

Performance Measure Description and Scoring

EC8 Unique site aspects that limit economic sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments

Economic Sustainability Score Summary

	Score
Total Economic Pillar Points (Total Points Available – Not Including Bonus Points)	16 Total
Total Economic Points Not Applicable (Total Points for Items Not Relevant to this Application)	0 n/a
Maximum Achievable Score (Total Economic Pillar Points Minus Total Economic Points Not Applicable)	16 Maximum
Economic Pillar Minimum Score (Sum of Applicable Baseline Items)	6 Economic Baseline
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	8.5 Total Economic Points
Economic Pillar Score (Total Points Achieved/Maximum Achievable Score)	8.5 / 16 = 54 % Total Economic Points Max Percent

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

EN1 Project protects and enhances an *Environmentally Sensitive Area* (ESA) as designated on Map 13 in the City's Official Community Plan, i.e. provides positive net benefit.

See [Map 13: Environmentally Sensitive Areas](#) and [Appendix 2: Development Permit Area Guidelines](#) in the Official Community Plan.

Applicant Explanation and Reference to Plans, Drawings, and Reports

BASILINE + EARLY STAGE

<p>Type of ESA:</p> <p><input checked="" type="radio"/> High ESA</p> <p><input type="radio"/> Medium ESA</p> <p><input type="radio"/> Low ESA</p> <p><input type="radio"/> 30m Stream Buffer (High Value)</p> <p><input type="radio"/> Special Feature (High Value)</p>	<p>Staff Comments</p>
<p>Features/Species of Value:</p> <p>Mature forest of bigleaf maple, red alder, western hemlock, Douglas-fir and western redcedar, salmonberry, sword fern, red elderberry and lady fern. Partially compromised by invasive Himalayan blackberry and English ivy. Provides habitat for songbirds and urban-associated wildlife. Fish-bearing Schoolhouse Brook and riparian area are located at the south end of the site.</p>	
<p>Means of Protection:</p> <p><input checked="" type="radio"/> Covenant</p> <p><input type="radio"/> Dedication</p> <p><input type="radio"/> Monitoring</p>	
<p><input type="radio"/> Other:</p>	
<p>Means of Improvement of ESA:</p> <p>It is proposed that invasive Himalayan blackberry and English ivy will be removed and areas will be restored by planting diverse native tree and shrub species. Species planted were selected to provide a food source for songbirds and pollinators and to support riparian health. A fence will be installed around the ESA and riparian buffer to prevent encroachment. Post-restoration monitoring will be conducted to confirm ecological health.</p>	

The restoration plan goes beyond the site boundaries to include the riparian area within the adjacent road RoW. This adds 1600m2 of additional restored riparian area.

Score 4 /4

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

- EN2 Project provides bird-friendly development through landscaping that provides habitat to native species and building design that reduces bird collisions.

See [Vancouver Bird Strategy](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

List all elements that reduce the impact that urbanization has on birds for this project:

- Forested ESA and riparian habitat will be protected.
- Native fruit-bearing species including salmonberry, red elderberry, Indian plum, Nootka rose, and snowberry were selected for restoration planting in the ESA and riparian buffer to provide food for songbirds. Species with a range of flowering times were selected, which will encourage pollinators and select insectivore bird species.
- The restoration planting areas will include species with diverse vertical structure (e.g., snowberry, red elderberry, bigleaf maple).
- Nest surveys will be conducted before clearing invasive blackberry

Staff Comments

Score 3 /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

- EN3 Design of outdoor lighting minimizes the harmful effects of *light pollution* with technology that ensures lighting is:

- Only on when needed
- Only lights the area that needs it
- No brighter than necessary
- Minimizes blue light emissions
- Fully shielded (pointing downward)

See [International Dark Sky Association](#) for Dark Sky Friendly Lighting.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Describe the lighting plan for the site and its dark sky friendly features:

Landscape lighting is used only when needed to light pathways and to provide appropriate lighting levels under BCBC and CPTED. Lighting is all LED and directed downward onto the pathway. Automatic, photocells to reduce energy consumption by ensuring lighting is only turned on in the evening.

Staff Comments

Score 2 /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Air Quality – Alternative Transportation

Performance Measure Description and Scoring

- EN4 Project provides alternative transportation facilities for user groups of each land use type, which contributes to reducing Greenhouse Gas Emissions from this development.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Check all that apply:</p> <p><input checked="" type="checkbox"/> Short-Term Bicycle parking</p> <p><input checked="" type="checkbox"/> Long-Term Bicycle parking</p> <p><input type="checkbox"/> End-of-Trip Bicycle Facilities:</p> <p><input type="checkbox"/> Bike share and assigned parking</p> <p><input type="checkbox"/> Co-op vehicle and assigned parking space provision</p> <p><input checked="" type="checkbox"/> Electric Vehicle plug-ins and designated spaces¹</p> <p>Plan references:</p>	<p>Staff Comments</p> <p>Applicant Comment: Bicycle repair station will be provided.</p>
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Score **1.5** /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Air Quality – Alternative Transportation

Performance Measure Description and Scoring

- EN5 Project incorporates measures to support pedestrians and cyclists.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Check all that apply:</p> <p><input checked="" type="checkbox"/> Connects to existing pedestrian/cycling routes and priority destinations</p> <p><input checked="" type="checkbox"/> Improves local pedestrian routes, local bike networks/trails</p> <p><input checked="" type="checkbox"/> Safe, secure, accessible, and sustainable footpaths</p> <p><input checked="" type="checkbox"/> Pedestrian clearway sufficient to accommodate pedestrian flow</p> <p><input checked="" type="checkbox"/> Covered outdoor waiting areas, overhangs, or awnings</p> <p><input checked="" type="checkbox"/> Pedestrian scale lighting</p> <p><input checked="" type="checkbox"/> Pedestrian/bike-only zones</p> <p><input type="checkbox"/> Other:</p> <p>Site circulation plan:</p> <p>Other plan references: A2.04, A3.01, 18-1133-KP</p>	<p>Staff Comments</p>
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Score **2** /3

¹ See BC Hydro's *Electric Vehicle Charging Infrastructure Deployment Guidelines*.

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Waste Storage Space

Performance Measure Description and Scoring

EN6 Project allocates sufficient and accessible recycling and garbage storage space in multi-family and commercial buildings and complexes compatible with City of Port Moody recycling, green waste, and garbage services.

Target 1: Metro Vancouver's Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments.

Target 2: Design provides safe and universally accessible access in a secure common area.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Total residential recycling, garbage, and green waste space proposed:	Staff Comments
Recycling: <input type="text" value="39.7"/> m ²	
Garbage: <input type="text" value="19"/> m ²	
Green Waste: <input type="text" value="15"/> m ²	
Total commercial recycling, garbage, and green waste space proposed:	
Recycling: <input type="text" value="6"/> m ²	
Garbage: <input type="text" value="8"/> m ²	
Green Waste: <input type="text" value="2.6"/> m ²	
Details regarding design for safety, security, and accessibility: Both commercial and residential recycling and garbage rooms are fully accessible per code. The rooms are access controlled for security, and will be well lit with motion activated lighting.	

Score /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Urban Forestry

Performance Measure Description and Scoring

EN7 Project protects and enhances the urban forest, prioritizing native tree species.

See [City of Port Moody Tree Protection Bylaw](#)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Check all that apply:	Staff Comments
<input checked="" type="checkbox"/> Existing mature trees protected (# <input type="text" value="61"/>)	
<input checked="" type="checkbox"/> Replacement tree ratio (<input type="text" value="5.4"/> : 1)	
• Native tree species planted on site (# <input type="text" value="97"/>)	
• Native tree species planted off site (# <input type="text"/>)	
<input checked="" type="checkbox"/> Protected/natural park areas added on site (% of total site area: <input type="text" value="34"/> %)	
Arborist report: Froggers Creek Tree Consultants Ltd., Appendix 3.	

Score /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Habitat

Performance Measure Description and Scoring

- EN8 Project preserves, enhances, and/or compensates for site ecology on site (4 points). Off-site compensation may be considered in some cases, in accordance with all other City regulations and supported by staff (3 points).
Compensation in the form of a financial contribution to the City toward approved public restoration, rehabilitation, or enhancement projects may be considered (2 points).
See *City of Port Moody Naturescape Policy 13-6410-03*.
See also [Invasive Plant Council of BC](#).

Applicant Explanation and Reference to Plans, Drawings, and Reports

Check all that apply:	Staff Comments
<input type="checkbox"/> Salvage replanting <input checked="" type="checkbox"/> Reduction to existing impervious area <input type="text" value="470"/> m ²	
<input checked="" type="checkbox"/> Removal of <i>invasive plant species</i> Names: Himalayan blackberry, English ivy, English holly, spurge laurel	
<input checked="" type="checkbox"/> Native/"naturescape" landscaping <input type="checkbox"/> Watercourse daylighting <input checked="" type="checkbox"/> Riparian area restoration	
<input type="checkbox"/> Other measures taken to enhance habitat or to compensate for habitat loss: The plant material palette in this project follows naturescape principles which provides a sustainable, ecologically sound, and aesthetically pleasing urban condition that blends with the adjacent environmentally sensitive area. Focus is on low maintenance and native attractive species and minimal lawn areas, which helps to reduce water consumption. Plant palette does not include any invasive materials, and considers habitat and food options for birds and butterflies with layered plant species.	

Score /4

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Stormwater

Performance Measure Description and Scoring

EN9 Project provides for stormwater retention and evaporation, and groundwater protection in the site stormwater management plan.

Targets:

1. Stormwater retained on-site to the same level of annual volume allowable under pre-development conditions.
2. Maximum allowable annual run-off volume is no more than 50% of the total average annual rainfall depth.
3. Remove 80% of total suspended solids based on the post-development imperviousness.

(3 points if all three targets are achieved)

See link in References to Metro Vancouver's Stormwater Source Control Guidelines

Applicant Explanation and Reference to Plans, Drawings, and Reports

Target(s) reached: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3	Staff Comments
Means of achieving (check all that apply): <input checked="" type="checkbox"/> Absorbent landscape <input type="checkbox"/> Roof downspout disconnection <input checked="" type="checkbox"/> Infiltration swales and/or trenches <input checked="" type="checkbox"/> Sub-surface chambers/detention tanks <input type="checkbox"/> Rain gardens with native plantings <input type="checkbox"/> Rainwater harvesting <input type="checkbox"/> Tree well structures <input type="checkbox"/> Green roof/wall <input checked="" type="checkbox"/> Water quality structures <input type="checkbox"/> Pervious paving <input type="checkbox"/> Daylighted streams <input type="checkbox"/> Constructed wetlands	
<input type="checkbox"/> Other:	
References to plans and documents: Stormwater Management Plan	

Score /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping – Water Conservation

Performance Measure Description and Scoring

- EN10 Project reduces potable water use for irrigation.
2 points = 5 actions (from "check all that apply" list)
1 point = 3 actions (from "check all that apply" list)

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Check all that apply:</p> <p><input checked="" type="checkbox"/> Drought-tolerant landscaping (<i>xeriscaping</i>) with native species</p> <p><input checked="" type="checkbox"/> Low-maintenance lawn alternatives</p> <p><input checked="" type="checkbox"/> Non-water dependent materials/features for ground cover treatment</p> <p><input checked="" type="checkbox"/> Irrigation system with central control and rain sensors</p> <p><input type="checkbox"/> Captured rainwater irrigation system, e.g. using cisterns/rain barrels</p> <p><input type="checkbox"/> Other:</p> <p>Plan reference: L1.0</p>	<p>Staff Comments</p>
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Score 1.5 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site Context | Ecology

Performance Measure Description and Scoring

- EN11 Project is sited and designed in order to facilitate and improve wildlife movement and access, particularly within known and suspected *habitat corridors*.
Ex. Deer, bears, frogs, salmon, etc. (depending on site location).

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Species supported:</p> <p>Chum salmon, coho salmon, coastal cutthroat trout rainbow trout, urban-associated wildlife (e.g. songbirds, deer, raccoons).</p> <p>Means of supporting:</p> <p>Protect Schoolhouse Brook riparian habitat and enhance riparian habitat through removal of invasive species and planting of native species</p> <p>Environmental assessment or site plan reference:</p> <p>Environmental Assessment and Restoration Plan (Keystone)</p>	<p>Staff Comments</p>
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Score 2 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Green Building Rating

Performance Measure Description and Scoring

EN12 Project will achieve a recognized industry standard for sustainable design.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

<input type="radio"/> Built Green Level: <input type="text"/> <ul style="list-style-type: none"> • Bronze (2 points) • Silver (5 points) • Gold (8 points) • Platinum (10 points) <input type="radio"/> LEED Level: <input type="text"/> <ul style="list-style-type: none"> • Certified (2 points) • Silver (5 points) • Gold (8 points) • Platinum (10 points) <input type="radio"/> Canadian Passive House Institute (10 points) <input type="radio"/> Living Future Institute <ul style="list-style-type: none"> • Living Building Certification (10 points) • Petal Certification (10 points) • Net Zero Energy Certification (10 points) 	Staff Comments
<input checked="" type="radio"/> Other: Step Code 2LCES or 3 (determined at BP)	

Score /10

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Alternative/Renewable Energy

Performance Measure Description and Scoring

EN13 Project provides local, low-carbon energy systems, such as geo-exchange, heat recovery ventilation, solar or district energy.

Applicant Explanation and Reference to Plans, Drawings, and Reports

EARLY STAGE

Details: NA	Staff Comments
Specify % of energy generated:	

Score /4

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building | Energy Reduction and Indoor Climate

Performance Measure Description and Scoring

EN14 Building architecture employs *passive design* strategies appropriate to the local climate to reduce energy use and enhance occupant comfort.

Examples:

- Site design and building massing minimizes east and west exposures to avoid unwanted solar gains.
- Limit windows to 50% of any façade, taking into account other livability and aesthetic criteria.
- Use heat-recovery ventilation during heating season only, and design for natural ventilation and cooling by natural ventilation throughout the rest of the year.
- See [City of Vancouver Passive Design Toolkit](#) for Large Buildings for other examples.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<input checked="" type="radio"/> Yes <input type="radio"/> No	Staff Comments
Key <i>passive design</i> building elements: Window wall ratio is less than 50%. The site design minimizes east and west exposures to minimise unwanted solar gains.	

Score 1.5 /3

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Smart Technology

Performance Measure Description and Scoring

EN15 Project uses *smart technology* to optimize sustainable use of resources.

Ex. Automated lighting, shading, HVAC, energy/water consumption, security, etc.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details: LED lighting, Heat Recovery Ventilation (HRV), Low-E glazing, Energy Star appliances.	Staff Comments

Score 1 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Site | Sustainable Landscaping

Performance Measure Description and Scoring

- EN16 Project provides or designates space for growing food in private or common areas including on-site composting to support the gardening activities.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Details:</p> <p>The rooftop amenity space includes community garden planters and associated tool storage for food to be grown on site.</p>	<p>Staff Comments</p>
<p>Landscape Plan Reference: L1.3</p>	

Score 1 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Building Energy Performance

Performance Measure Description and Scoring

- EN17 Building design incorporates Port Moody Building Energy Performance Design Guidelines.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>BC Energy Step Code:</p> <p><input type="radio"/> Tier 1 (1 point)</p> <p><input type="radio"/> Tier 2 (2 points)</p> <p><input checked="" type="radio"/> Tier 3 (3 points)</p> <p><input type="radio"/> Tier 4 (4 points)</p> <p>**As noted in EN12 either Step 2 with LCES or Step 3. TBD at BP stage</p> <p>Attach a copy of Port Moody Building Energy Performance Design Guidelines Checklist.</p>	<p>Staff Comments</p>

Score 3 /4

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Stormwater and Ecology/Water Conservation

Performance Measure Description and Scoring

EN18 Project incorporates landscaped roofs or living walls that also provide food/habitat for native species.

OR

Project includes on-site grey water reuse.

2 BONUS POINTS EACH

Applicant Explanation and Reference to Plans, Drawings, and Reports

BONUS

Details:	Staff Comments
3,500m2 of the Schoolhouse South Creek riparian area and ESA habitat will be enhance and protected providing habitat birds and other animals, wildlife corridor and a food source for downstream aquatic animals.	

Bonus Score 2 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Environmental Monitoring

Performance Measure Description and Scoring

EN19 Project contracts with an Environmental Monitor(s) to oversee implementation of environmental sustainability measures, i.e. sustainable landscaping measures.

OR

Project employs an energy efficiency consultant.

2 BONUS POINTS EACH

Applicant Explanation and Reference to Plans, Drawings, and Reports

BONUS

Details of Work Overseen/Contribution:	Staff Comments
Keystone Environmental Consultants have been retained to develop the plan for the riparian area and ESA, and will provide monitoring over the three year post-restoration period.	

Bonus Score 2 /2

ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Innovation

Performance Measure Description and Scoring

EN20 Environmental sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments Applicant Comment: In addition, Salmon Safe Certification is being pursued for the project. Salmon Safe provides a third-party verification that the project is being designed and built in accordance with environmentally friendly management practices that minimize impacts on water quality and aquatic biodiversity.
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ENVIRONMENTAL SUSTAINABILITY SECTION *How well does the project minimize the demands on the environment?*

Constraints

Performance Measure Description and Scoring

EN21 Unique site aspects that limit environmental sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments
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Environmental Sustainability Score Summary

	Score
Total Environmental Pillar Points (Total Points Available – Not Including Bonus Points)	<div>57</div> <div>Total</div>
Total Environmental Points Not Applicable (Total Points for Items Not Relevant to this Application)	<div>4</div> <div>n/a</div>
Maximum Achievable Score (Total Environmental Pillar Points Minus Total Environmental Points Not Applicable)	<div>53</div> <div>Maximum</div>
Environmental Pillar Minimum Score (Sum of Applicable Baseline Items)	<div>24.5</div> <div>Enviro Baseline</div>
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	<div>47</div> <div>Total Environmental Points</div>
Environmental Pillar Score (Total Points Achieved/Maximum Achievable Score)	<div>42</div> / <div>53</div> = <div>80</div> % <div>Total Environmental Points</div> <div>Max</div> <div>Percent</div>

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Accessibility

Performance Measure Description and Scoring

- S1 For single-storey units in multi-family residential development:
 (a) a minimum of 40% are *adaptable units* (2 points) and, of those units,
 (b) *accessible unit(s)* providing full wheelchair accessibility are provided (2 points).
 Project incorporates adaptable and accessible design features in the site/building circulation and bathrooms in all other uses (2 points).

Applicant Explanation and Reference to Plans, Drawings, and Reports

Residential % of <i>Adaptable Units</i> : <input type="text" value="51"/>	Staff Comments
Details: All common areas of the residential building, lobby, circulation space, elevators and amenity spaces, will be accessible.	
Number of <i>Accessible Units</i> : <input type="text" value="0"/>	
Details:	
Residential Site/Common Areas and Commercial/Industrial/Institutional Uses: Office	
Details: Commercial spaces will be fully accessible from the street level and the parking area. CRU spaces are not yet designed but will be required to provide fully accessible bathrooms and circulation areas.	

Score /6

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Complete Community Design

Performance Measure Description and Scoring

S2 Project design is adapted to minimize shadow or privacy impacts to adjacent buildings.

AND/OR

Project design integrates the results of a *viewscape* study with respect to water and mountain views.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details:

A shadow study has been conducted and demonstrates no impact to adjacent buildings. Only the northwest corner of the building lines up with an adjacent residential building so privacy impacts are minimal. The other building frontages are facing heavily treed areas and commercial uses.

Plan/document references:

A0.011, A0.040

Staff Comments

Score /1

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Diversity of Use

Performance Measure Description and Scoring

S3 Development provides diversification by increasing the mix of uses for the particular site and its neighbourhood.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Existing use(s):

None.

Proposed uses:

% Total Floorspace/Site Area

Residential

Commercial

Industrial

Institutional

Park (Note Type)

Gathering Space

Staff Comments

Score /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Housing Diversity

Performance Measure Description and Scoring

S4 Development includes a mix of housing types.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Number of Units	Staff Comments
Live-work units	<input type="text"/>	
Ground-oriented units	41	
Apartment units	201	

Score /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Housing Diversity

Performance Measure Description and Scoring

S5 Project includes a range of unit sizes for a variety of household types, and the design is flexible to allow for changes, i.e. den can easily become another bedroom.

Targets:

2-bedroom minimum 25% of units

3-bedroom minimum 10% of units

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Number of Units	% of Units	Staff Comments
Bachelor/1-bedroom	<input type="text" value="167"/>	<input type="text" value="69"/>	
2-bedroom	<input type="text" value="71"/>	<input type="text" value="29"/> (1 pt)	
3+ -bedroom	<input type="text" value="4"/>	<input type="text" value="2"/> (2 pts)	
Flexible design features: A modular cabinetry system is being proposed for the 1-bed/studio homes which would enable homeowners to switch, modify and customize the space to meet their lifestyle. This reduces the amount of space used for these functions and maximizes the usable living area. 1-bed/studios also configured as a 'borrowed light' bedrooms which make better use of the living area and enable flexible use of the bedroom area.			

Score /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Housing Affordability

Performance Measure Description and Scoring

S6 Project provides new purpose-built *market rental housing* (2 points) or affordable *market rental housing* (3 points) or *non-market rental housing* (4 points).

OR

Development contributes to the City's Affordable Housing Reserve Fund in lieu of provision of affordable housing (2 points).

Applicant Explanation and Reference to Plans, Drawings, and Reports

Types: Market and non-market rental	Staff Comments
Description: 20 market rental, 4 below-market rental	
% of total housing units: 10 %	
Plan reference: NA	

Score **3** /4

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Amenities

Performance Measure Description and Scoring

S7 Project provides voluntary public amenities.

Examples:

- Child care facility
- Space for growing food
- Child play areas
- Gathering place/space
- Park/greenspace
- Public contribution in lieu (CACs), i.e., school, library, arts, etc

(5 Points = any approved option)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details: Multi-use pathway along St. Johns St. Public, realm improvements with seating benches fronting the commercial area and bike racks for short term bike parking.	Staff Comments
Plan reference:	

Score **2** /5

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Amenities

Performance Measure Description and Scoring

S8 Project provides voluntary private amenities.

Examples:

- Accessible green roof
- Communal garden
- Dog runs
- Play areas
- Social gathering place

(1 point per approved amenity item – maximum of 3 points)

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details:

Children's playground that benches into the slope and includes 'nature play' elements.
Central gathering space with raised seating area. Lawn space.
Large indoor amenity room on the 6th floor facing Burrard Inlet and connected to an outdoor, rooftop amenity space. Outdoor kitchen/BBQ with dining table, lounge seating and community garden plots.
A second rooftop amenity area has been added to building 1. This includes a number of other features and activities but will ensure there is sufficient space for all residents.

Plan reference:

L1.2, L1.2

Staff Comments

Score **3** /3

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Inclusive Community

Performance Measure Description and Scoring

S9 The proposal supports aging-in-place with adult care, assisted living space, and/or independent senior living space.

Applicant Explanation and Reference to Plans, Drawings, and Reports

Details:

50% of the units are being designed as adaptable which is an appropriate design standard to support aging-in-place. This includes key spacial design elements (eg. space for wheelchairs) as well as provision for grab bars to be installed in the future.
Light switches, receptacles, cable/data outlets all located to be reachable to a person in a wheelchair.

Staff Comments

Score **1** /4

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Community Building

Performance Measure Description and Scoring

S10 Project provides *urban vitalization* by involving land owners and occupants, community groups, and end user groups who may be affected by the proposal in the planning process to identify and showcase Port Moody's unique assets, i.e. goes above and beyond standard notification and consultation.

Examples:

- Host a community-building workshop with the neighbourhood at the time of a project's inception to determine values and identify unique assets to leverage through design.

Staff will advise on notification requirements and appropriate stakeholder consultation

Applicant Explanation and Reference to Plans, Drawings, and Reports

Please identify stakeholders and explain their involvement:

Public information meeting was held January 30, 2020. In addition to this event, a number of follow up meetings were held with stakeholders that expressed interest in learning more about the project. This included:

1. Architecture & Design - Aug 24th & Sept 16
2. Transportation & Circulation - Aug 25
3. Environmental Response, Stream keepers and Environmental Stewards - Aug 28.

Identify actions taken in response to stakeholder input:

Architecture & Design working group discussion resulted a better understanding what the community wanted for this site. This is reflected in the of refinements to the building's expression, materials and color palette. In addition adjustments to the art work have been made brining it down to the pedestrian level fronting the commercial.

Traffic Group - revised recommendations for traffic response and identification of the key concerns of immediate neighbors during the construction process.

Environmental Stewards - provided site-specific recommendations for plant species which were incorporated into the planting plan. The swale and rain garden also resulted from these discussions as a way to infiltrate rainwater into the environmental area.

Plan references:

Post-Information Meeting Engagement Summary

Staff Comments

EARLY STAGE

Score 2 /4

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Safety

Performance Measure Description and Scoring

- S11 The design of the site incorporates *Crime Prevention Through Environmental Design* principles (CPTED).

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Please explain:</p> <p>This development follows well established CPTED principals by eliminating or reducing concealed spaces both above and below grade, separating public and residential stairs, separating and controlling access to resident parking areas and by controlling access to residential elevators while providing egress from below grade visitor or commercial parking areas. Access to the visitor and commercial parking areas is through an open gate during normal business hours while off hour access to these areas is controlled by an enter-phone.</p>	<p>Staff Comments</p>
<p>Plan references:</p> <p>A2.17, A3.01</p>	

Score 1 /1

SOCIAL SUSTAINABILITY SECTION

How well does the project address community health and wellness?

Education and Awareness

Performance Measure Description and Scoring

- S12 Project provides education and awareness of the sustainable features of the project for owners/occupants.

Examples:

- Document is given to new owners at time of sale, covenant on title, inclusion/protection of features in strata bylaws
- Signage/display/art recognizing design, etc.

Applicant Explanation and Reference to Plans, Drawings, and Reports

<p>Describe:</p> <p>An operations and maintenance plan will be provided to the strata corporation and property manager, and will outline standards for maintaining on-site landscaping in accordance with Salmon Safe practices. This includes, limitation of herbicides/pesticides and identification of permitted fertilizers.</p> <p>Signage will be located on the RPEA fence along the Albert Street frontage.</p>	<p>Staff Comments</p>

Score 1 /1

SOCIAL SUSTAINABILITY SECTION *How well does the project address community health and wellness?*

Innovation

Performance Measure Description and Scoring

S13 Social sustainability aspects not captured above.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments

SOCIAL SUSTAINABILITY SECTION *How well does the project address community health and wellness?*

Constraints

Performance Measure Description and Scoring

S14 Unique site aspects that limit social sustainability achievement.

Applicant Explanation and Reference to Plans, Drawings, and Reports

	Staff Comments

Social Sustainability Score Summary

	Score
Total Social Pillar Points (Total Points Available – Not Including Bonus Points)	38 Total
Total Social Points Not Applicable (Total Points for Items Not Relevant to this Application)	0 n/a
Maximum Achievable Score (Total Social Pillar Points Minus Total Social Points Not Applicable)	38 Maximum
Social Pillar Minimum Score (Sum of Applicable Baseline Items)	4 Social Baseline
Total Points Achieved (Total Points Achieved for Applicable Items for this Application)	21.5 Total Social Points
Social Pillar Score (Total Points Achieved/Maximum Achievable Score)	21.5 / 38 = 57 % Total Social Points Max Percent

Project Report Card Summary FOR CITY USE ONLY – TO BE FILLED OUT BY THE PLANNER

Project Address/Name: 2025 St. Johns Street	File No: 6700-20-196
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PROJECT SCORE SUMMARY	Cultural	Economic	Environmental	Social
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Total Pillar Points Available	23	16	57	38
Sum Of Items Not Applicable	Cultural na 12	Economic na 0	Enviro na 4	Social na 0
Maximum Achievable Score (Total Pillar Points – Sum of Items N/A)	Maximum Cultural Achievable 11	Maximum Economic Achievable 16	Maximum Enviro Achievable 53	Maximum Social Achievable 38
Minimum Score (Sum of Applicable Baseline Items)	Minimum Cultural Score 9	Minimum Economic Score 7	Minimum Enviro Score 30	Minimum Social Score 7
Missed Points (Sum of Applicable Items Not Achieved)	Missed Cultural Points 4.5	Missed Economic Points 7.5	Missed Enviro Points 4	Missed Social Points 16.5
TOTAL PILLAR SCORE ACHIEVED (Total Points Achieved out of Applicable Items)	<div>6.5 / 11</div> <div>Total Cultural # Possible Cultural #</div> <div>60 %</div> <div>Total Cultural Percent</div>	<div>8.5 / 16</div> <div>Total Economic # Possible Economic #</div> <div>54 %</div> <div>Total Economic Percent</div>	<div>42 / 53</div> <div>Total Enviro # Possible Enviro #</div> <div>80 %</div> <div>Total Enviro Percent</div>	<div>21.5 / 38</div> <div>Total Social # Possible Social #</div> <div>57 %</div> <div>Total Social Percent</div>

OVERALL SUSTAINABILITY SCORE (Sum of Four Pillars)	<div>78.5 / 118</div> <div>Overall # Overall Possible #</div> <div>67 %</div> <div>Overall Percent</div>
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SUSTAINABILITY HIGHLIGHTS	Cultural	Economic	Environmental	Social
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+ Priority Items (Score ≥3) Achieved and Confirmed Innovations	<div>+ Cultural</div> Public Art incorporated in the facade of the building	<div>+ Economic</div> Provision of commercial space at currently vacant site.	<div>+ Environmental</div> Enhancement and restoration of riparian area around South Schoolhouse Creek and on-site ESA Step Code 3 or 2 plus LCES	<div>+ Social</div> Provision of 4 below market rental and 20 market rental units.
– Priority Items (Score ≥3) Missed and Confirmed Constraints	<div>– Cultural</div>	<div>– Economic</div> Limited Commercial space, based on determined viability at the site.	<div>– Environmental</div>	<div>– Social</div>

Report Card Glossary

Accessible housing – Housing designed and constructed to be universally accessible to people of diverse ages and abilities.

Adaptable unit – A dwelling unit that provides flexible design features that meet BC Building Code minimum requirements; it can be adapted to meet the changing needs of any occupant for reasons of disability, lack of stamina, and progressing through different life stages to support independent living.

Accessible housing/unit – Housing with fixed design features to enable independent living for persons with disabilities, such as those in wheelchairs.

Affordable market housing – Housing that is affordable to moderate income households achieved through tenure, location, reduced parking, modesty in unit size, level of finishing, and design and durability over time as the buildings age.

BC Energy Step Code – BC Energy Step Code is a voluntary roadmap that establishes progressive performance targets (i.e., steps) that support market transformation from the current energy-efficiency requirements in the BC Building Code to net zero energy ready buildings.

Beautification – The process of making visual improvements appropriate to a specific place, including but not limited to building facades, landscaping, decorative or historic-style street elements, selection of paving/fencing materials and their treatment, etc. Improvements contribute to Port Moody's reputation as City of the Arts in a sustainable manner.

Brownfield – A term used in urban planning to describe land previously used for industrial purposes or some commercial uses where the expansion, redevelopment, or reuse of the property may be complicated by the potential presence of a hazardous substance, pollutant, or contaminant.

Car/Bike share network – Arrangements between two or more persons to share the use of a vehicle or bicycle for a specified cost and period of time.

Character-defining elements – The materials, forms, location, spatial configurations, uses, and cultural associations or meanings that contribute to the heritage value of a historic place, which must be retained to preserve its heritage value.

Crime Prevention Through Environmental Design (CPTED) – The design and effective use of the built environment to reduce the incidence of crime and improve the quality of life.

District energy systems – A system that uses renewable energy to pipe energy to buildings within a specified area for space heating, hot water, and air conditioning.

Ecological inventory – An inventory that identifies the ecological values in a natural habitat, and is usually the first step in an environmental impact assessment.

Electric vehicle (EV) – An automobile that uses one or more electric motors or traction motors for propulsion. An electric vehicle may be powered through a collector system by electricity from off-vehicle sources, or may be self-contained with a battery or generator to convert fuel to electricity.

Environmentally Sensitive Areas – Land designated as areas that need special protection because of its environmental attributes, such as rare ecosystems, habitats for species at risk and areas that are easily disturbed by human activities. Refer to [Map 13 of OCP](#).

Report Card Glossary – continued

Greenfield – Undeveloped land in a city or rural area either used for agriculture or landscape design, or left to evolve naturally. These areas of land are usually agricultural or amenity properties being considered for urban development.

Greyfield – Economically obsolescent, out-dated, declining, and/or underutilized land, often with the presence of a abundant surface parking.

Greywater – Wastewater from lavatories, showers, sinks, and washing machines that do not contain food wastes and that can be reused for purposes such as irrigation or flushing toilets.

Habitat corridor – Habitat areas, generally consisting of native vegetation, linking with larger areas of similar wildlife habitat. Corridors are critical for the maintenance of ecological processes, providing food, and allowing for the movement of animals and the continuation of viable populations.

Heat island effect – Heat islands form as vegetation is replaced by hard surfaces to accommodate growing populations. These surfaces absorb, rather than reflect, the sun's heat, causing surface temperatures and overall ambient temperatures to rise.

Heritage rehabilitation – The action or process of making possible a continuing or compatible contemporary use of a historic place through repair, alterations, and/or additions while protecting its heritage value.

Heritage restoration – Returning a historic place back to how it looked at any time in its past.

Invasive plant species – An invasive plant is a non-native species whose interaction causes economic harm, harm to human health, and/or environmental harm.

Light pollution – Brightening of the night sky caused by street lights and other man-made sources, which has a disruptive effect on natural cycles and inhibits the observation of stars and planets.

Market rental housing – Private, market rental rate housing units.

Naturescape planting – Landscaping with species that are naturally adapted to local climate, soils, predators, pollinators, and disease and, once established, require minimal maintenance.

Non-market rental housing – Subsidized rental housing for those unable to pay market-level rents including, but not limited to, public housing owned and operated by government agencies, non-profit housing owned and operated by public and private non-profit groups, and co-operative housing owned and managed by co-operative associations of the residents.

On-site power generation – The ability to generate power without transporting it from its source to where it can be utilized.

On-site renewable energy generation – The generation of naturally replenished sources of energy, such as solar, wind power, falling water, and geothermal energy.

Passive design – An approach to building design that uses the building architecture to minimize energy consumption and improve thermal comfort.

Public space – A social space that is generally open and accessible to people.

Report Card Glossary – continued

R-2000-Certified New Home – Best-in-class, energy-efficient homes with even higher levels of energy efficiency than ENERGY STAR-qualified new homes, as well as clean air and environmental features.

Smart technology – Technologies that allow sensors, databases, and/or wireless access to collaboratively sense, adapt to, and provide for users within the environment.

Statement of significance – The first essential step in any conservation project, which involves identifying and describing the *character-defining elements*; it is important in defining the overall heritage value of the historic place. Refer to the Standards and Guidelines for the Conservation of Historic Places in Canada (see Resources glossary).

Streetscape – The visual elements of a street, including the road, adjoining buildings, sidewalks, street furniture, trees, and open spaces that combine to form the street's character.

Storm water management plan – The management of water occurring as a result of development or precipitation that flows over the surface into a sewer system.

Transit oriented development (TOD) – A mixed-use residential and commercial area designed to maximize access to public transportation; it often incorporates features to encourage transit ridership. A TOD neighbourhood typically has a centre with a transit station or stop (train station, metro station, tram stop, or bus stop), surrounded by relatively high-density development with progressively lower-density development spreading outward from the centre. TODs generally are located within a radius of 400 to 800 metres from a transit stop, as this is considered to be an appropriate distance for *walkability*.

Universal access – This term refers to broad-spectrum ideas meant to produce buildings, products, and environments that are inherently accessible to both people without disabilities and people with disabilities.

Urban infill – An urban planning term that refers to new development that is sited on vacant or undeveloped land within an existing community, and that is enclosed by other types of development.

Urban forest – The total collection of trees and associated plants growing in a city or town. It includes trees in parks and yards, along roadways and paths, and in other areas, both on public and private lands.

Urban vitalization – The urban planning process of rehabilitating a place or “taking a place to a higher level” using a community-building process (early stage community involvement) to define the key characteristics that make a place unique or special; and applying the concepts of urban conservation to leverage a community's assets, most often in accordance with approved City plans.

Viewscape – The natural and built environment that is visible from a viewing point.

Walkability – The extent to which the built environment is friendly to the presence of people living, shopping, visiting, enjoying, or spending time in an area; improvements in walkability lead to health, economic, and environmental benefits.

Xeriscaping – This term refers to landscaping and gardening in ways that reduce or eliminate the need for supplemental water from irrigation. Xeriscaping refers to a method of landscape design that minimizes water use.

Resources

Access Near Aquatic Areas: A Guide to Sensitive Planning, Design and Management

atfiles.org

BC Climate Exchange

bcclimateexchange.ca

BC Energy Step Code Technical Requirements

bclaws.ca

Best Management Practices for Amphibians and Reptiles in Urban and Rural Environments in British Columbia

env.gov.bc.ca

Bird-Friendly Development Guidelines – City of Toronto

toronto.ca/lightsoout/guidelines

Canada Green Building Council

cagbc.org

City of Port Moody: Official Community Plan (2014)

portmoody.ca

Stream and Drainage System Protection Bylaw No. 2470

portmoody.ca

City of Port Moody Waste Management Bylaw No. 2822

portmoody.ca

City of Vancouver *Passive Design* Toolkit for Large Buildings

vancouver.ca

Community Green Ways Linking Communities to Country and People to Nature

evergreen.ca

Design Centre for CPTED (*Crime Prevention Through Environmental Design*)

designcentreforcpted.org

Develop with Care: Environmental Guidelines for Urban and Rural Land Development in British Columbia

env.gov.bc.ca/wld/documents/bmp/dewithcare/

EnerGuide Rating System

nrcan.gc.ca/energy/efficiency/housing/new-homes/5035

Environmentally Sensitive Areas, Best Practices

env.gov.bc.ca

Resources – continued

Examples of Good Public Art

[City of Port Moody Public Art](#)

Fatal Light Awareness Program (FLAP)

[flap.org](#)

Invasive Species Council of Metro Vancouver

[iscmv.ca](#)

International Dark Sky Association

[darksky.org](#)

Metro Vancouver's DLC Waste Management Toolkit

[metrovancover.org](#)

Metro Vancouver Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments

[metrovancover.org/services](#)

Metro Vancouver's Stormwater Source Control Guideline

[metrovancover.org/services](#)

Naturescape BC

[naturescapebc.ca](#)

Project for Public Spaces

[pps.org](#)

Riparian Areas Regulation Assessment Methods

[gov.bc.ca](#)

Standards and Best Management Practices for Instream Works

[env.gov.bc.ca](#)

Standards and Guidelines for the Conservation of Historic Places in Canada

[historicplaces.ca](#)

Stream Stewardship: A Guide for Planners and Developers

[stewardshipcentrebc.ca](#)

Translink: Transit Oriented Communities

[translink.ca/transit-oriented-communities](#)

Vancouver Bird Strategy – City of Vancouver (2015)

[vancouver.ca](#)