

Albert Street Residential Development

Landscape Set: RE-ISSUED FOR RZ/DP
MARCH 18, 2021

LANDSCAPE DRAWING LIST

L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L1.0	LAYOUT & MATERIALS - LEVEL 1
L1.01	LAYOUT & MATERIALS - LEVEL P1
L1.1	LAYOUT & MATERIALS - ROOF
L1.2	ENLARGEMENT - COURTYARD LAYOUT
L1.3	ENLARGEMENTS - COMMERCIAL & P1
L1.4	ENLARGEMENT - BUILDING 1 ROOF
L1.5	ENLARGEMENT - BUILDING 2 ROOF
L2.0	GRADING PLAN - LEVEL 1
L3.0	PLANT MATERIALS
L5.0	DETAILS - SOFTSCAPE
L5.1	DETAILS - HARDSCAPE
L5.2	DETAILS - FENCES & WALLS
L5.3	DETAILS - PLAY AREA
L5.4	DETAILS - FURNISHINGS
L5.5	DETAILS - PLANTERS

OFFSITE

OSL1.0	LANDSCAPE OFFSITE - SAINT JOHNS STREET
OSL1.1	LANDSCAPE OFFSITE - ALBERT STREET

PROJECT TEAM

OWNER/DEVELOPER

MARCON ALBERT (GP) LTD.
5645-199th Street, Langley, BC V3A 1H9
604.530.5646

ARCHITECT

SHIFT ARCHITECTURE INC.
200-100 W 3 Street, North Vancouver, BC V7P 3J6
604.988.7501

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLECT OF THIS ADVICE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

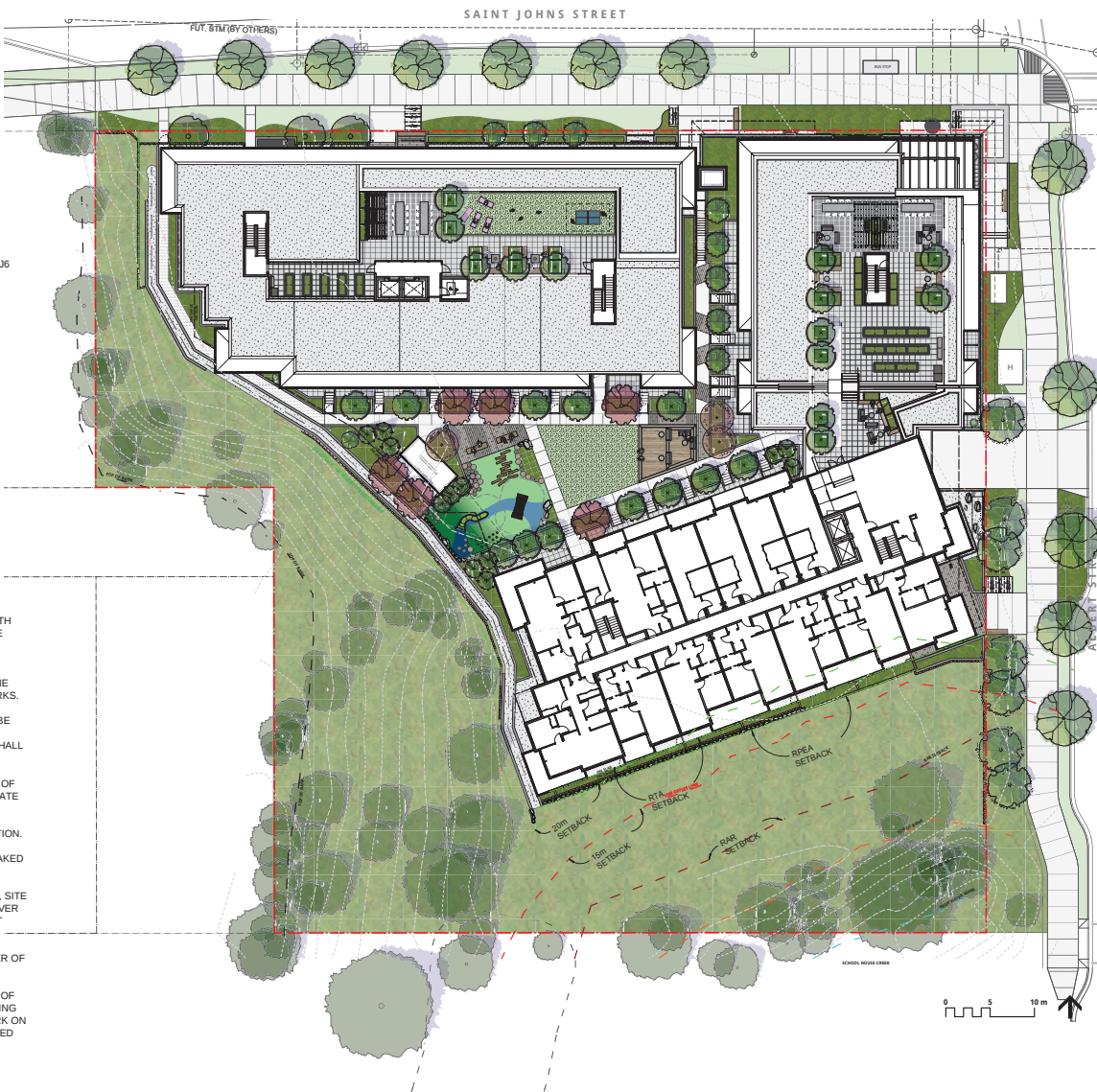
ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SELECTION AND LAYOUT OF ALL SITE WORKS (INCLUDING, BUT NOT LIMITED TO: HARDSCAPES, SITE FURNITURE, GROWING MEDIA, TREES, AND PLANTING) IS TO BE APPROVED BY THE CITY OF VANCOUVER PRIOR TO MATERIAL ACQUISITION AND STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FINAL SIDEWALK LOCATION AND BOULEVARD DESIGN TO BE DETERMINED BY THE GENERAL MANAGER OF ENGINEERING SERVICES PRIOR TO BUILDING OCCUPANCY.

THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND BE ISSUED AS "FOR CONSTRUCTION". EIGHT WEEKS NOTICE IS REQUESTED. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT KEVIN CAVELL AT 604-873-7773 FOR DETAILS.



ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:250

Drawn:

Reviewed: DS

Project No. 06-653

COVER SHEET
& DRAWING LIST

L0.0

EXISTING TREE TO BE REMOVED
TO BE CONFIRMED PER ARBORIST ON-SITE
WITH CITY OF PORT MOODY ARBORIST PRIOR
TO REMOVAL

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TO BE CONFIRMED PER ARBORIST ON-SITE
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TO REMOVAL



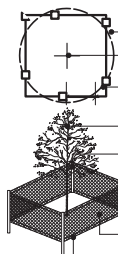
EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE RETAINED



TREE PROTECTION FENCING

TREE PROTECTION FENCING
TREE PROTECTION FENCING TO BE INSTALLED
PER CITY OF PORT MOODY STANDARDS AND
INSPECTED BY ARBORIST PRIOR TO
CONSTRUCTION ACTIVITY



—PROTECTION BARRIER

—EXISTING TREE CENTERED
WITHIN TREE PROTECTION

100% 90% 80% 70% 60% 50% 40% 30% 20% 10% 0%

—DISTANCE 6X FROM TRUNK
OR PLACE AT CURB EDGE/

SIDEWALK EDGE

EXISTING TREE CENTERED

WITH TREE PROTECTION

—PROTECTION BARRIER
6X FROM TRUNK

58 -- 100 MILLION DOLLARS PER

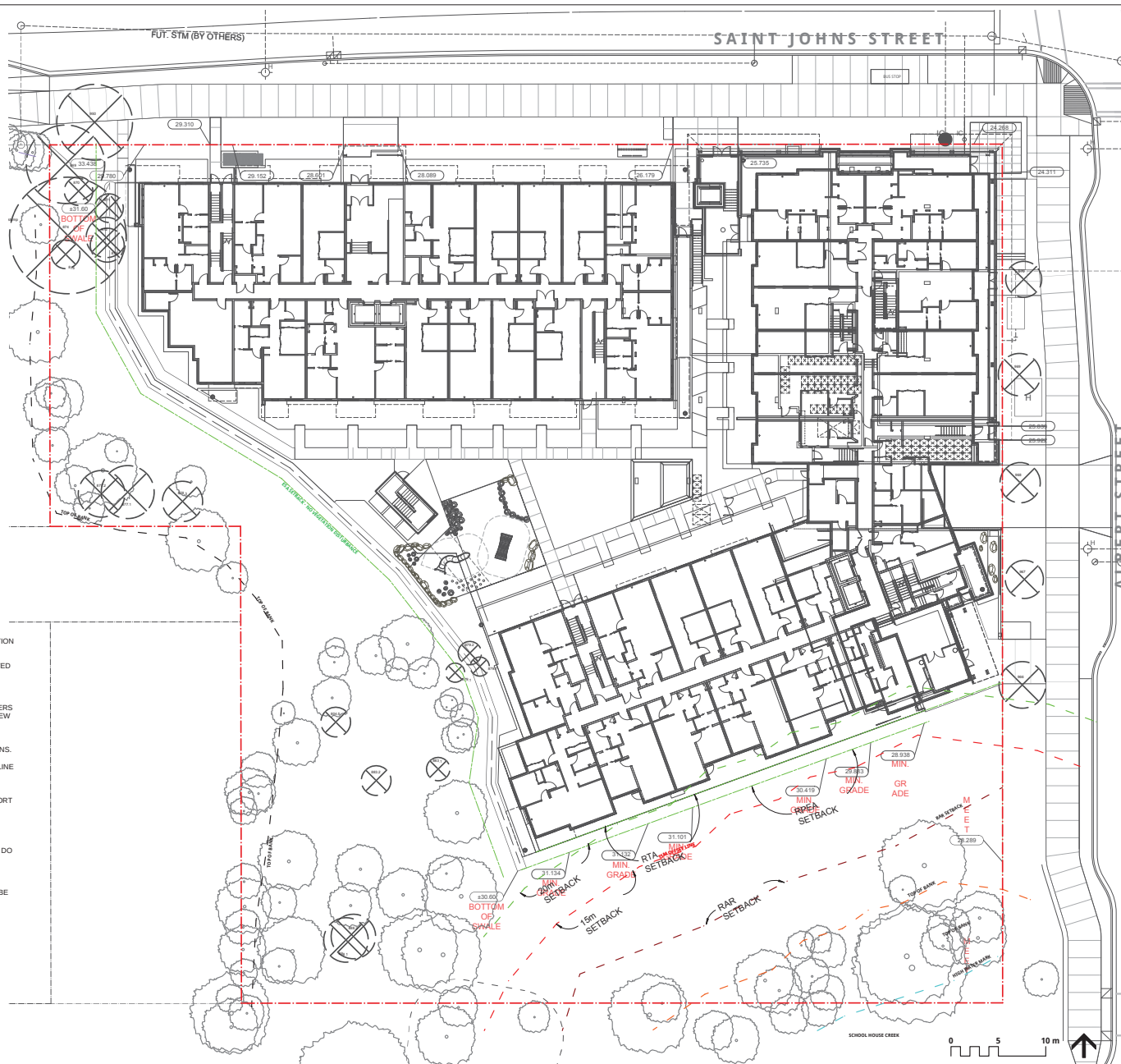
—50 X 100 WOOD POSTS SET
DEEP INTO FINISHED GRAD

SPACING OF POSTS 2m, US
ADDITIONAL POSTS AS REQ

ADDITIONAL POSTS AS REQ.

TREE PROTECTION NOTES

1. REFER TO CERTIFIED ARBORIST REPORT TO VERIFY INFORMATION REGARDING EXISTING TREES TO BE RETAINED/REMOVED AND TREE RETENTION VIABILITY.
2. INSTALL TREE PROTECTION BARRIER AROUND ALL TREES TO BE PRESERVED TO CITY OF PORT MOODY STANDARDS AND SPECIFICATIONS, SUBJECT TO REVIEW BY PROJECT ARBORIST.
3. INFORM ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS AND SUBMIT INSPECTION REPORT TO CITY OF VANCOUVER STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION / MOBILIZATION CONSTRUCTION ACTIVITY.
4. DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
5. DO NOT ALTER EXISTING GRASS OR STORE MATERIALS UNDER THE DRIP LINE OF TREES WITHIN THE PROPOSED CONSTRUCTION WORK AREA. DISCARD DRAINAGE DRAIN LINES WITHIN PROPOSED CONSTRUCTION WITHIN DRIP LINES OF TREES ONLY WHERE INDICATED ON PLANS.
6. ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF PORT MOODY TREE PROTECTION BY-LAWS.
7. FOR CARE AND PROTECTION OF EXPOSED ROOTS AND ROOT CURTAIN SYSTEM CONSULT PROJECT ARBORIST.
8. TUNNEL UNDER AND AROUND ALL SIGNIFICANT ROOTS BY HAND DIGGING. DO NOT CUT MAIN LATERAL ROOTS.
9. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF VANCOUVER.
10. CONTRACTOR TO CONTACT PROJECT ARBORIST, CITY ARBORIST AND/OR LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
11. THIS PLAN IS NOT FOR CONSTRUCTION OF ANY PUBLIC PROPERTY FACILITIES. PRIOR TO THE START OF ANY CONSTRUCTION ON PUBLIC PROPERTY A LANDSCAPE PLAN MUST BE SUBMITTED TO ENGINEERING SERVICES AND ISSUED AS FOR CONSTRUCTION.
12. ALL SIDEWALKS BETWEEN THE CURB AND PROPERTY LINE ARE TO BE RECONSTRUCTED FULLY AT THE PROPERTY LINE.



2305 Hemlock St, Vancouver BC, V6H 2V1
T 604 681 3303 F 604 681 3307
www.connectla.ca

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
LOCATION, AND ELEVATION OF UTILITIES AND /
OR CONCEALED STRUCTURES AT THE PROJECT
SITE

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3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR RZ/DP	19-09-06

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200

Drawn: _____

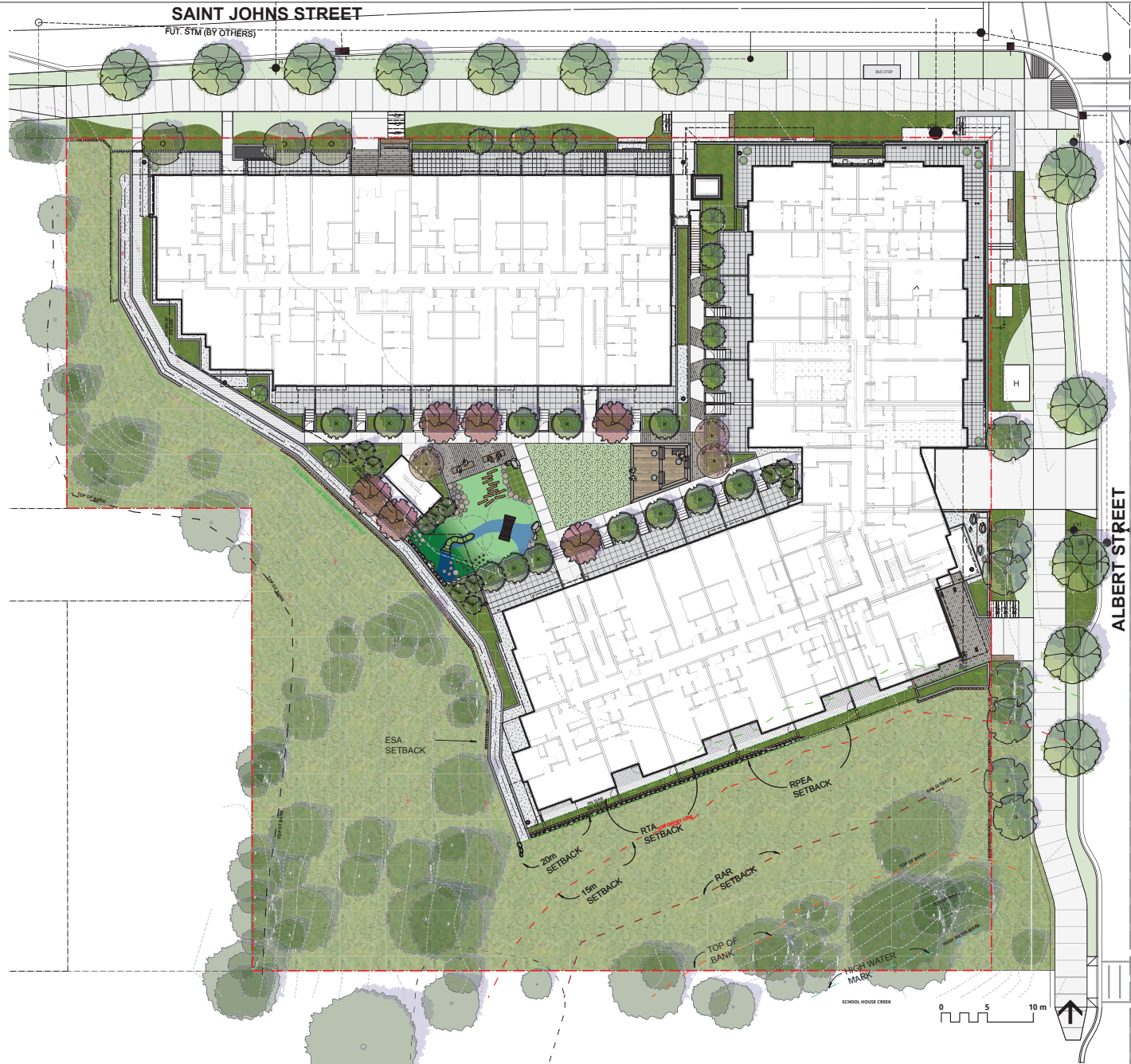
Reviewed: DS

Project No.	06-653
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TREE MANAGEMENT

LAYOUT & MATERIAL LEGEND

CIP CONCRETE WALKWAY PER PLANS & DETAILS	
FEATURE UNIT PAVING PER PLANS & DETAILS	
PERMEABLE UNIT PAVING PER PLANS & DETAILS	
PRIVATE PATIO SLAB PAVING PER PLANS & DETAILS	
WOOD DECK PER PLANS & DETAILS	
GRAVEL EDGING 450MM TYP. PER PLANS & DETAILS	
CIP CONCRETE RETAINING WALL PER ARCHITECTURE	
TREE PROTECTION FENCING PER CITY STANDARDS	
METAL GUARD PER ARCHITECTURE	
WOOD GUARD PER PLANS & DETAILS	
POST AND RAIL FENCE PER PLANS AND DETAILS	
6" WOOD PRIVACY SCREEN PER PLANS & DETAILS	
EXISTING PLANTING TO REMAIN UNDISTURBED	
PROPOSED PLANTING PER PLANS & DETAILS	
PLAYGROUND GRASS SAFETY SURFACE PER PLANS AND DETAILS	
PROPOSED LAWN PER PLANS & DETAILS	
CUSTOM WOOD BENCH PER PLANS & DETAILS	
BIKE RACK PER PLANS & DETAILS	
OUTDOOR FURNITURE LOCATION PER PLAN PER MARCON/INTERIORS	
EXISTING TREE TO REMAIN PER ARBORIST REPORT	
PROPOSED TREE PER PLANS & DETAILS	
PLAY AREA SURFACING PER PLANS & DETAILS	
NATURE PLAY ELEMENTS PER PLANS & DETAILS	
BOULDER RETAINING PER PLANS & DETAILS	



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LAYOUT & MATERIALS LEVEL 1

LAYOUT & MATERIAL LEGEND

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LAYOUT & MATERIALS LEVEL P1

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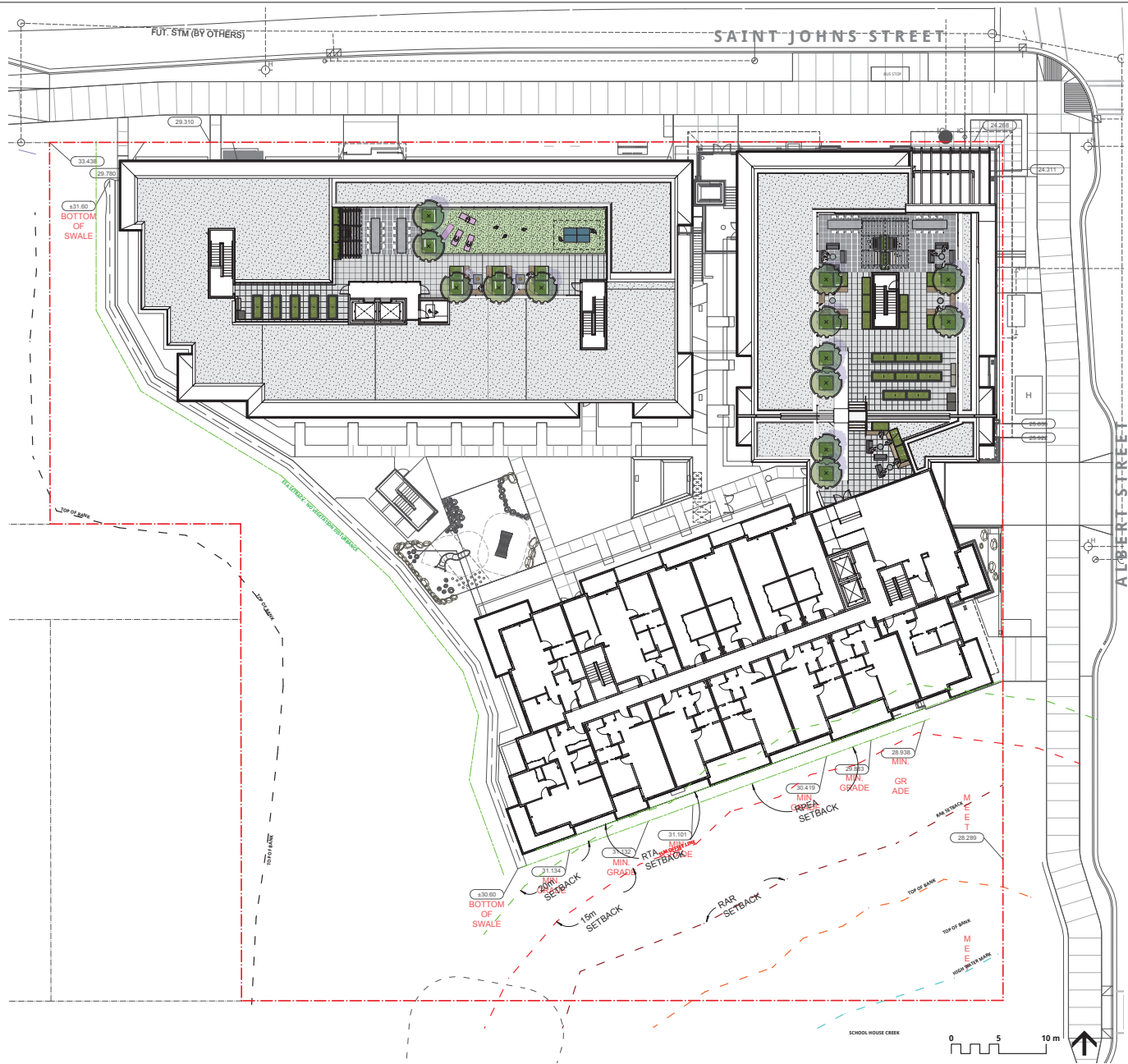
Project No. 06-653

LAYOUT & MATERIALS ROOF

L1.1

LAYOUT & MATERIAL LEGEND

- CIP CONCRETE
PER PLANS & DETAILS
- PATIO SLAB PAVING
NATURAL GREY
- PATIO SLAB PAVING
CHARCOAL
- GRAVEL SURFACE
PER PLANS & DETAILS
- PLAYGROUND GRASS SAFETY SURFACE
PER PLANS AND DETAILS
- PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
- BBQ & COUNTER
PER PLANS & DETAILS
- CUSTOM METAL TRELLIS
PER PLANS & DETAILS
- OUTDOOR FURNITURE
LOCATION PER PLAN
PER MARCON/INTERIORS
- CUSTOM WOOD BENCH
PER PLANS & DETAILS
- TIMBER GARDEN PLANTER
PER PLANS & DETAILS
- COMPOST & WORK TABLE
LOCATION PER PLAN
PER MARCON/INTERIORS



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ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:75

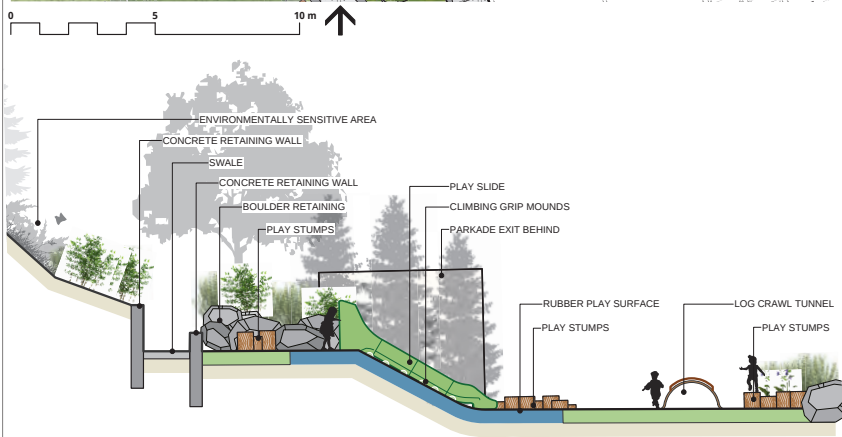
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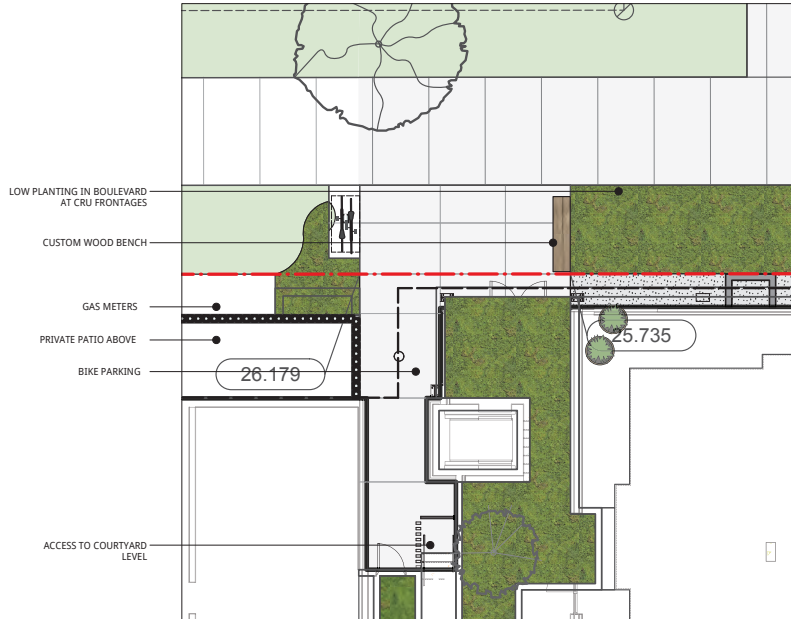
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ENLARGEMENT
COURTYARD LAYOUT

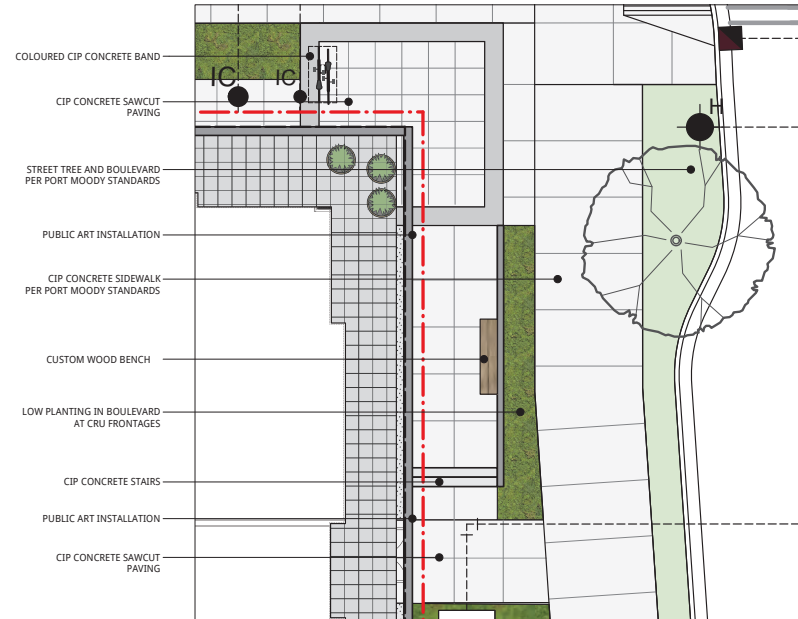
L1.2



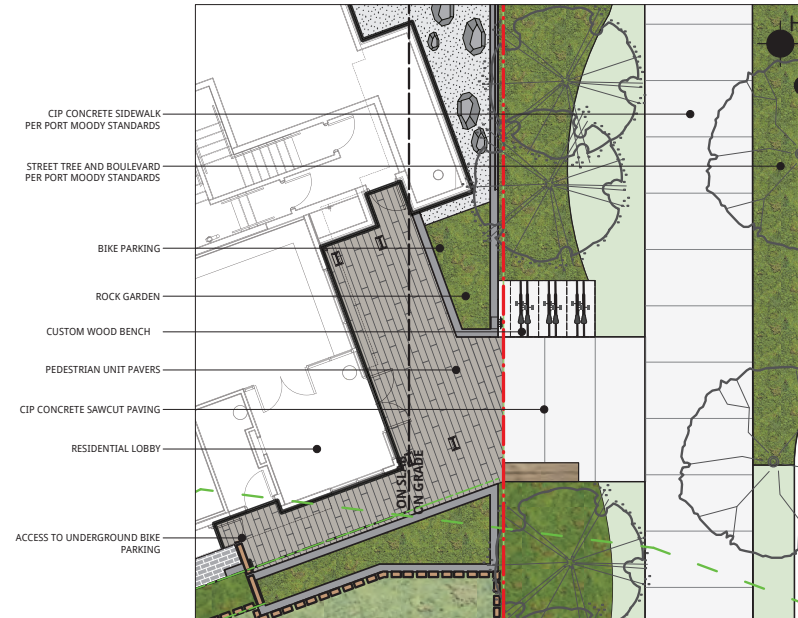
BUILDING 2 - NORTH ENTRY



BUILDING 2 - NORTH-EAST ENTRIES



BUILDING 3 - RESIDENTIAL LOBBY



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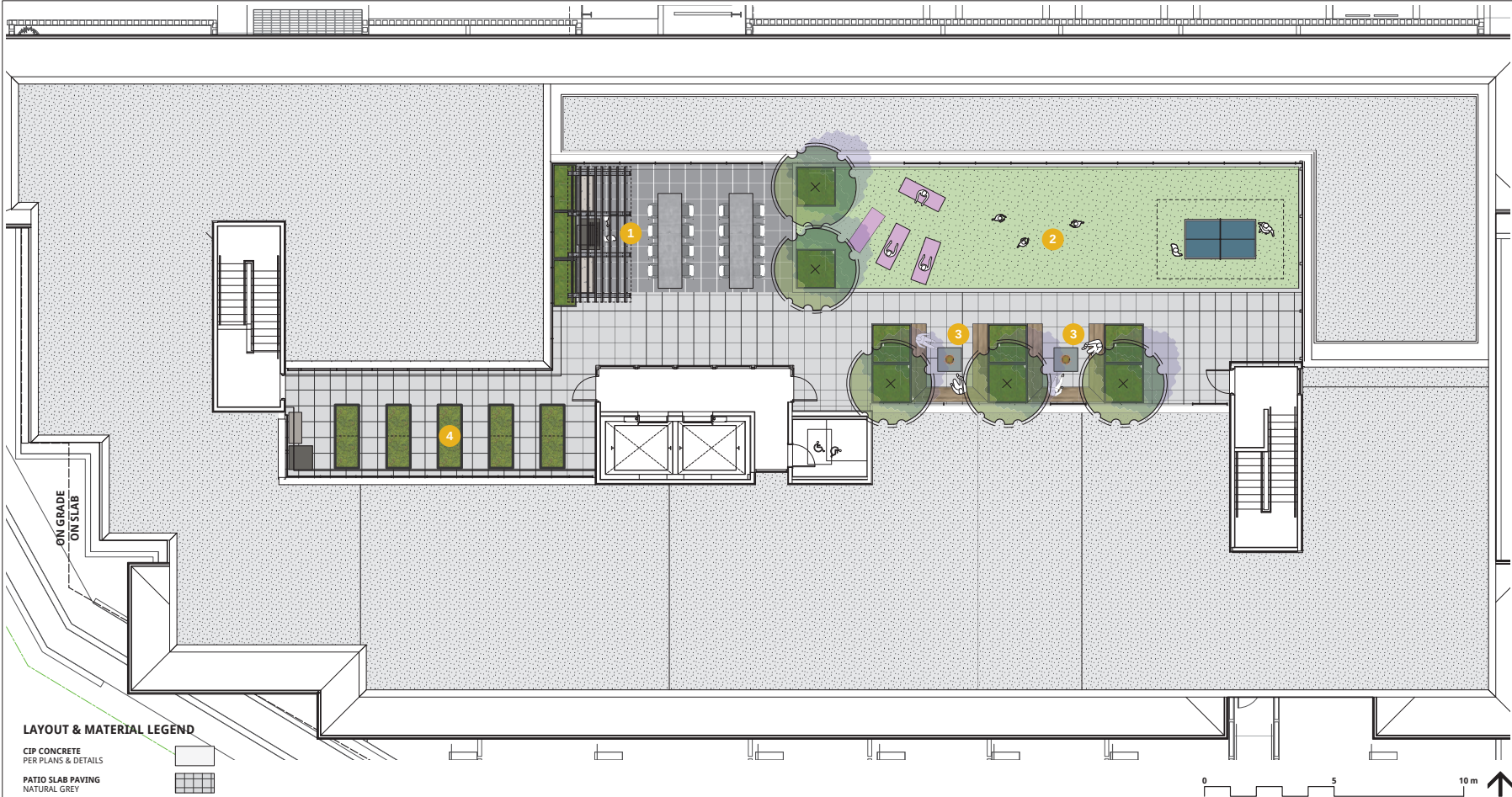
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ENLARGEMENT
COMMERCIAL & P1



LAYOUT & MATERIAL LEGEND

- CIP CONCRETE
PER PLANS & DETAILS
 - PATIO SLAB PAVING
NATURAL GREY
 - PATIO SLAB PAVING
CHARCOAL
 - GRAVEL SURFACE
PER PLANS & DETAILS
 - PLAYGROUND GRASS SAFETY SURFACE
PER PLANS & DETAILS
 - PROPOSED PLANTING
IN METAL PLANTER
PER PLANS & DETAILS
 - BBO & COUNTER
PER PLANS & DETAILS
 - CUSTOM METAL TRELLIS
PER PLANS & DETAILS
 - OUTDOOR FURNITURE
LOCATION PER PLAN
PER MARCON/INTERIORS
 - CUSTOM WOOD BENCH
PER PLANS & DETAILS
 - TIMBER GARDEN PLANTER
PER PLANS & DETAILS
 - COMPOST & WORK TABLE
LOCATION PER PLAN
PER MARCON/INTERIORS
1. DINING & KITCHEN
 2. ACTIVE FLEX SPACE
 3. LOUNGE AREA
 4. ROOFTOP GARDEN



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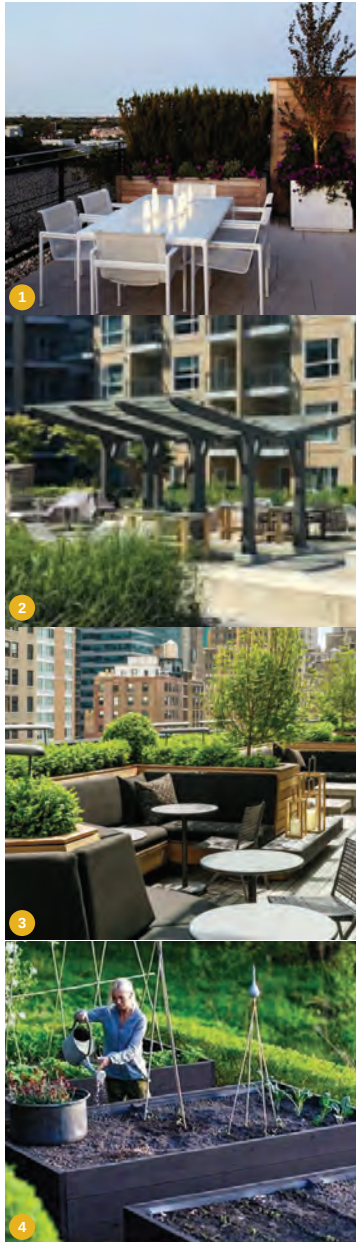
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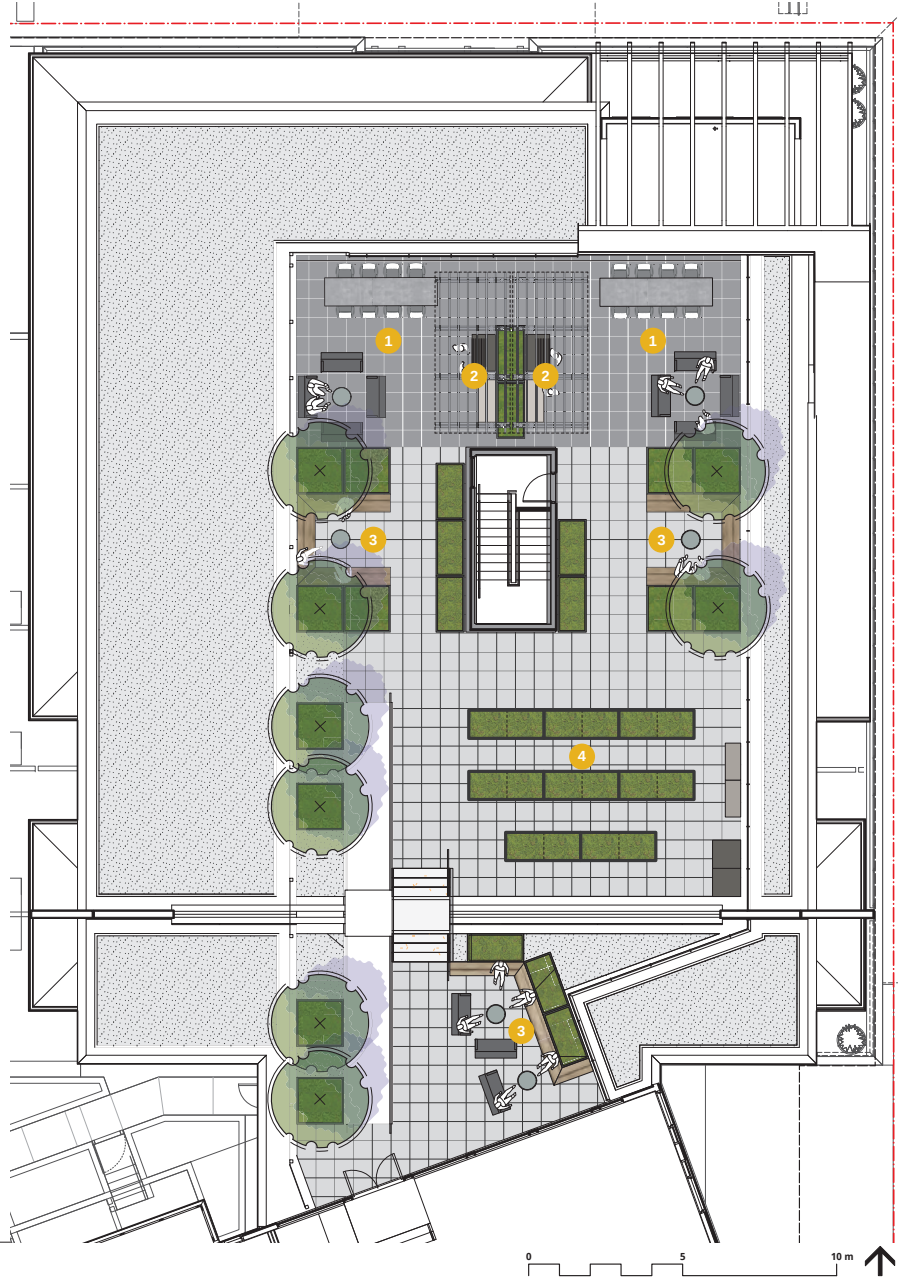
ENLARGEMENT
ROOF BUILDING 1

LAYOUT & MATERIAL LEGEND

CIP CONCRETE PER PLANS & DETAILS	
PATIO SLAB PAVING NATURAL GREY	
PATIO SLAB PAVING CHARCOAL	
GRAVEL SURFACE PER PLANS & DETAILS	
PLAYGROUND GRASS SAFETY SURFACE PER PLANS AND DETAILS	
PROPOSED PLANTING IN METAL PLANTER PER PLANS & DETAILS	
BBQ & COUNTER PER PLANS & DETAILS	
CUSTOM METAL TRELLIS PER PLANS & DETAILS	
OUTDOOR FURNITURE LOCATION PER PLAN PER MARCON/INTERIORS	
CUSTOM WOOD BENCH PER PLANS & DETAILS	
TIMBER GARDEN PLANTER PER PLANS & DETAILS	
COMPOST & WORK TABLE LOCATION PER PLAN PER MARCON/INTERIORS	



1. DINING AREA
2. OUTDOOR KITCHEN
3. LOUNGE AREA
4. ROOFTOP GARDEN



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ENLARGEMENT ROOF BUILDING 2





NATIVE & EVERGREEN LAYERS



Acer circinatum
Vine Maple



Iris tenax
Oregon Iris



Rosa gymnocarpa
Baldhip Rose



Taxus x media 'Hicksii'
Hick's Yew



ENVIRONMENTALLY SENSITIVE AREA NATIVE PLANTINGS



Amelanchier alnifolia
Saskatoon Berry



Arctostaphylos uva-ursi
Kinnikinnick



Malus fusca
Pacific Crabapple



Polystichum Munium
Western Sword Fern

PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES				
25	*Acer circinatum	Vine Maple	6cm cal., B&B	as shown
6	Cercis canadensis 'Forest Pansy'	Eastern Redbud	7cm cal., B&B	as shown
3	Fraxinus pennsylvanica 'Prairie Spire'	Prairie Spire Ash	6cm cal., B&B	as shown
2	Liquidambar styraciflua 'Slender Silhouette'	Fastigiate Sweetgum	6cm cal., B&B	as shown
3	*Malus fusca	Pacific Crabapple	6cm cal., B&B	as shown
12	Picea omorika	Serbian Spruce	3M height, B&B	as shown
8	Stewartia pseudocamellia	Japanese Stewartia	6cm cal., B&B	as shown
	Street Tree Per City of Port Moody	See offsite drawings	8cm cal., B&B	as shown
SHRUBS				
	*Amelanchier alnifolia	Saskatoon Berry	#2 pot	42" o.c
	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#5 pot	18" o.c
	*Cornus stolonifera	Red Osier Dogwood	#6 pot	36" o.c
	Cotoneaster dammeri	Little-Leaf Cotoneaster	#2 pot	24" o.c
	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot	18" o.c
	*Physocarpus capitatus	Pacific Ninebark	#2 pot	36" o.c
	*Polystichum munium	Western Sword Fern	#2 pot	24" o.c
	*Rhododendron macrophyllum	Pacific Rhododendron	#5 pot	36" o.c
	*Rosa gymnocarpa	Baldhip Rose	#2 pot	36" o.c
	Sarcococca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c
	Skimmia japonica	Japanese Skimmia	#3 pot	24" o.c
	Stipa tenuissima	Mexican Feather Grass	#2 pot	24" o.c
	*Symphoricarpos albus	Snowberry	#2 pot	24" o.c
	*Taxus X Media 'Hicksii'	Hick's Yew - 1.5M height	#3 pot	20" o.c
GROUND COVERS AND VINES				
	*Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	15" o.c
	Ceanothus griseus horizontalis	Creeping California Lilac	4"(10cm) pot	15" o.c
50/50mix	Rubus calycinoides	Emerald Carpet	4"(10cm) pot	15" o.c
	*Oxalis oreganus	Redwood Spurge	4"(10cm) pot	15" o.c
50/50mix	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	15" o.c
GRASSES, PERENNIALS, BULBS, AND ANNUALS				
	*Achillea millefolium	Yarrow	#1 pot	18" o.c
	*Dicentra formosa	Bleeding Heart	#1 pot	18" o.c
	*Iris tenax	Oregon Iris	#1 pot	18" o.c
ENVIRONMENTAL SENSITIVE AREA				
SEE ENVIRONMENTAL PLANTING PLAN BY KEYSTONE ENVIRONMENTAL				
OFFSITE RAIN GARDENS				
0	Cornus sericea 'Kelsey'	Dwarf Red Twig Dogwood	#1 pot	24" o.c
0	Carex pendula	Pendulous Sedge	4" (10cm) pot	18" o.c
0	Liatris spicata	Blazing Star	#1 pot	12" o.c
0	Mahonia repens	Creeping Oregon Grape	#1 pot	18" o.c

* Indicates native species

PLANTING NOTE

- ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
- IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
- FINAL TREE LOCATIONS TO BE STAKED OUT / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
- STREETSCAPE DESIGN TO MEET CITY OF PORT MOODY STANDARDS. CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

NOTE: ALL PLANTING AREAS TO HAVE MINIMUM 300MM SOIL DEPTH TO MEET STORMWATER MANAGEMENT PLAN RECOMMENDATIONS FOR ABSORBANT LANDSCAPE

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

3 RE-ISSUED FOR RZ/DP 21-03-18

2 RE-ISSUED FOR RZ/DP 20-10-08

1 ISSUED FOR RZ/DP 19-09-06

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

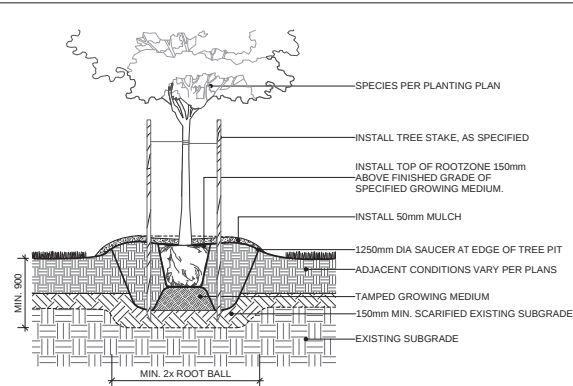
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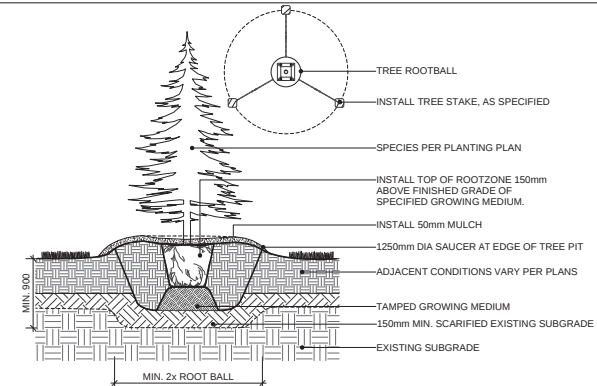
Reviewed: DS

Project No. 06-653

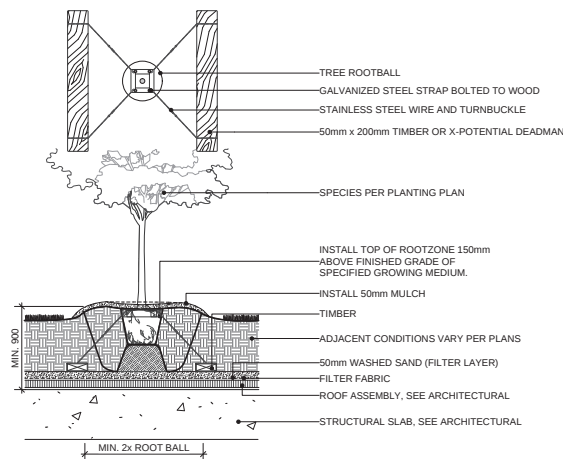
LANDSCAPE MATERIALS



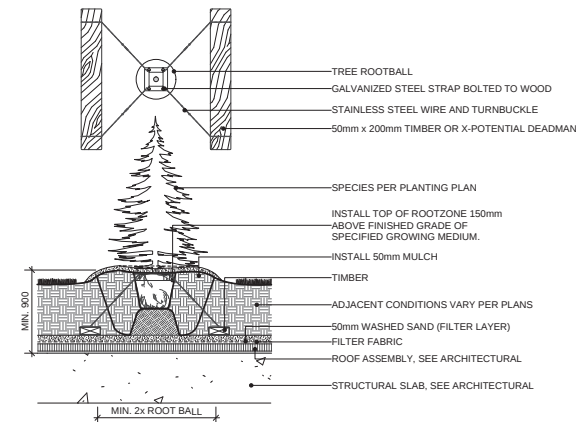
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



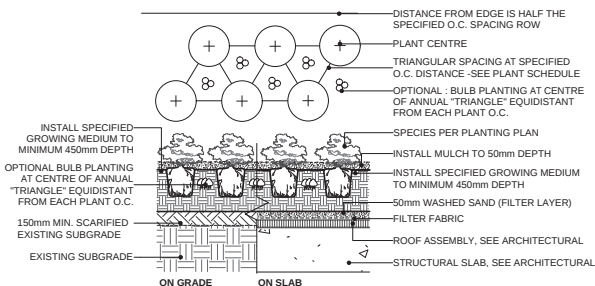
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



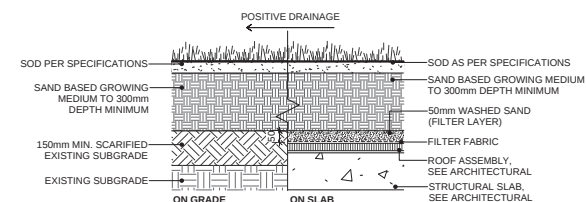
3 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



4 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



5 SHRUB AND GROUND COVER PLANTING (TYPICAL)
Scale: 1:25



6 SOD LAWN (TYPICAL)
Scale: 1:10

NOTE: ALL PLANTING AREAS TO HAVE MINIMUM 300MM SOIL DEPTH TO MEET STORMWATER MANAGEMENT PLAN RECOMMENDATIONS FOR ABSORBANT LANDSCAPE

3 RE-ISSUED FOR RZ/DP 21-03-18

2 RE-ISSUED FOR RZ/DP 20-10-08

1 ISSUED FOR REVIEW 19-07-16

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN

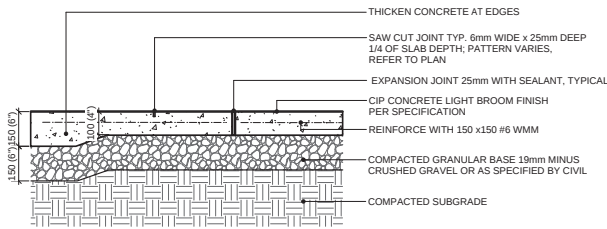
Drawn:

Reviewed: DS

Project No. 06-653

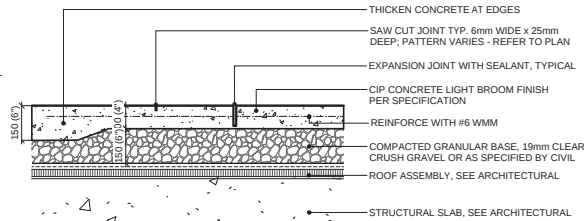
LANDSCAPE DETAILS SOFTSCAPE

L5.0



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

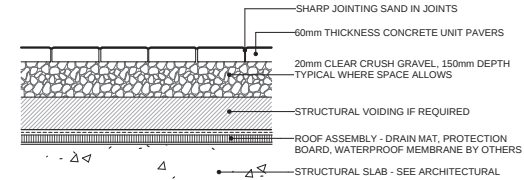
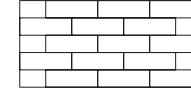
2 CIP CONCRETE ON SLAB (TYPICAL)
Scale: 1:10

UNIT PAVING CLASSIC STANDARD SERIES
SIZE: 3-1/2" x 225mm x 75mm x 60mm
BY: ABBOTSFORD CONCRETE PRODUCTS
(1.800.663.4091)



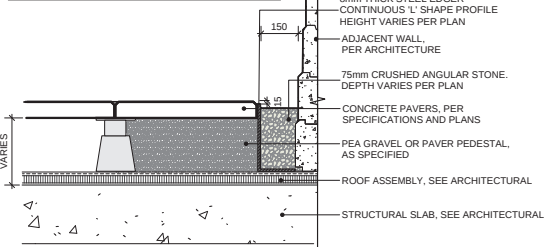
COLOR: NATURAL

PATTERN: RUNNING BOND



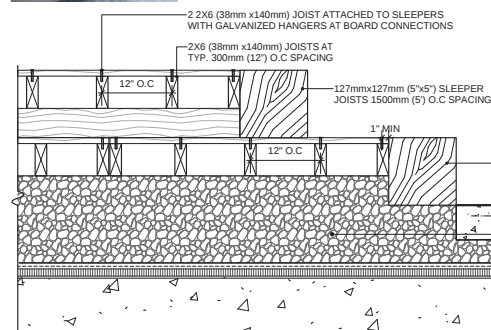
3 PEDESTRIAN UNIT PAVING ON SLAB
Scale: 1:10

TEXADA HYDRAPRESSED SLAB PAVER
SIZE: 610mm x 610mm
COLOR: NATURAL
PATTERN: GRID
SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS
(1.800.663.4091)

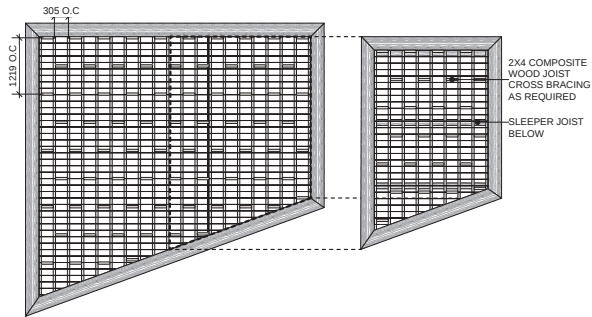


NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

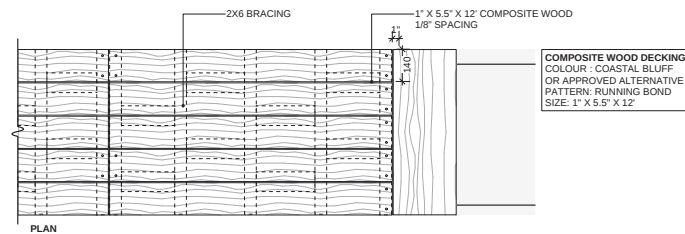
4 HYDRAPRESSED CONCRETE PAVERS ON SLAB (TYPICAL)
Scale: 1:10



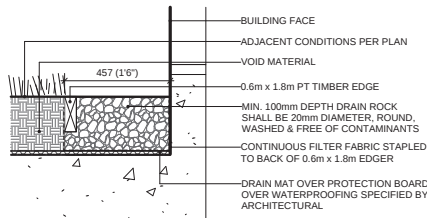
SECTION



6A FRAMING PLAN
Scale: 1:50



6 RAISED WOOD DECK
Scale: 1:10



5 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1:10

2305 Hemlock St. Vancouver BC, V6H 2V1
T 604 681 3303 F 604 681 3307
www.connectla.ca

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

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3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

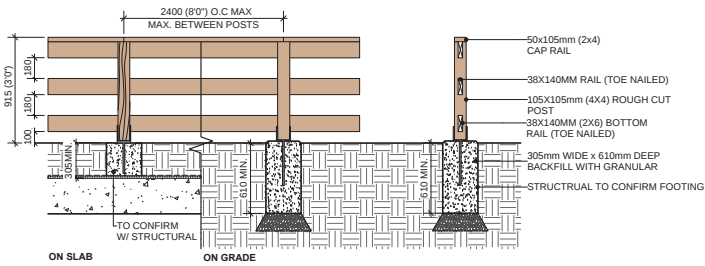
REVISIONS

ALBERT STREET

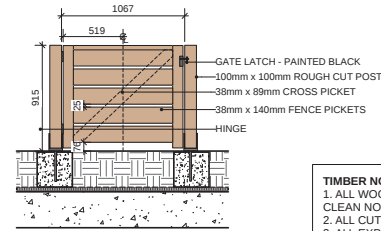
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
Drawn:	
Reviewed:	DS
Project No.	06-653

LANDSCAPE DETAILS HARDSCAPE

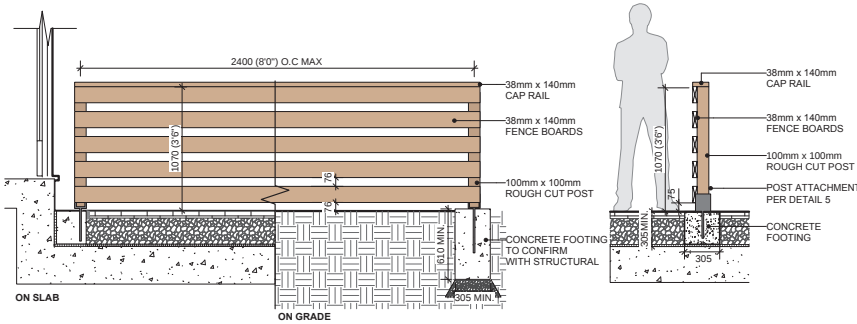


1 INTERNAL YARD FENCE
Scale: 1:20

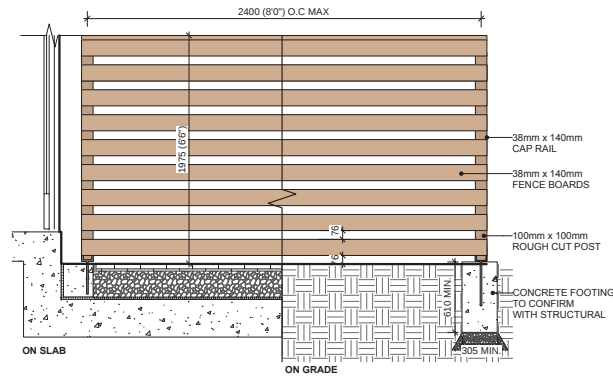


2 WOOD YARD GATE
Scale: 1:20

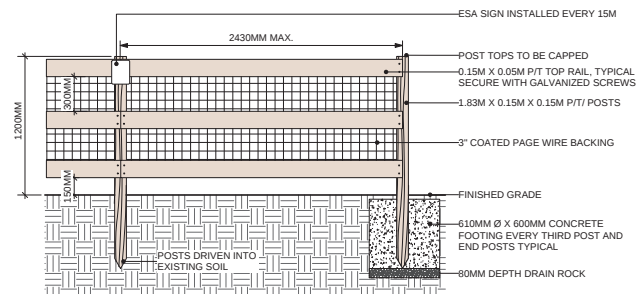
TIMBER NOTES:
1. ALL WOOD POSTS AND BOARDS TO BE PRESSURE-TREATED CEDAR, CLEAN NO KNOTS.
2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
4. ALL CUTS TO BE SQUARE AND CLEAN.
5. ALL EXPOSED WOOD TO BE STAINED (SOLID). COLOUR PER MARCON (TO MATCH ARCHITECTURE).
6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.



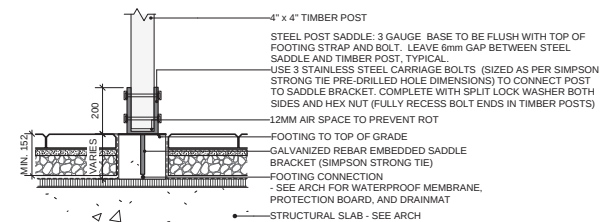
3 42" WOOD GUARDRAIL
Scale: 1:20



4 WOOD PRIVACY SCREEN
Scale: 1:20



5 ESA AND RPEA PROTECTION FENCE
Scale: 1:20



4A TIMBER POST ATTACHMENT, ON SLAB
Scale: 1:10

3 RE-ISSUED FOR RZ/DP 21-03-18

2 RE-ISSUED FOR RZ/DP 20-10-08

1 ISSUED FOR REVIEW 19-07-16

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: AS SHOWN

Drawn:

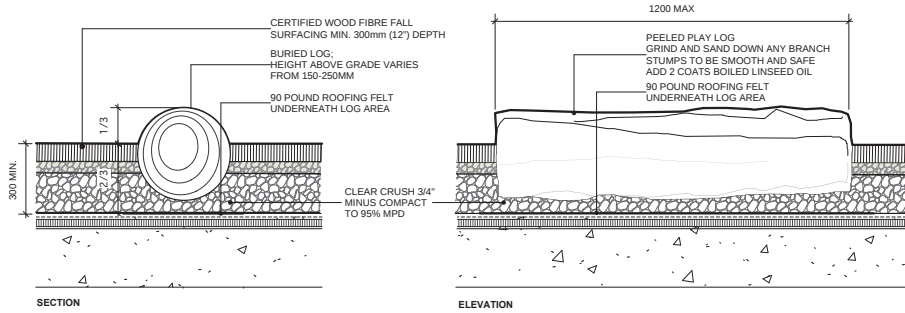
Reviewed: DS

Project No. 06-653

LANDSCAPE DETAILS FENCES

WOOD ELEMENTS NOTES:

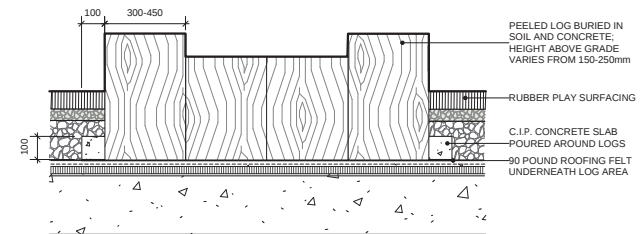
1. REMOVE BARK, SAND ALL CORNERS, EDGES, AND TIMBER SMOOTH, NO ROUGH SURFACES, SMOOTH AND FREE OF SPLINTERS.
2. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF LOG; NO DEPRESSIONS PERMITTED
3. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



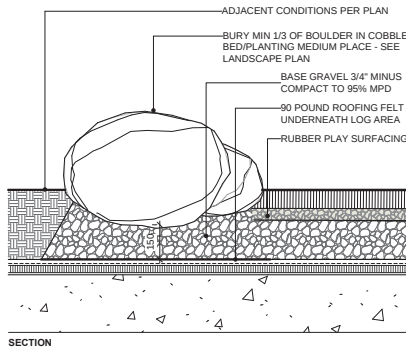
SECTION

ELEVATION

1 PLAY LOGS
Scale: 1:10

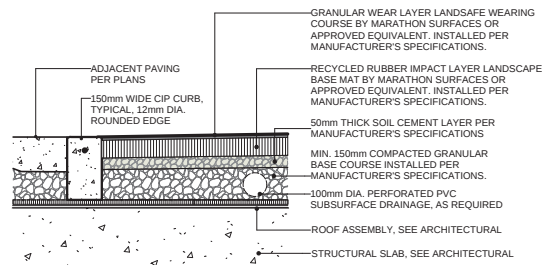


2 PLAY STUMPS
Scale: 1:10



SECTION

3 PLAY AREA BOULDER EDGE
Scale: 1:10



- NOTES:
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.
 2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

4 RUBBER PLAY SURFACING
Scale: 1:10



SLIDEWINDER
COLOUR: TBD
BY: LANDSCAPE STRUCTURES
1.888.438.6574



LOG CRAWL TUNNEL
COLOUR: TBD
BY: LANDSCAPE STRUCTURES
1.888.438.6574

5 PLAY STRUCTURES

3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

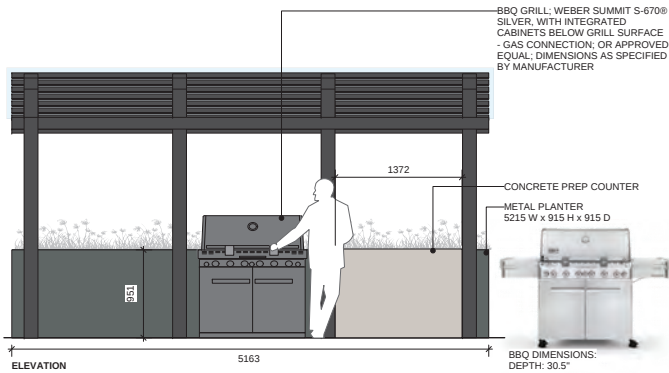
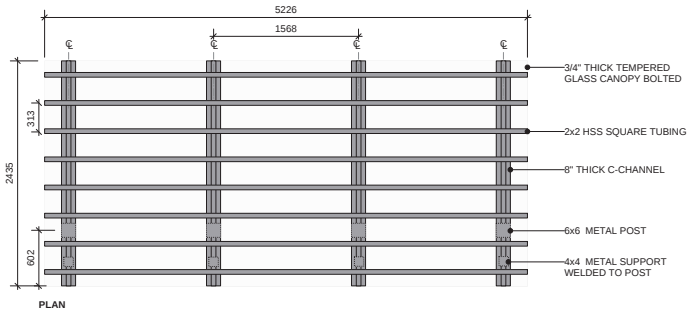
REVISIONS

ALBERT STREET

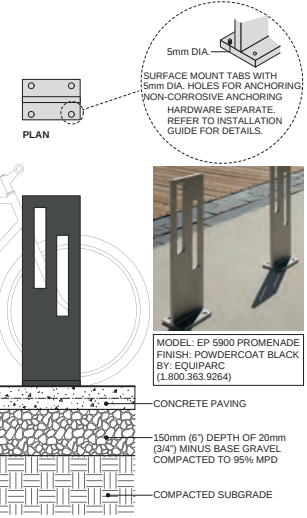
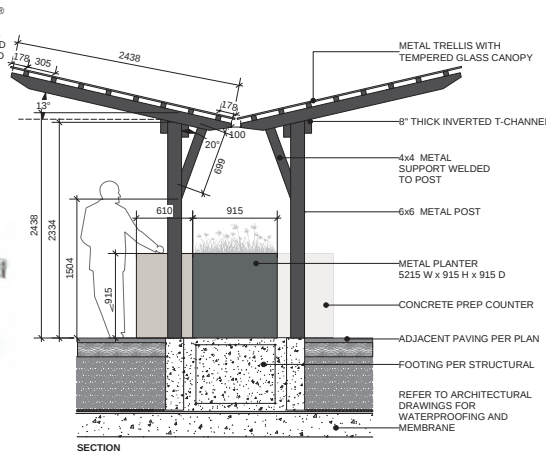
2025 Saint Johns Street
Port Moody, BC

Scale:	AS SHOWN
Drawn:	
Reviewed:	DS
Project No.	06-653

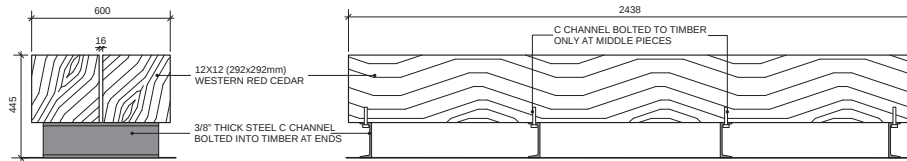
LANDSCAPE DETAILS
PLAY AREA



- NOTES:**
1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS OF THE METAL TRELLIS FOR REVIEW AND APPROVAL.
 2. ALL FASTENERS ARE TO BE HOT-DIPPED GALVANIZED.
 3. ALL WELDS TO BE GROUND SMOOTH.
 4. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 5. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURES INSTRUCTION.
 6. REFER TO SPECIFICATION FOR FINISH AND COLOUR OF TRELLIS STRUCTURE.

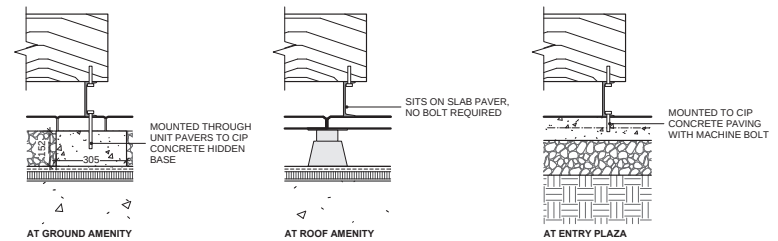


1 COVERED BBQ AND COUNTER
Scale: 1:25



2 CUSTOM TIMBER BENCH
Scale: 1:10

- TIMBER NOTES:**
1. LUMBER TO BE PRESSURE-TREATED CEDAR, CLEAN NO KNOTS.
 2. ALL CUT ENDS TO BE TREATED WITH PRESERVATIVE.
 3. ALL EXPOSED WOOD TO BE SMOOTH AND SPLINTER FREE.
 4. ALL CUTS TO BE SQUARE AND CLEAN.
 5. ENSURE POSITIVE DRAINAGE FROM TOP FACE OF BENCH; NO DEPRESSIONS PERMITTED
 6. WOOD DIMENSION ARE NOMINAL UNLESS NOTED ON DRAWINGS.
 7. ALL METAL FASTENERS TO BE HOT PITTED GALVANIZED TO G185 OR APPROVED EQUAL FOR PRESSURE-TREATED WOOD.
 8. APPLY 2 COATS BOILED LINSEED OIL FINISH BEFORE CONSTRUCTION TO ENSURE ALL EDGES ARE FINISHED PRIOR TO ASSEMBLY.



2A C CHANNEL ATTACHMENT
Scale: 1:10

3 BIKE RACK
Scale: 1:10

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

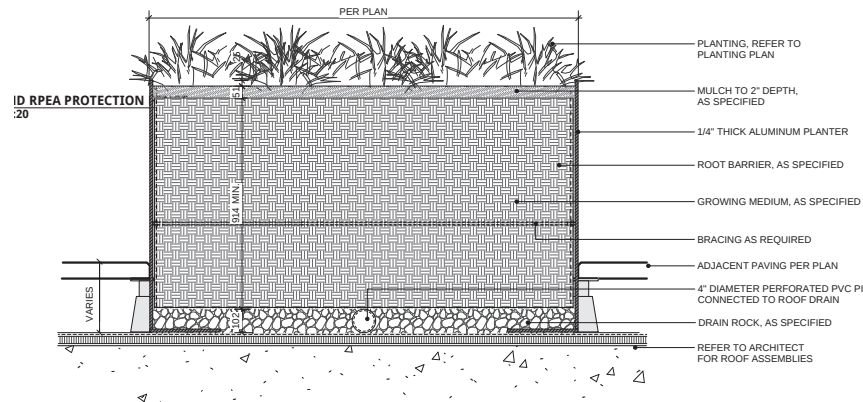
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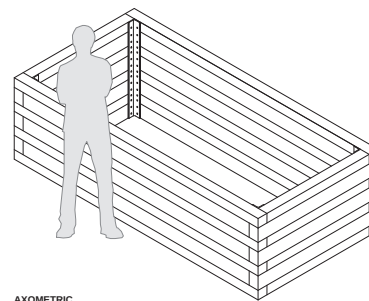
Reviewed: DS

Project No. 06-653

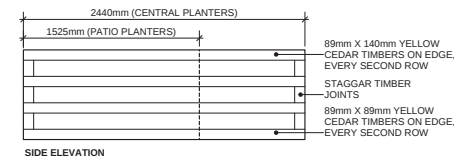
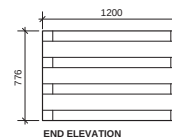
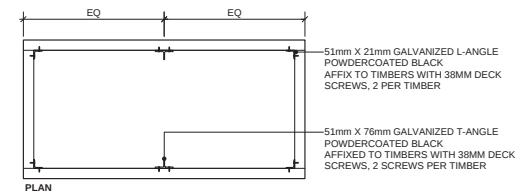
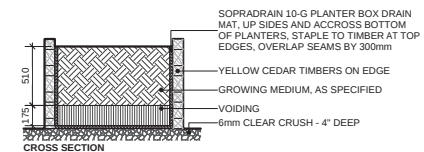
**LANDSCAPE DETAILS
FURNISHINGS**



1 METAL PLANTER (TYPICAL)
Scale: 1:10



AXOMETRIC



2 TIMBER AGRICULTURAL PLANTER
Scale: 1:20

3	RE-ISSUED FOR RZ/DP	21-03-18
2	RE-ISSUED FOR RZ/DP	20-10-08
1	ISSUED FOR REVIEW	19-07-16

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

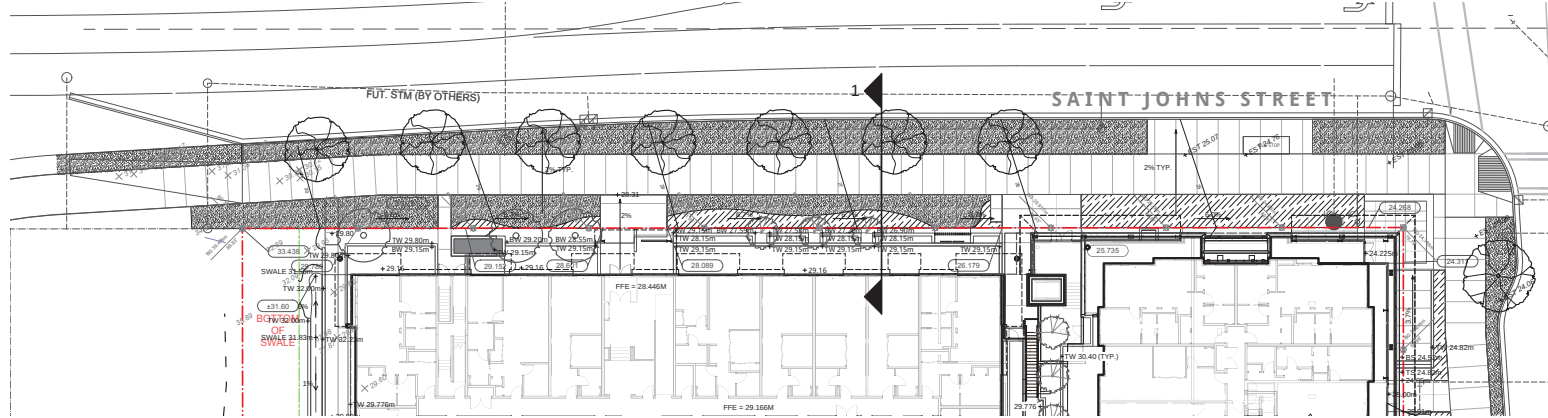
Scale: AS SHOWN

Drawn:

Reviewed: DS

Project No. 06-653

LANDSCAPE DETAILS
ROOF PLANTERS



OFF-SITE PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	7	Zelkova serrata	Japanese Zelkova	7cm CAL., B&B	




PLANTING NOTE

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL TREE LOCATIONS TO BE STAKED OUT / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
5. OFFSITE LANDSCAPE TO MEET CITY OF PORT MOODY DRAFT INTERIM SPECIFICATIONS AND STANDARDS (OCTOBER 2020). CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

TREES SHALL HAVE A MINIMUM CLEARANCE AS SHOWN FROM THE FOLLOWING:

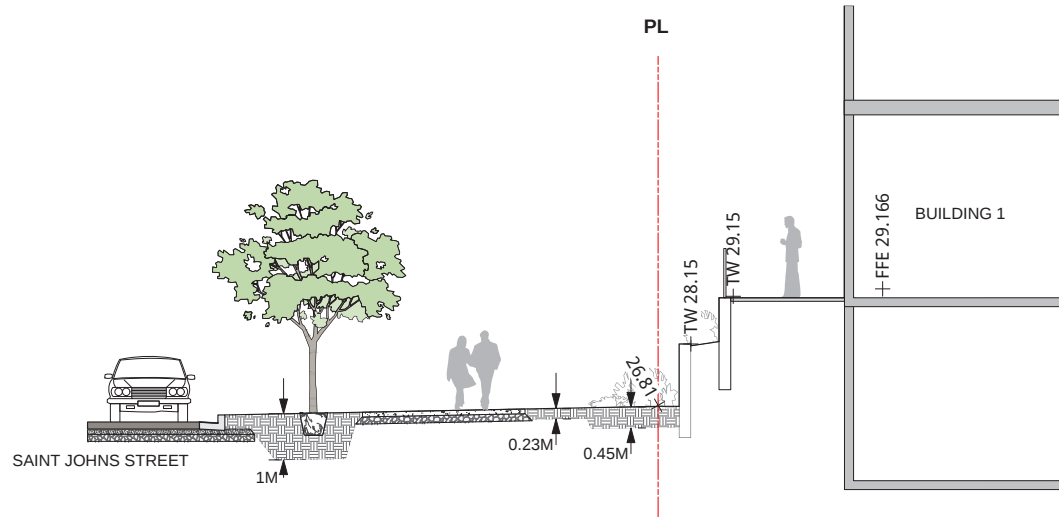
STREET LIGHTS - 6M	DRIVEWAYS - MIN. 2.0M
STOP SIGNS AND TRAFFIC SIGNALS - 6M	ELECTRICAL JUNCTION BOXES &
CORNERS / INTERSECTIONS - MIN. 6M SIGHT TRIANGLE	KIOSKS - PER UTILITY OWNER
OVERHEAD POWER LINES - PER UTILITY OWNER	HYDRANTS - 2M
MANHOLES, VALVE BOXES - 1.2M	SERVICE CONNECTIONS - VARIES
	SEE SUPPLEMENTAL STANDARDS

LAYOUT AND MATERIAL LEGEND

KEY	DESCRIPTION
	CIP CONCRETE SIDEWALK, REFER TO CIVIL
	FRONT BOULEVARD LAWN, REFER TO DETAIL
	GROUND COVER PLANTING, PER ONSITE LANDSCAPE DRAWINGS

LAYOUT AND MATERIAL NOTE

1. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, AND WALLS FOR DURATION OF CONSTRUCTION.
7. THE LOCATION OF ALL PROPOSED HARDSCAPE ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



1 TYPICAL SAINT JOHNS STREET SECTION
Scale: 1:50

3 RE-ISSUED FOR RZ/DP 21-03-18

2 RE-ISSUED FOR RZ/DP 20-10-08

1 ISSUED FOR RZ/DP 19-09-06

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200

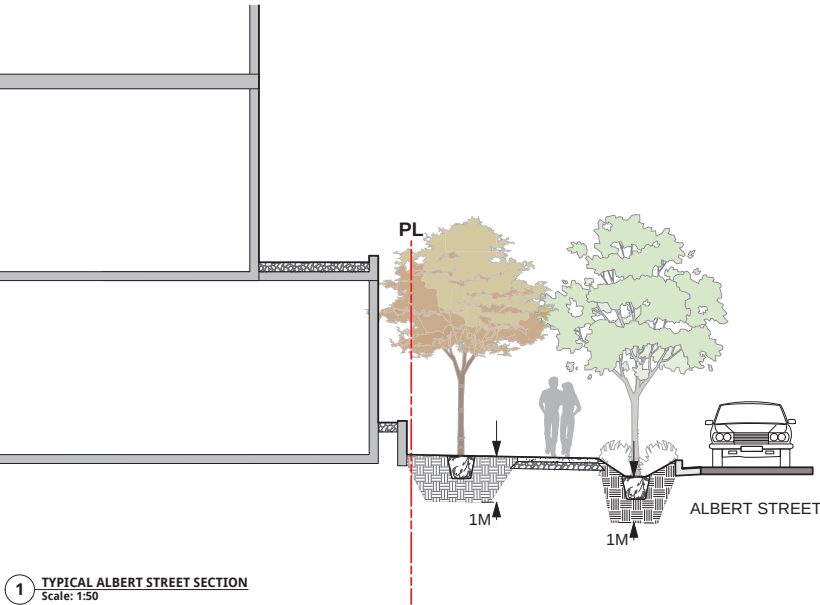
Drawn:

Reviewed: DS

Project No. 06-653

LANDSCAPE OFFSITE
SAINT JOHNS ST.

OSL1.0



1 TYPICAL ALBERT STREET SECTION
Scale: 1:50

LAYOUT AND MATERIAL LEGEND

KEY	DESCRIPTION
	CIP CONCRETE SIDEWALK, REFER TO CIVIL
	FRONT BOULEVARD LAWN, REFER TO DETAIL
	ONSITE PLANTING

LAYOUT AND MATERIAL NOTE

1. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, AND WALLS FOR DURATION OF CONSTRUCTION.
7. THE LOCATION OF ALL PROPOSED HARDSCAPE ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

OFF-SITE PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
	5	Fraxinus oxycarpa 'Raywood'	Raywood Ash	7cm CAL., B&B	
	7	Crataegus x lavallei	Lavalle Hawthorn	7cm CAL., B&B	
SHRUBS - RAIN GARDEN					
	0	Cornus sericea 'Kelsey'	Dwarf Red Twig Dogwood	#1 pot	24" o.c
	0	Carex pendula	Pendulous Sedge	4" (10cm) pot	18" o.c
	0	Liatris spicata	Blazing Star	#1 pot	12" o.c
	0	Mahonia repens	Creeping Oregon Grape	#1 pot	18" o.c

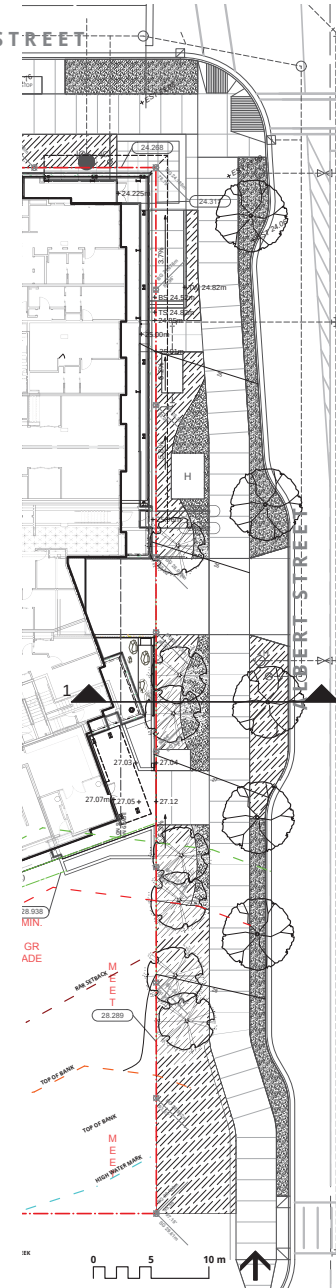
PLANTING NOTE

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
2. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL TREE LOCATIONS TO BE STAKED OUT / FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL TREE AREAS TO BE MULCHED WITH 50MM OF MEDIUM FINE MULCH, LESS THAN 50MM DIAMETER.
5. OFFSITE LANDSCAPE TO MEET CITY OF PORT MOODY DRAFT INTERIM SPECIFICATIONS AND STANDARDS (OCTOBER 2020). CITY TO CONFIRM TREE SPECIES AND SIZES PRIOR TO INSTALLATION.

TREES SHALL HAVE A MINIMUM CLEARANCE AS SHOWN FROM THE FOLLOWING:

STREET LIGHTS - 6M	DRIVEWAYS - MIN. 2.0M
STOP SIGNS AND TRAFFIC SIGNALS - 6M	ELECTRICAL JUNCTION BOXES & KIOSKS - PER UTILITY OWNER
CORNERS / INTERSECTIONS - MIN. 6M SIGHT TRIANGLE	HYDRANTS - 2M
OVERHEAD POWER LINES - PER UTILITY OWNER	SERVICE CONNECTIONS - VARIES, SEE SUPPLEMENTAL STANDARDS
MANHOLES, VALVE BOXES - 1.2M	

SAINT JOHNS STREET



connect LANDSCAPE ARCHITECTURE

2305 Hemlock St, Vancouver BC, V6H 2V1
T 604 681 3303 F 604 681 3307
www.connectla.ca

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

3 RE-ISSUED FOR RZ/DP 21-03-18

2 RE-ISSUED FOR RZ/DP 20-10-08

1 ISSUED FOR RZ/DP 19-09-06

REVISIONS

ALBERT STREET

2025 Saint Johns Street
Port Moody, BC

Scale: 1:200

Drawn:

Reviewed: DS

Project No. 06-653

LANDSCAPE OFFSITE
ALBERT ST.

OSL1.1